

# PROPOSED CONDOMINIUM SUBDIVISION PLAN FOR BAYSTONE PROPERTIES, LLC

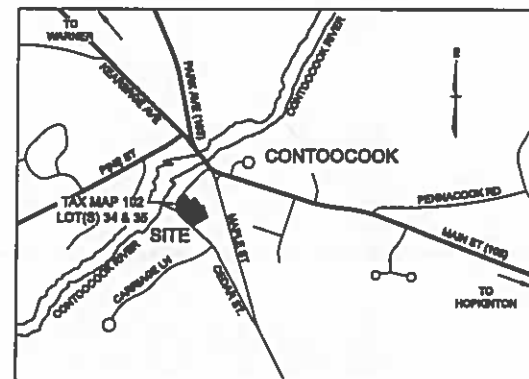
TAX MAP 102, LOT 35

PROJECT LOCATION:

71 CEDAR STREET, HOPKINTON, (CONTOOCCOOK) NH  
MERRIMACK CO.

**NOTES:**

- THE PURPOSE OF THIS PLAN IS TO SHOW A CONDOMINIUM SUBDIVISION ON TAX MAP 102 LOT 35.
- THE PROPERTY IS DESIGNATED AS TAX MAP 102, LOT 35.
- THE AREA OF THE EXISTING LOT 35 IS 0.81 ACRES (30,780 SF.)
- THE CURRENT OWNER FOR LOT 35: BAYSTONE PROPERTIES, LLC, 44 NORTH SHORE RD, DERRY NH 03038, LOT 35 BK 3691, PAGE 1784
- THE ZONING DESIGNATION FOR THE PROPERTY IS VR-1 DISTRICT.
- DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE VR-1 DISTRICT:
  - MIN. ROAD FRONTAGE = 50'
  - MIN. LOT SIZE = 15,000 SF (0.34 ACRES)
  - MIN. ROAD SETBACK = 30'
  - MIN. SIDE SETBACK = 15'
  - MIN. REAR SETBACK = 40'
  - MAXIMUM STRUCTURE HEIGHT = 35'
  - SEPTIC SETBACK = 50'/75' HYDRIC SOILS
  - OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)
- NO WETLANDS WERE LOCATED ON SITE. THOMAS E. SOKOLOSKI, CERTIFIED WETLAND SCIENTIST VISITED THE SITE DETERMINING THERE WERE NO WETLANDS FOUND ON SITE.
- THE EXISTING USE OF TM 102 LOT 35 IS A 2 CAR GARAGE.
- THE PROPOSED USE OF TM 102 LOT 35 IS A CONDOMINIUM SUBDIVISION.
- SEWER TO BE PROVIDED BY MUNICIPAL.
- WATER TO BE PROVIDED BY MUNICIPAL.
- THERE IS SUFFICIENT CAPACITY WITH BOTH WATER AND SEWER PER THE TOWN OF HOPKINTON.
- RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
- ADJUTING PROPERTY INFORMATION PROVIDED BY A COMBINATION OF ON-LINE TAX MAP DATA AND DATA PROVIDED BY GRANVIEW.SURV.CO.
- A COMPLETE PLAN SET WILL BE FILED AT THE TOWN OF HOPKINTON.
- THE FEMA MAP NUMBER FOR THIS SITE IS 33013C0002E, EFFECTIVE DATE: APRIL 18, 2010. THE BASE FLOOD ELEVATION IN ZONE AE IS 383.502, 1% ANNUAL CHANCE FLOOD (100 YR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR. A SMALL PORTION OF THE SITE RESIDES IN THIS ZONE. THE REMAINDER OF THE SITE IS WITHIN THE ZONE X, (AREAS OF 0.2% ANNUAL CHANCE OF FLOOD WITH DEPTHS LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF HOPKINTON SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NGS OPUS ON APRIL 18, 2021 FROM DATA COLLECTED BY THE OFFICE ON APRIL 17, 2021. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 88.
- NRCS SOILS DATA: 813A-CROGHAN LOAMY FINE SAND, 0 TO 8 PERCENT SLOPES, WOODED



LOCATION PLAN  
SCALE: 1"=1,000'

**SHEET INDEX**

DWG	SHT. NO.	DESCRIPTION
CVR	1 OF 16	COVER SHEET
ECP	2 OF 16	EXISTING CONDITIONS
PSP	3 OF 16	SITE LAYOUT PLAN
PCP	4 OF 16	PARKING & CIRCULATION PLAN
PGP	5 OF 16	GRADING, DRAINAGE & EROSION CONTROL PLAN
PUTP	6 OF 16	UTILITY PLAN
PLSC	7 OF 16	LANDSCAPING PLAN
PLTP	8 OF 16	LIGHTING PLAN
DET-1	9 OF 16	SITE DETAILS
DET-2	10 OF 16	SEWER DETAILS
DET-3	11 OF 16	WATER DETAILS
DET-4	12 OF 16	DRAINAGE DETAILS-1
DET-5	13 OF 16	DRAINAGE DETAILS-2
DET-6	14 OF 16	LIGHTING/LANDSCAPE DETAILS
DET-7	15 OF 16	EROSION CONTROL NOTES & DETAILS - 1
DET-8	16 OF 16	EROSION CONTROL NOTES & DETAILS - 2

**PROFESSIONAL CONSULTANTS LIST**

- SURVEYOR:** NEW HAMPSHIRE LAND CONSULTANTS, PLLC.  
683C FIRST NH TURNPIKE (RT.4)  
NORTHWOOD, NH 03261 PH: (603) 942-9220
- WETLAND/SOIL SCIENTIST:** THOMAS E. SOKOLOSKI, CERTIFIED WETLAND SCIENTIST/SOIL SCIENTIST  
TES ENVIRONMENTAL CONSULTANTS, LLC  
1494 ROUTE 3A, UNIT 1  
BOW, NEW HAMPSHIRE 03304 PH: (603) 856-8925
- PROFESSIONAL ENGINEER:** BERNIE TEMPLE, PE, CPESC  
P.O. BOX 7  
GILMINGTON IRON WORKS, NH 03837  
PH: (603) 630-1008
- DEVELOPER:** BAYSTONE PROPERTIES, LLC  
44 NORTH SHORE RD  
DERRY NH, 03038



PLANNING BOARD APPROVAL:  
HOPKINTON NH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**OWNER/APPLICANT:**

BAYSTONE PROPERTIES, LLC  
(SHAUN GEARY)  
44 NORTH SHORE RD,  
DERRY NH, 03038  
LOT 35 - BK 3691 PG 1784



CONTACT DIG SAFE 72 HOURS  
PRIOR TO CONSTRUCTION

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. NEW HAMPSHIRE LAND CONSULTANTS, PLLC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ANY UTILITIES WHETHER THEY BE ABOVE OR BELOW GROUND. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233).

**NOTE:**

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF HOPKINTON (CONTOOCCOOK) REGULATIONS AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.

**INITIAL PLAN SET SUBMISSION DATE**

JUNE 21, 2021

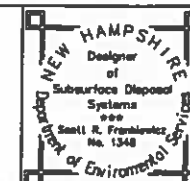
Latest revision date: \_\_\_\_\_

**AGENCY APPROVALS**

NHDES SUBDIVISION : \_\_\_\_\_

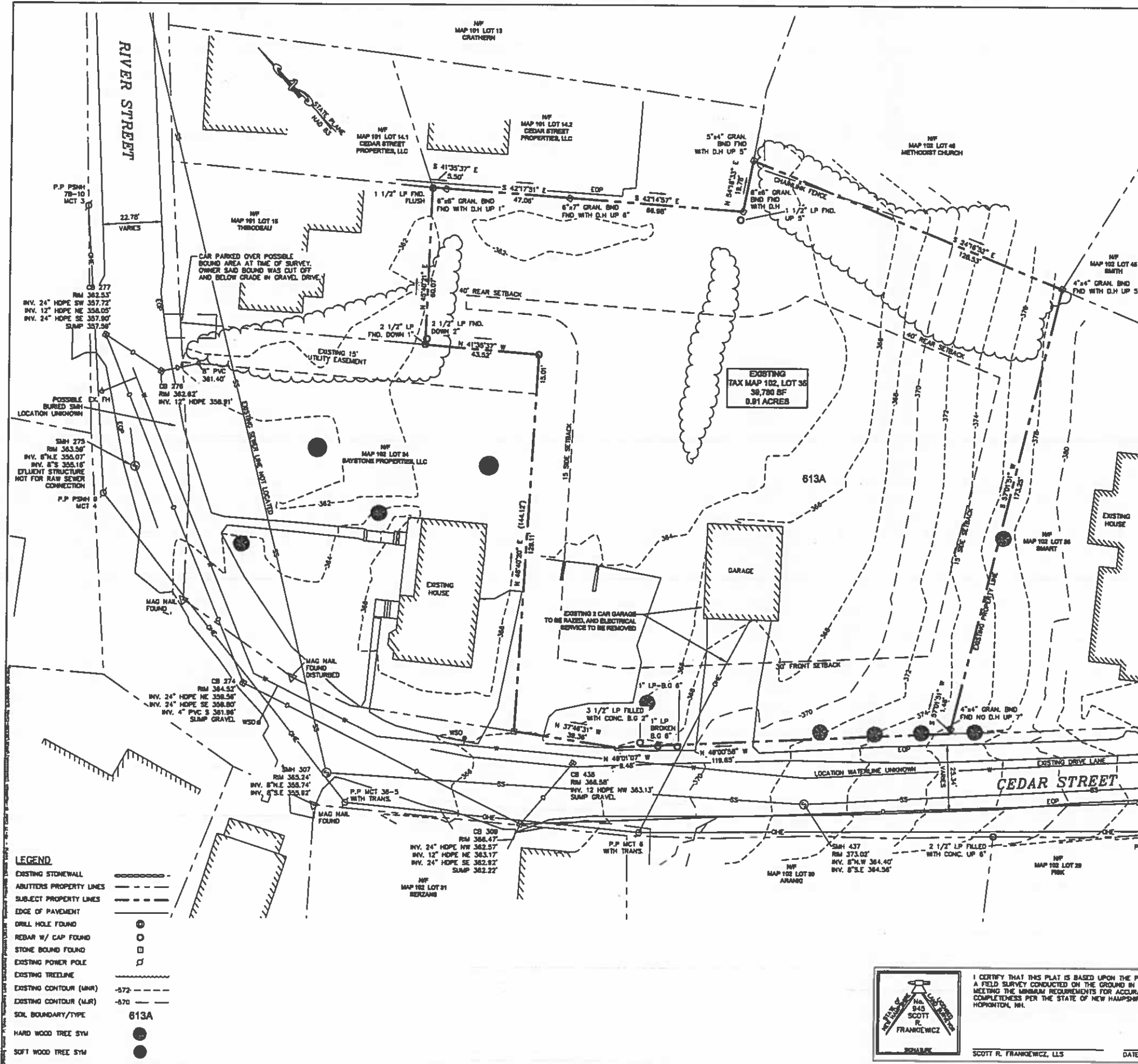
REVISIONS			
NO.	DATE	DESCRIPTION	BY

**N.H. LAND Consultants**  
SURVEYING • LAND PLANNING • REAL ESTATE  
A VETERAN OWNED COMPANY  
683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH: 603-942-9220 WEBSITE: NH.LANDCONSULTANTS.COM

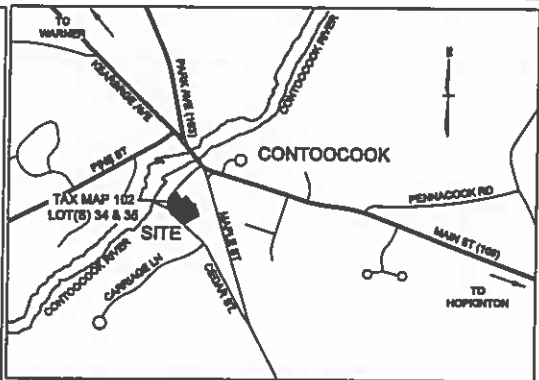


COVER SHEET  
TAX MAP 102 LOT 35  
**CONDOMINIUM SUBDIVISION**  
71 CEDAR ST. HOPKINTON, (CONTOOCCOOK) NH  
OWNED BY  
**BAYSTONE PROPERTIES, LLC**  
44 NORTH SHORE ROAD, DERRY, NH 03038  
LOT 35 - BOOK 3691 PAGE 1784

MERRIMACK CO.  
JOB NO: 393.00  
DATE: JUNE 21, 2021  
**CVR**  
SHT. 1 of 16



- ABUTTERS LIST:**
- MAP 101 LOT 13 SCOTT & BRENDA CRATHER 183 GOULD HILL RD. CONTOCOCK, NH 03228 BOOK 2847 PAGE 1989
  - MAP 101 LOT 14-1 CEDAR STREET PROPERTIES, LLC C/O STEVEN DATE P.O. BOX 1282 GRANITON, NH 03753 BOOK 2882 PAGE 717
  - MAP 101 LOT 14-2 CEDAR STREET PROPERTIES, LLC C/O STEVEN DATE P.O. BOX 1282 GRANITON, NH 03753 BOOK 2882 PAGE 717
  - MAP 101 LOT 15 EARNESTA & MATHEW S THROCKMOLIN 32 CEDAR STREET CONTOCOCK, NH 03228 BOOK 2886 PAGE 2201
  - MAP 102 LOT 30 DANIEL & JAMES ARANGO 79 CEDAR ST. CONTOCOCK, NH 03228 BOOK 2818 PAGE 1730
  - MAP 102 LOT 31 ANDREA & FLORENCE BERZANI 60 CEDAR ST. CONTOCOCK, NH 03228
  - MAP 102 LOT 32 GLENN R. & MELISSA SMART 61 CEDAR ST. CONTOCOCK, NH 03228
  - MAP 102 LOT 33 JOSHUA SMITH 115 N MAIN ST. BORDMANS, NH 03309 BOOK 2491 PAGE 2896
  - MAP 102 LOT 34 UNITED METHODIST CHURCH P.O. BOX 388 CONTOCOCK, NH 03229
  - MAP 102 LOT 35 DAVID & FRANK CEDAR ST. CONTOCOCK, NH 03229 BOOK 2918 PAGE 1088



- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW A CONDOMINIUM SUBDIVISION ON TAX MAP 102 LOT 35.
  - THE PROPERTY IS DESIGNATED AS TAX MAP 102, LOT 35.
  - THE AREA OF THE EXISTING LOT 35 IS 0.91 ACRES (39,780 SF).
  - THE CURRENT OWNER FOR LOT 35: BAYSTONE PROPERTIES, LLC 44 NORTH SHORE RD, DERRY NH 03038, LOT 35 BK 3891, PAGE 1784
  - THE ZONING DESIGNATION FOR THE PROPERTY IS VR-1 DISTRICT.
  - DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE VR-1 DISTRICT:
    - MIN. ROAD FRONTAGE = 80'
    - MIN. LOT SIZE = 15,000 SF (0.34 ACRES)
    - MIN. ROAD SETBACK = 30'
    - MIN. SIDE SETBACK = 15'
    - MIN. REAR SETBACK = 40'
    - MAXIMUM STRUCTURE HEIGHT = 35'
    - SEPTIC STRUCTURE OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION) = 50'/75' HYDRIC SOILS
  - NO WETLANDS WERE LOCATED ON SITE. THOMAS E. SOKOLOSKI, CERTIFIED WETLAND SCIENTIST VISITED THE SITE DETERMINING THERE WERE NO WETLANDS FOUND ON SITE.
  - THE EXISTING USE OF TAX MAP 102 LOT 35 IS A 2 CAR GARAGE.
  - THE PROPOSED USE OF TAX MAP 102 LOT 35 IS A CONDOMINIUM SUBDIVISION.
  - SEWER TO BE PROVIDED BY MUNICIPAL.
  - WATER TO BE PROVIDED BY MUNICIPAL.
  - THERE IS SUFFICIENT CAPACITY WITH BOTH WATER AND SEWER PER THE TOWN OF HOPKINTON.
  - RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
  - ABUTTING PROPERTY INFORMATION PROVIDED BY A COMBINATION OF ON-LINE TAX MAP DATA AND DATA PROVIDED BY GRANITON.NH.EDU.
  - A COMPLETE PLAN SET WILL BE FILED AT THE TOWN OF HOPKINTON.
  - THE FEMA MAP NUMBER FOR THIS SITE IS 330130002E. EFFECTIVE DATE: APRIL 19, 2010. THE BASE FLOOD ELEVATION IN ZONE AE IS 363.502. THE ANNUAL CHANCE FLOOD (100 YR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR. A SMALL PORTION OF THE SITE RESIDES IN THIS ZONE. THE REMAINDER OF THE SITE IS WITHIN THE ZONE X (AREAS OF 0.2% ANNUAL CHANCE OF FLOOD WITH DEPTHS LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE).
  - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF HOPKINTON SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
  - IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
  - ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NGS OPUS ON APRIL 19, 2021 FROM DATA COLLECTED BY THIS OFFICE ON APRIL 17, 2021. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 83.
  - WRES SOILS DATA: 813A-CROOKHAM LOAMY FINE SAND, 0 TO 6 PERCENT SLOPES, WOODED

- LEGEND**
- EXISTING STONEWALL
  - ABUTTERS PROPERTY LINES
  - SUBJECT PROPERTY LINES
  - EDGE OF PAVEMENT
  - DRILL HOLE FOUND
  - REBAR W/ CAP FOUND
  - STONE BOUND FOUND
  - EXISTING POWER POLE
  - EXISTING TREELINE
  - EXISTING CONTOUR (MNR) -572-
  - EXISTING CONTOUR (MNR) -670-
  - SOIL BOUNDARY/TYPE 613A
  - HARD WOOD TREE SYM
  - SOFT WOOD TREE SYM

I CERTIFY THAT THIS PLAN IS BASED ON THE PLAN REFERENCES AND A FIELD SURVEY CONDUCTED ON THE GROUND IN SPRING OF 2021, MEETING THE MINIMUM REQUIREMENTS FOR ACCURACY, 1:10,000 AND COMPLETENESS PER THE STATE OF NEW HAMPSHIRE AND THE TOWN OF HOPKINTON, NH.

SCOTT R. FRANKIEWICZ, LLS DATE:

**REVISIONS**

NO.	DATE	DESCRIPTION	BY

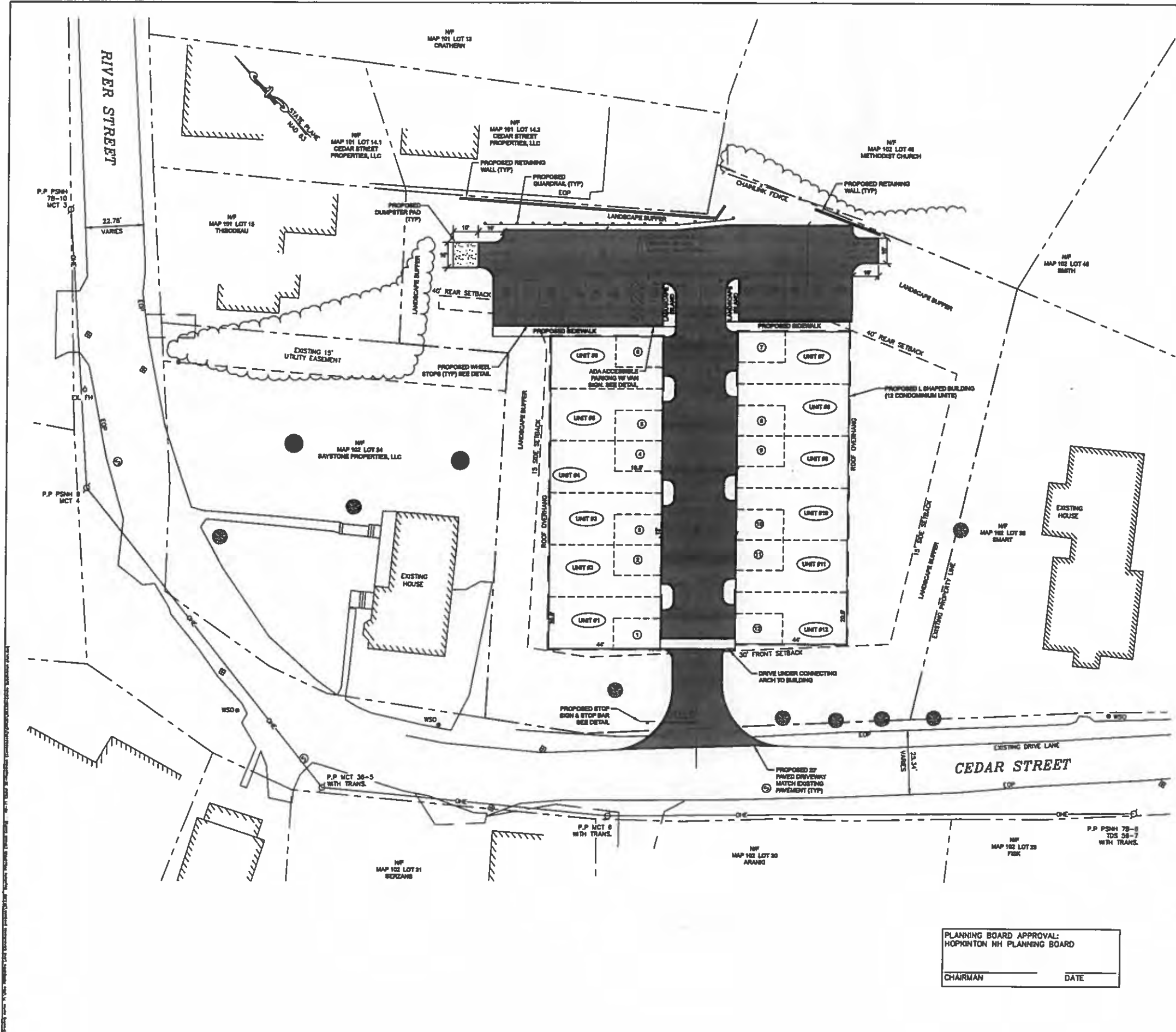
**GRAPHIC SCALE**  
10 20 30  
SCALE: 1"=20'

**N.H. LAND Consultants**  
SURVEYING-LAND PLANNING-REAL ESTATE  
A Veteran Owned Company

PH: 603-242-6220  
WWW.NHLANDCONSULTANTS.COM

EXISTING CONDITIONS PLAN  
TAX MAP 102 LOT 35  
**CONDOMINIUM SUBDIVISION**  
OWNED BY  
71 CEDAR ST. HOPKINTON, (CONTOCOCK) NH  
**BAYSTONE PROPERTIES, LLC**  
44 NORTH SHORE ROAD, DERRY, NH 03038  
LOT 35 - BOOK 3891 PAGE 1784

MERRIMACK CO.  
JOB NO: 3993.00  
DATE: JUNE 21, 2021  
**ECP**  
SHT. 2 of 18



**NOTES**

1. THE PURPOSE OF THIS PLAN IS TO SHOW A CONDOMINIUM SUBDIVISION ON TAX MAP 102 LOT 35.
2. THE PROPERTY IS DESIGNATED AS TAX MAP 102, LOT 35.
3. THE AREA OF THE EXISTING LOT 35 IS 0.91 ACRES (39,780 SF.)
4. THE CURRENT OWNER FOR LOT 35: BAYSTONE PROPERTIES, LLC, 44 NORTH SHORE RD, DERRY NH 03038, LOT 35 BK 3691, PAGE 1784
5. THE ZONING DESIGNATION FOR THE PROPERTY IS VR-1 DISTRICT.
6. DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE VR-1 DISTRICT:  
 MIN. ROAD FRONTAGE = 90'  
 MIN. LOT SIZE = 15,000 SF (0.34 ACRES)  
 MIN. ROAD SETBACK = 30'  
 MIN. SIDE SETBACK = 15'  
 MIN. REAR SETBACK = 40'  
 MAXIMUM STRUCTURE HEIGHT = 35'  
 SEPTIC SETBACK = 50'/75' HYDRIC SOILS  
 OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)
7. NO WETLANDS WERE LOCATED ON SITE. THOMAS E. SOKOLOSKI, CERTIFIED WETLAND SCIENTIST VISITED THE SITE DETERMINING THERE WERE NO WETLANDS FOUND ON SITE.
8. THE EXISTING USE OF TM 102 LOT 35 IS A 2 CAR GARAGE.
9. THE PROPOSED USE OF TM 102 LOT 35 IS A CONDOMINIUM SUBDIVISION.
10. SEWER TO BE PROVIDED BY MUNICIPAL.
11. WATER TO BE PROVIDED BY MUNICIPAL.
12. THERE IS SUFFICIENT CAPACITY WITH BOTH WATER AND SEWER PER THE TOWN OF HOPKINTON.
13. RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
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15. A COMPLETE PLAN SET WILL BE FILED AT THE TOWN OF HOPKINTON.
16. THE FEMA MAP NUMBER FOR THIS SITE IS 33013C0002E, EFFECTIVE DATE: APRIL 18, 2010. THE BASE FLOOD ELEVATION IN ZONE AE IS 383.302, 1% ANNUAL CHANCE FLOOD (100 YR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR. A SMALL PORTION OF THE SITE RESIDES IN THIS ZONE. THE REMAINDER OF THE SITE IS WITHIN THE ZONE X, (AREAS OF 0.2% ANNUAL CHANCE OF FLOOD WITH DEPTHS LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE).
17. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF HOPKINTON SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
18. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
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20. ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NCS OPUS ON APRIL 16, 2021 FROM DATA COLLECTED BY THIS OFFICE ON APRIL 17, 2021. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 88.
21. NCS SOILS DATA: 613A-CROGHAN LOAMY FINE SAND, 0 TO 8 PERCENT SLOPES, WOODED

**PLAN REFERENCES**

1. M.C.R.D. PLAN #4312, RECORDED APRIL 12, 1978, TITLED: "CONTOODCOOK UNITED METHODIST CHURCH, MINOR SUBDIVISION, CONTOODCOOK, NH, MERRIMACK COUNTY", SCALE: 1"=20', DATED: APRIL, 1978, PREPARED BY: ALLEN LEWIS (287), REGISTERED LAND SURVEYOR, APPROVED BY HOPKINTON PLANNING BOARD ON APRIL 10, 1978.
2. M.C.R.D. PLAN #6073, RECORDED NOV. 30, 1984, TITLED: "SUBDIVISION OF LAND OF IRVINE W. GEORGE IN CONTOODCOOK-HOPKINTON, NH.", DATED: NOV. 18, 1983, SCALE: 1"=20', PREPARED BY: GILBERT C. CASTLE, SURVEYOR, APPROVED BY HOPKINTON PLANNING BOARD ON NOV. 20, 1984.
3. M.C.R.D. PLAN #14322, RECORDED MAY 11, 1998, TITLED: "LAND OF CHARLES S. ROTOND, NEAR RIVER & CEDAR ST., PARTIAL BOUNDARY SURVEY, HOPKINTON, NH, SCALE: 1"=20', DATED: MAY 4, 1998, PREPARED BY: H.H. AUSDEN & SONS, LAND SURVEYORS, PLANNERS, AND BOUNDARY CONSULTANTS, CONCORD NH.
4. M.C.R.D. PLAN #13749, RECORDED JAN. 25, 2002, TITLED: "ANNE ROTOND LOT 32, MAP 102, HOPKINTON, NH, PROPERTY SURVEY, SCALE: 1"=20', DATED: 1/25/2002, PREPARED BY: BOW MILLS LAND MANAGEMENT, LAND SURVEYORS, BOW NH, 03304.
5. M.C.R.D. PLAN #15896, RECORDED JULY 18, 2002, TITLED: "ANNE & CHARLES ROTOND, LOT 34 & 35, MAP 102, CEDAR & RIVER STREETS, HOPKINTON NH, PROPERTY SURVEY", PREPARED BY: BOW MILLS LAND MANAGEMENT, LAND SURVEYORS, PLANNERS & BOUNDARY CONSULTANTS, BOW NH, DATED: 6/21/2002, SCALE: 1"=20'

**LEGEND**

EXISTING STONEWALL	-----
ABUTTERS PROPERTY LINES	-----
SUBJECT PROPERTY LINES	-----
EDGE OF PAVEMENT	-----
EXISTING FENCELINE	-----
EXISTING TREENLINE	-----
EXISTING BLDG SETBACK	-----
EXISTING FENCE LINE	-----
DRILL HOLE FOUND	⊙
REBAR W/ CAP FOUND	⊙
STONE BOUND FOUND	⊙
WALL MOUNTED LIGHT FIXTURE CALLOUT	W1, W
PROPOSED CATCH BASIN	⊙
PROPOSED SEWER MANHOLE	⊙
PROPOSED SIGN	⊙

PLANNING BOARD APPROVAL:  
 HOPKINTON NH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**REVISIONS**

NO.	DATE	DESCRIPTION

**GRAPHIC SCALE**

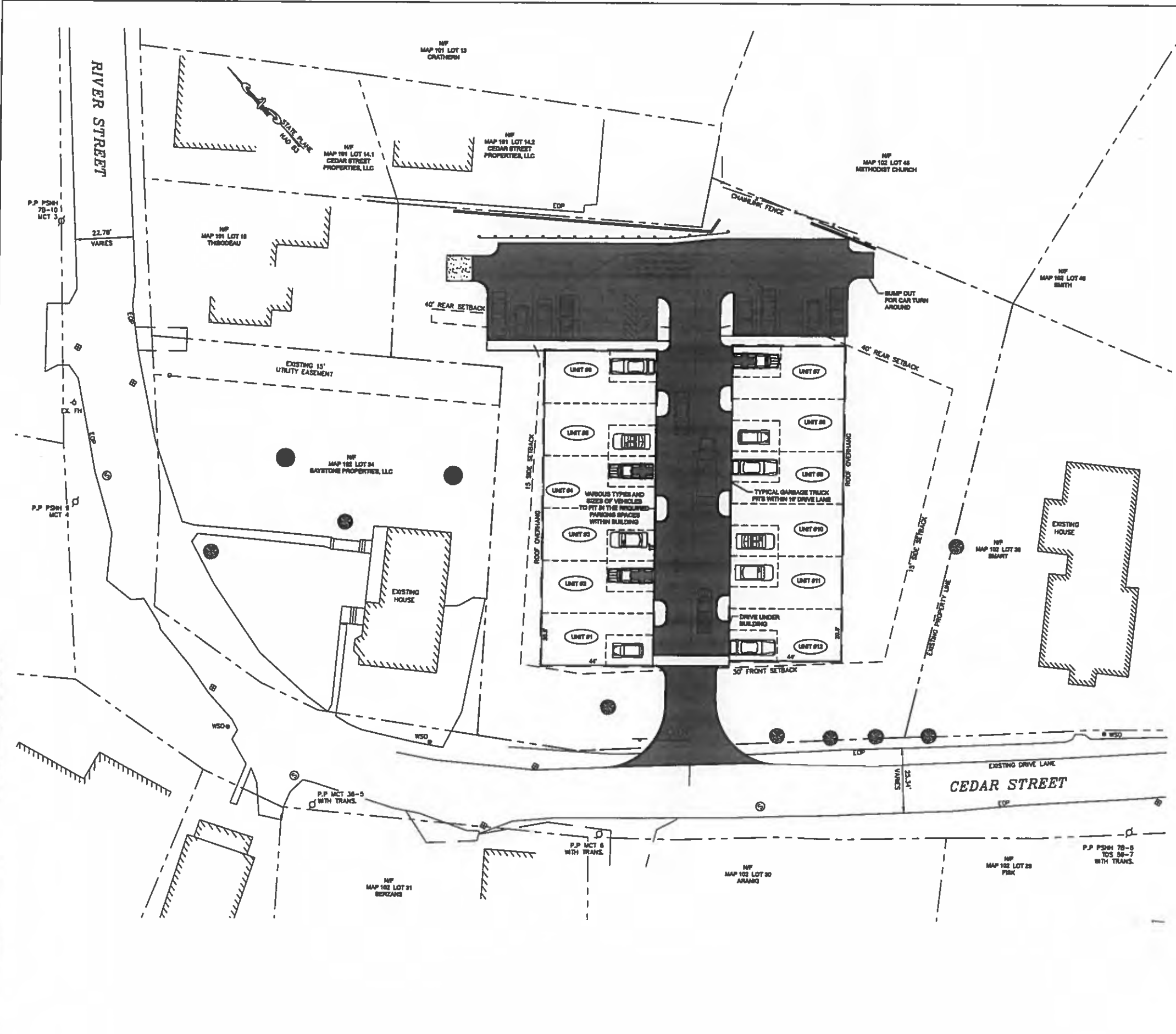
10 20 30

SCALE: 1"=20'

**N.H. LAND Consultants**  
 SURVEYING-LAND PLANNING-REAL ESTATE  
 A Veteran Owned Company

**SITE LAYOUT PLAN**  
 TAX MAP 102 LOT 35  
**CONDOMINIUM SUBDIVISION**  
 71 CEDAR ST. HOPKINTON, (CONTOODCOOK) NH  
 OWNED BY  
**BAYSTONE PROPERTIES, LLC**  
 44 NORTH SHORE ROAD, DERRY, NH 03038  
 LOT 35 - BOOK 3691 PAGE 1784

MERRIMACK CO.  
 JOB NO: 393.00  
 DATE: JUNE 21, 2021  
**PSP**  
 SHT. 3 of 16



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- THE PROPOSED USE OF TAX MAP 102 LOT 35 IS A CONDOMINIUM SUBDIVISION.
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- A COMPLETE PLAN SET WILL BE FILED AT THE TOWN OF HOPKINTON.
- THE FEMA MAP NUMBER FOR THIS SITE IS 33013C0002E, EFFECTIVE DATE: APRIL 18, 2010. THE BASE FLOOD ELEVATION BY ZONE AE IS 333.502. THE ANNUAL CHANCE FLOOD (100 YR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR. A SMALL PORTION OF THE SITE REMAINS IN THIS ZONE. THE REMAINDER OF THE SITE IS WITHIN THE ZONE X, AREAS OF 0.2% ANNUAL CHANCE OF FLOOD WITH DEPTHS LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF HOPKINTON SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NCS OPUS ON APRIL 18, 2021 FROM DATA COLLECTED BY THIS OFFICE ON APRIL 17, 2021. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 88.
- MCS SOILS DATA: B13A-CROGHAN LOAMY FINE SAND, 0 TO 8 PERCENT SLOPES, WOODED

**PLAN REFERENCES:**

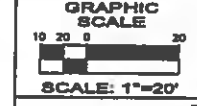
- M.C.R.D. PLAN #4312, RECORDED APRIL 12, 1976, TITLED: "CONTOCOCK UNITED METHODIST CHURCH, MINOR SUBDIVISION, CONTOCOCK, NH, MERRIMACK COUNTY", SCALE: 1"=20', DATED: APRIL, 1976, PREPARED BY: ALLEN LEWIS (287), REGISTERED LAND SURVEYOR, APPROVED BY HOPKINTON PLANNING BOARD ON APRIL 10, 1976.
- M.C.R.D. PLAN #0073, RECORDED NOV. 30, 1984, TITLED: "SUBDIVISION OF LAND OF IRVING S. GEORGE IN CONTOCOCK-HOPKINTON NH.", DATED: NOV. 18, 1983, SCALE: 1"=20', PREPARED BY: GILBERT C. CASTLE, SURVEYOR, APPROVED BY HOPKINTON PLANNING BOARD ON NOV. 20, 1984.
- M.C.R.D. PLAN #1332, RECORDED MAY 11, 1990, TITLED: "LAND OF CHARLES S. ROTONDI, NEAR RIVER & CEDAR ST., PARTIAL BOUNDARY SURVEY, HOPKINTON, NH, SCALE: 1"=20', DATED: MAY 4, 1988, PREPARED BY: H.M. ANDSEN & SONS, LAND SURVEYORS, PLANNERS, AND BOUNDARY CONSULTANTS, CONCORD NH.
- M.C.R.D. PLAN #15748, RECORDED JAN. 23, 2002, TITLED: "ANNE ROTONDI LOT 32, MAP 102, HOPKINTON, NH, PROPERTY SURVEY, SCALE: 1"=20', DATED: 1/25/2002, PREPARED BY: BOW MILLS LAND MANAGEMENT, LAND SURVEYORS, BOW NH, 03304.
- M.C.R.D. PLAN #15958, RECORDED JULY 18, 2002, TITLED: "ANNE & CHARLES ROTONDI, LOT 34 & 35, MAP 102, CEDAR & RIVER STREETS, HOPKINTON NH, PROPERTY SURVEY", PREPARED BY: BOW MILLS LAND MANAGEMENT, LAND SURVEYORS, PLANNERS & BOUNDARY CONSULTANTS, BOW NH, DATED: 8/21/2002, SCALE: 1"=20'.

**LEGEND**

EXISTING STONEWALL	-----
ADJUTING PROPERTY LINES	-----
SUBJECT PROPERTY LINES	-----
EDGE OF PAVEMENT	-----
EXISTING FENCELINE	-----
EXISTING TIELINE	-----
EXISTING BLDG SETBACK	-----
EXISTING FENCE LINE	-----
DRILL HOLE FOUND	○
REBAR W/ CAP FOUND	○
STONE BOUND FOUND	○
WALL MOUNTED LIGHT FIXTURE CALLOUT	W1, W
PROPOSED CATCH BASIN	⊕
PROPOSED SEWER MANHOLE	⊕
PROPOSED SIGN	⊕

**REVISIONS**

NO.	DATE	DESCRIPTION	BY

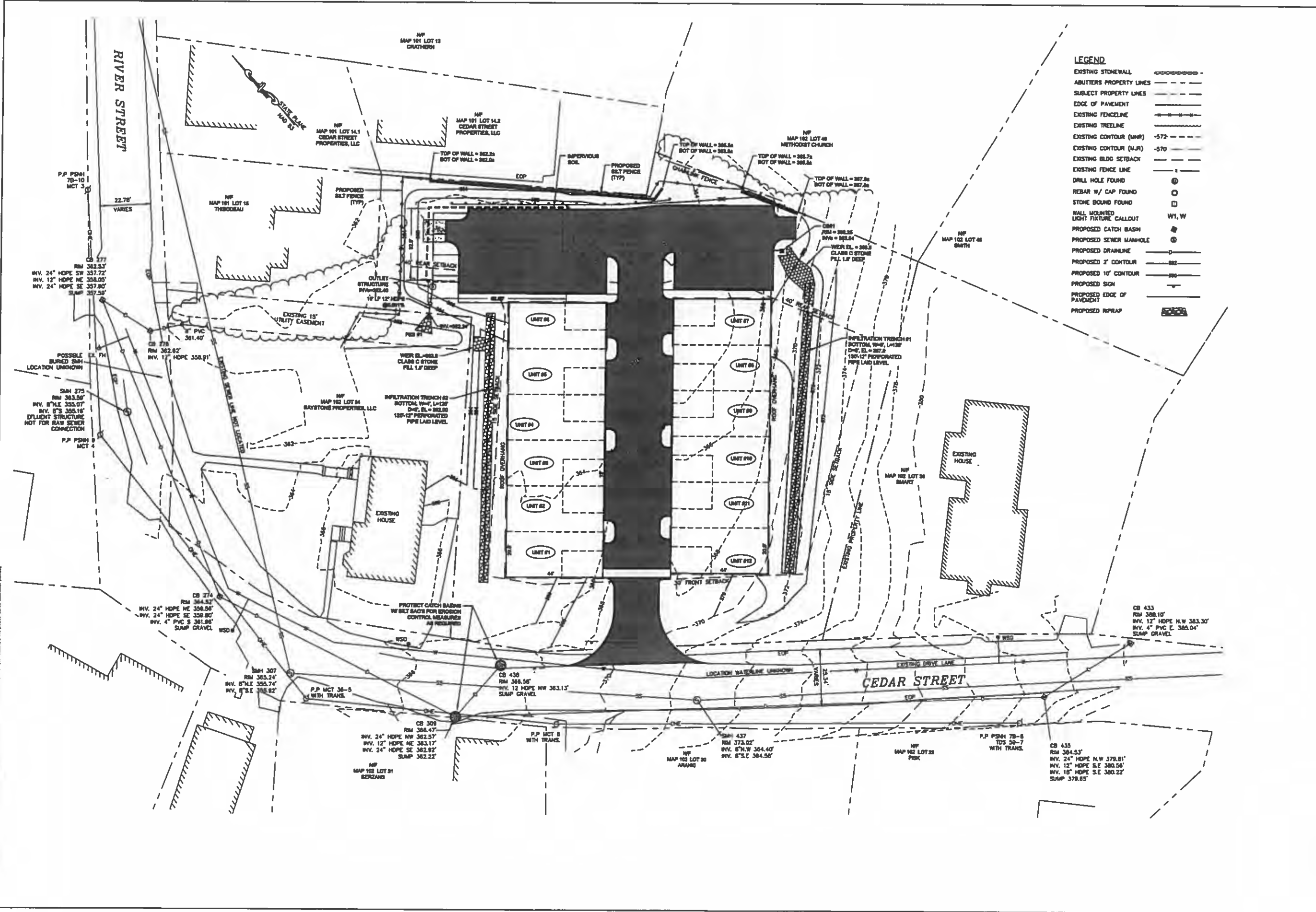


**N.H. LAND Consultants**  
 SURVEYING-LAND PLANNING-REAL ESTATE  
 A Veteran Owned Company

6532 DUSTY HILL LANE, NORTHWOOD, NH 03291 TEL: 603-455-8782 WEBSITE: NH.LANDCONSULTANTS.COM

**PARKING & CIRCULATION PLAN**  
 TAX MAP 102 LOT 35  
**CONDOMINIUM SUBDIVISION**  
 OWNED BY  
 71 CEDAR ST., HOPKINTON, (CONTOCOCK) NH  
**BAYSTONE PROPERTIES, LLC**  
 44 NORTH SHORE ROAD, DERRY, NH 03038  
 LOT 35 - BOOK 3691 PAGE 1784

MERRIMACK CO.  
 JOB NO: 393.00  
 DATE: JUNE 21, 2021  
**PCP**  
 SHT. 4 of 18



**LEGEND**

EXISTING STONEWALL	-----
ADJACENT PROPERTY LINES	-----
SUBJECT PROPERTY LINES	-----
EDGE OF PAVEMENT	-----
EXISTING FENCELINE	-----
EXISTING TREELINE	-----
EXISTING CONTOUR (M/R)	-572-
EXISTING CONTOUR (M/R)	-570-
EXISTING BLDG SETBACK	-----
EXISTING FENCE LINE	-----
DRILL HOLE FOUND	⊙
REBAR W/ CAP FOUND	○
STONE BOUND FOUND	□
WALL MOUNTED LIGHT FIXTURE CALLOUT	W1, W
PROPOSED CATCH BASIN	⊕
PROPOSED SEWER MANHOLE	⊙
PROPOSED DRAINAGE	-----
PROPOSED 2' CONTOUR	-----
PROPOSED 10' CONTOUR	-----
PROPOSED SIGN	-----
PROPOSED EDGE OF PAVEMENT	-----
PROPOSED RIPRAP	-----

**REVISIONS**

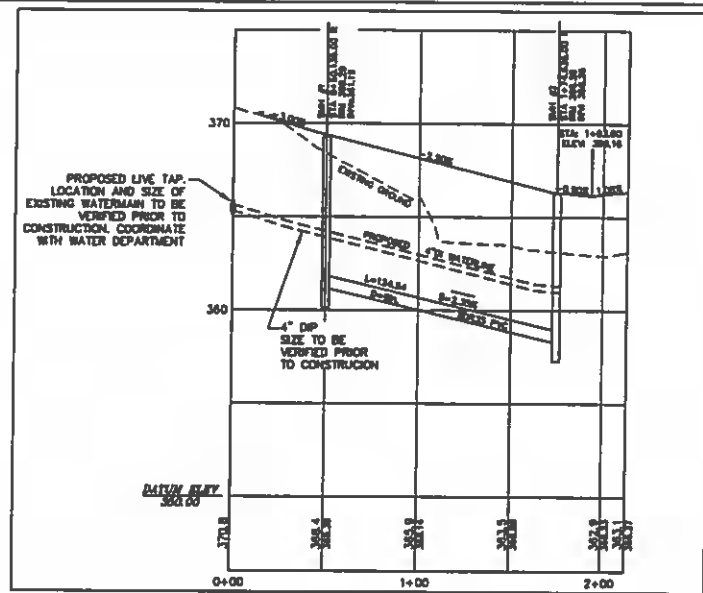
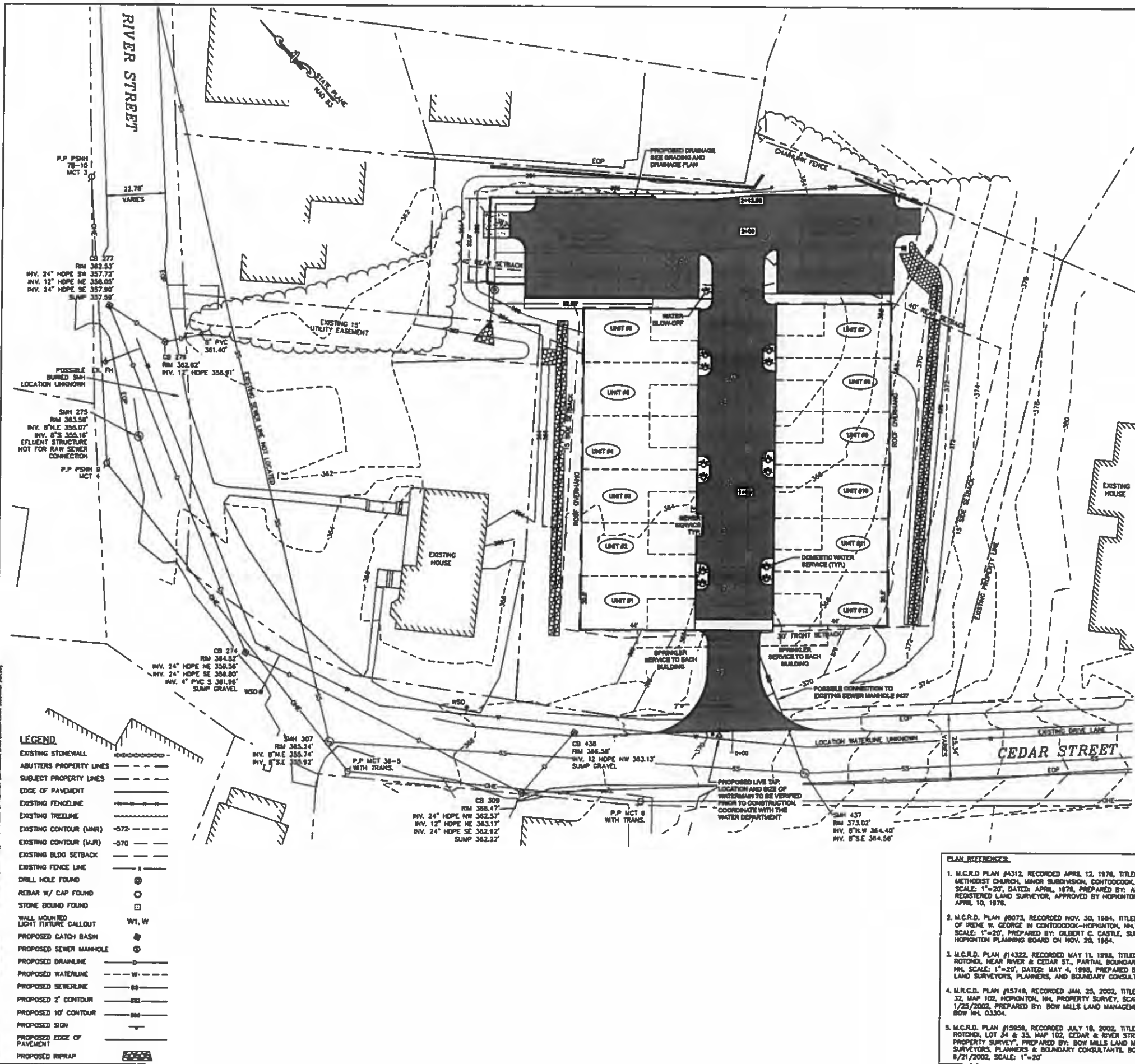
NO.	DATE	DESCRIPTION	BY

**GRAPHIC SCALE**  
 10 20 30  
 SCALE: 1"=20'

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GRADING, DRAINAGE & EROSION CONTROL PLAN  
 TAX MAP 102 LOT 35  
**CONDOMINIUM SUBDIVISION**  
 71 CEDAR ST. HOPKINTON, (CONTOOCCOOK) NH  
 OWNED BY  
**BAYSTONE PROPERTIES, LLC**  
 44 NORTH SHORE ROAD, DERRY, NH 03038  
 LOT 35 - BOOK 3681 PAGE 1784

MERRIMACK CO.  
 JOB NO. 393.00  
 DATE: JUNE 21, 2021  
**PGP**  
 SHT. 5 of 16



**DRIVEWAY, WATER & SEWER PROFILE**  
SCALE: 1"=50'  
1"=20'

REVISIONS		
NO.	DATE	DESCRIPTION



**LEGEND**

EXISTING STONEWALL	-----
ADJUTERS PROPERTY LINES	-----
SUBJECT PROPERTY LINES	-----
EDGE OF PAVEMENT	-----
EXISTING TREELINE	-----
EXISTING CONTOUR (MNR)	-572-----
EXISTING CONTOUR (MJR)	-570-----
EXISTING BLDG SETBACK	-----
EXISTING FENCE LINE	-----
DRILL HOLE FOUND	○
REBAR W/ CAP FOUND	⊙
STONE BOUND FOUND	□
WALL MOUNTED LIGHT FIXTURE CALLOUT	W1, W
PROPOSED CATCH BASIN	⊙
PROPOSED SEWER MANHOLE	⊙
PROPOSED DRAINLINE	-----
PROPOSED WATERLINE	-----
PROPOSED SEWERLINE	-----
PROPOSED 2' CONTOUR	-----
PROPOSED 10' CONTOUR	-----
PROPOSED SIGN	-----
PROPOSED EDGE OF PAVEMENT	-----
PROPOSED RIPRAP	-----

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW A CONDOMINIUM SUBDIVISION ON TAX MAP 102 LOT 35.
  - THE PROPERTY IS DESIGNATED AS TAX MAP 102, LOT 35.
  - THE AREA OF THE EXISTING LOT 35 IS 0.81 ACRES (38,780 SF.).
  - THE CURRENT OWNER FOR LOT 35: BAYSTONE PROPERTIES, LLC 44 NORTH SHORE RD, DERRY NH 03038, LOT 35 BK 3691, PAGE 1784
  - THE ZONING DESIGNATION FOR THE PROPERTY IS VR-1 DISTRICT.
  - DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE VR-1 DISTRICT:  
 MIN. ROAD FRONTAGE = 80'  
 MIN. LOT SIZE = 13,000 SF (0.34 ACRES)  
 MIN. ROAD SETBACK = 30'  
 MIN. SIDE SETBACK = 15'  
 MIN. REAR SETBACK = 40'  
 MAXIMUM STRUCTURE HEIGHT = 30'  
 SEPTIC SETBACK = 50'/75' HYDRIC SOILS  
 OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)
  - NO WETLANDS WERE LOCATED ON SITE. THOMAS E. SOKOLOSKI, CERTIFIED WETLAND SCIENTIST VISITED THE SITE DETERMINING THERE WERE NO WETLANDS FOUND ON SITE.
  - THE EXISTING USE OF TM 102 LOT 35 IS A 2 CAR GARAGE.
  - THE PROPOSED USE OF TM 102 LOT 35 IS A CONDOMINIUM SUBDIVISION.
  - SEWER TO BE PROVIDED BY MUNICIPAL.
  - WATER TO BE PROVIDED BY MUNICIPAL.
  - THERE IS SUFFICIENT CAPACITY WITH BOTH WATER AND SEWER PER THE TOWN OF HOPKINTON.
  - RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
  - ADJUTING PROPERTY INFORMATION PROVIDED BY A COMBINATION OF ON-LINE TAX MAP DATA AND DATA PROVIDED BY [www.mh.com](http://www.mh.com).
  - A COMPLETE PLAN SET WILL BE FILED AT THE TOWN OF HOPKINTON.
  - THE FEMA MAP NUMBER FOR THIS SITE IS 3301300502E, EFFECTIVE DATE: APRIL 18, 2010. THE BASE FLOOD ELEVATION IN ZONE AE IS 363.504, 1% ANNUAL CHANCE FLOOD (100 YR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR. A SMALL PORTION OF THE SITE RESIDES IN THIS ZONE. THE REMAINDER OF THE SITE IS WITHIN THE ZONE X (AREAS OF 0.2% ANNUAL CHANCE OF FLOOD WITH DEPTHS LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE).
  - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF HOPKINTON SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
  - IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
  - ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NGS OPUS ON APRIL 18, 2021 FROM DATA COLLECTED BY THIS OFFICE ON APRIL 17, 2021. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAD 83.
  - NRCS SOILS DATA: 613A-CROGHAN LOAMY FINE SAND, 0 TO 8 PERCENT SLOPES, WOODC

- PLAN REFERENCES:**
- M.C.R.D. PLAN #4312, RECORDED APRIL 12, 1978, TITLED: "CONTOOCCOOK UNITED METHODIST CHURCH, MINOR SUBDIVISION, CONTOOCCOOK, NH, MERRIMACK COUNTY", SCALE: 1"=20', DATED: APRIL, 1978, PREPARED BY: ALLEN LEWIS (287), REGISTERED LAND SURVEYOR, APPROVED BY HOPKINTON PLANNING BOARD ON APRIL 10, 1978.
  - M.C.R.D. PLAN #6073, RECORDED NOV. 30, 1884, TITLED: "SUBDIVISION OF LAND OF IRVING H. GEORGE IN CONTOOCCOOK-HOPKINTON, NH.", DATED: NOV. 18, 1883, SCALE: 1"=20', PREPARED BY: GILBERT C. CASTLE, SURVEYOR, APPROVED BY HOPKINTON PLANNING BOARD ON NOV. 20, 1884.
  - M.C.R.D. PLAN #14322, RECORDED MAY 11, 1998, TITLED: "LAND OF CHARLES S. ROTONDI, NEAR RIVER & CEDAR ST., PARTIAL BOUNDARY SURVEY, HOPKINTON, NH, SCALE: 1"=20', DATED: MAY 4, 1998, PREPARED BY: H.H. ANDSEN & SONS, LAND SURVEYORS, PLANNERS, AND BOUNDARY CONSULTANTS, CONCORD NH.
  - M.C.R.D. PLAN #15749, RECORDED JAN. 23, 2002, TITLED: "ANNE ROTONDI LOT 32, MAP 102, HOPKINTON, NH, PROPERTY SURVEY, SCALE: 1"=20', DATED: 1/23/2002, PREPARED BY: BOW MILLS LAND MANAGEMENT, LAND SURVEYORS, BOW NH, 03304.
  - M.C.R.D. PLAN #19859, RECORDED JULY 18, 2002, TITLED: "ANNE & CHARLES ROTONDI, LOT 34 & 35, MAP 102, CEDAR & RIVER STREETS, HOPKINTON NH, PROPERTY SURVEY", PREPARED BY: BOW MILLS LAND MANAGEMENT, LAND SURVEYORS, PLANNERS & BOUNDARY CONSULTANTS, BOW NH, DATED: 6/21/2002, SCALE: 1"=20'

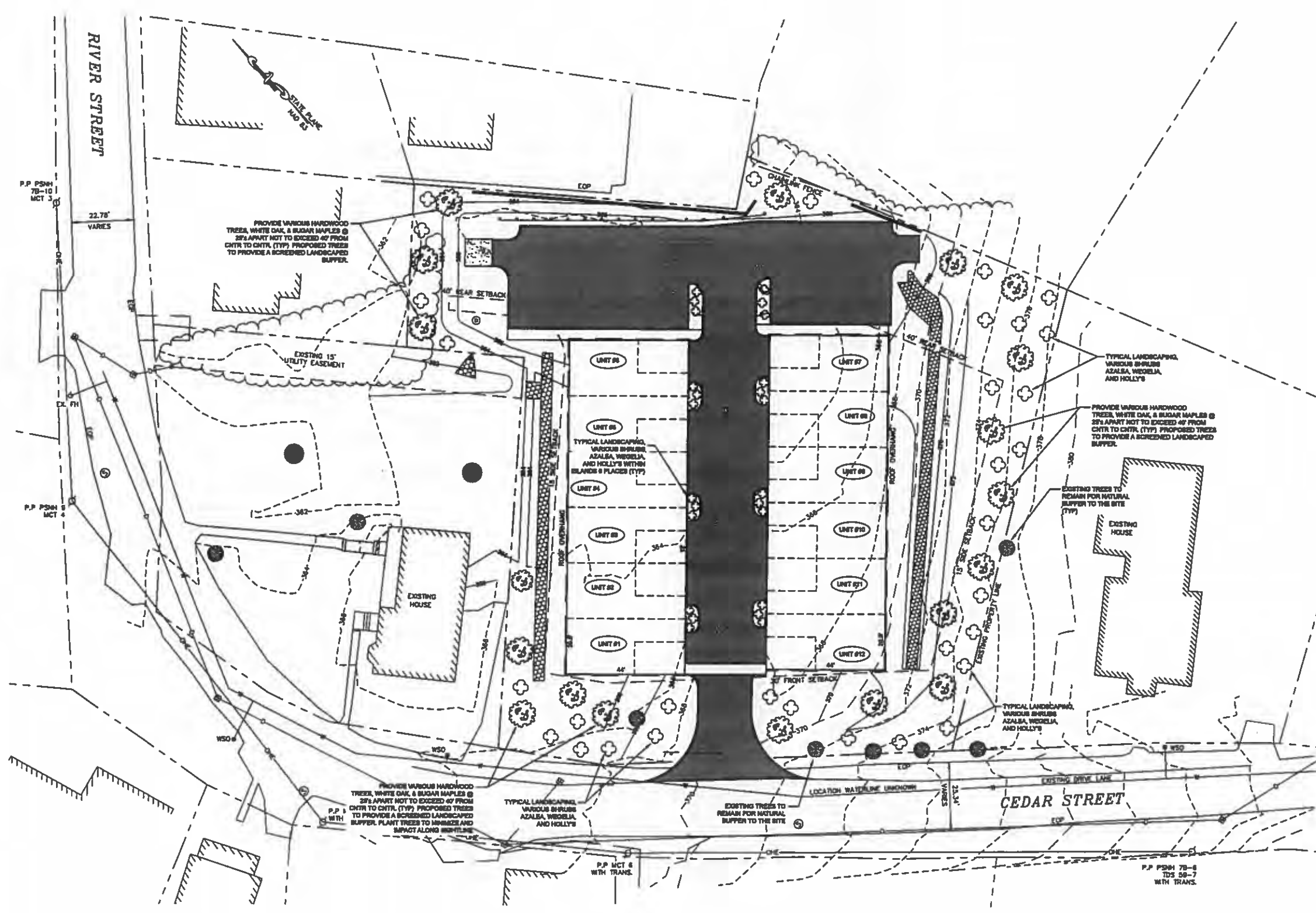
**N.H. LAND Consultants**  
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A Veteran Owned Company

WEBSITE: [WWW.NHLANDCONSULTANTS.COM](http://WWW.NHLANDCONSULTANTS.COM)  
 850 FIRST NH BLVD., HOPKINTON, NH 03041  
 PH: 603-422-8270

**UTILITY PLAN**  
TAX MAP 102 LOT 35  
**CONDOMINIUM SUBDIVISION**  
71 CEDAR ST. HOPKINTON, (CONTOOCCOOK) NH  
OWNED BY  
**BAYSTONE PROPERTIES, LLC**  
44 NORTH SHORE ROAD, DERRY, NH 03038  
LOT 35 - BOOK 3691 PAGE 1784

MERRIMACK CO.  
JOB NO: 393.00  
DATE: JUNE 21, 2021

**PUTP**  
SHT. 8 of 18



**LEGEND**

EXISTING STONEWALL	-----
ADJUTERS PROPERTY LINES	-----
SUBJECT PROPERTY LINES	-----
EDGE OF PAVEMENT	-----
EXISTING FENCELINE	-----
EXISTING TREELINE	-----
EXISTING CONTOUR (M/R)	-572-
EXISTING CONTOUR (M/R)	-570-
EXISTING BLDG SETBACK	-----
EXISTING FENCE LINE	-----
DRILL HOLE FOUND	⊙
REBAR W/ CAP FOUND	⊠
STONE BOUND FOUND	⊡
WALL MOUNTED LIGHT FIXTURE CALLOUT	WL, W
PROPOSED CATCH BASIN	⊕
PROPOSED SEWER MANHOLE	⊙
PROPOSED 2' CONTOUR	-----
PROPOSED 10' CONTOUR	-----
PROPOSED SIGN	-----
PROPOSED EDGE OF PAVEMENT	-----
PROPOSED RIPRAP	-----
PROPOSED LANDSCAPING VARIOUS SHRUBS	⊕
PROPOSED LANDSCAPING TREES	⊙

**REVISIONS**

NO.	DATE	DESCRIPTION	BY



**N.H. LAND Consultants**  
 SURVEYING-LAND PLANNING-REAL ESTATE  
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LANDSCAPE PLAN  
 TAX MAP 102 LOT 35  
**CONDOMINIUM SUBDIVISION**  
 71 CEDAR ST. HOPKINTON, (CONTOOCCOOK) NH  
 OWNED BY  
**BAYSTONE PROPERTIES, LLC**  
 44 NORTH SHORE ROAD, DERRY, NH 03035  
 LOT 35 - BOOK 3691 PAGE 1784

MERRIMACK CO.  
 JOB NO: 393.00  
 DATE: JUNE 21, 2021

**PLSC**  
 SHT. 7 of 16

PLANNING BOARD APPROVAL:  
 HOPKINTON NH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**MAINTENANCE**

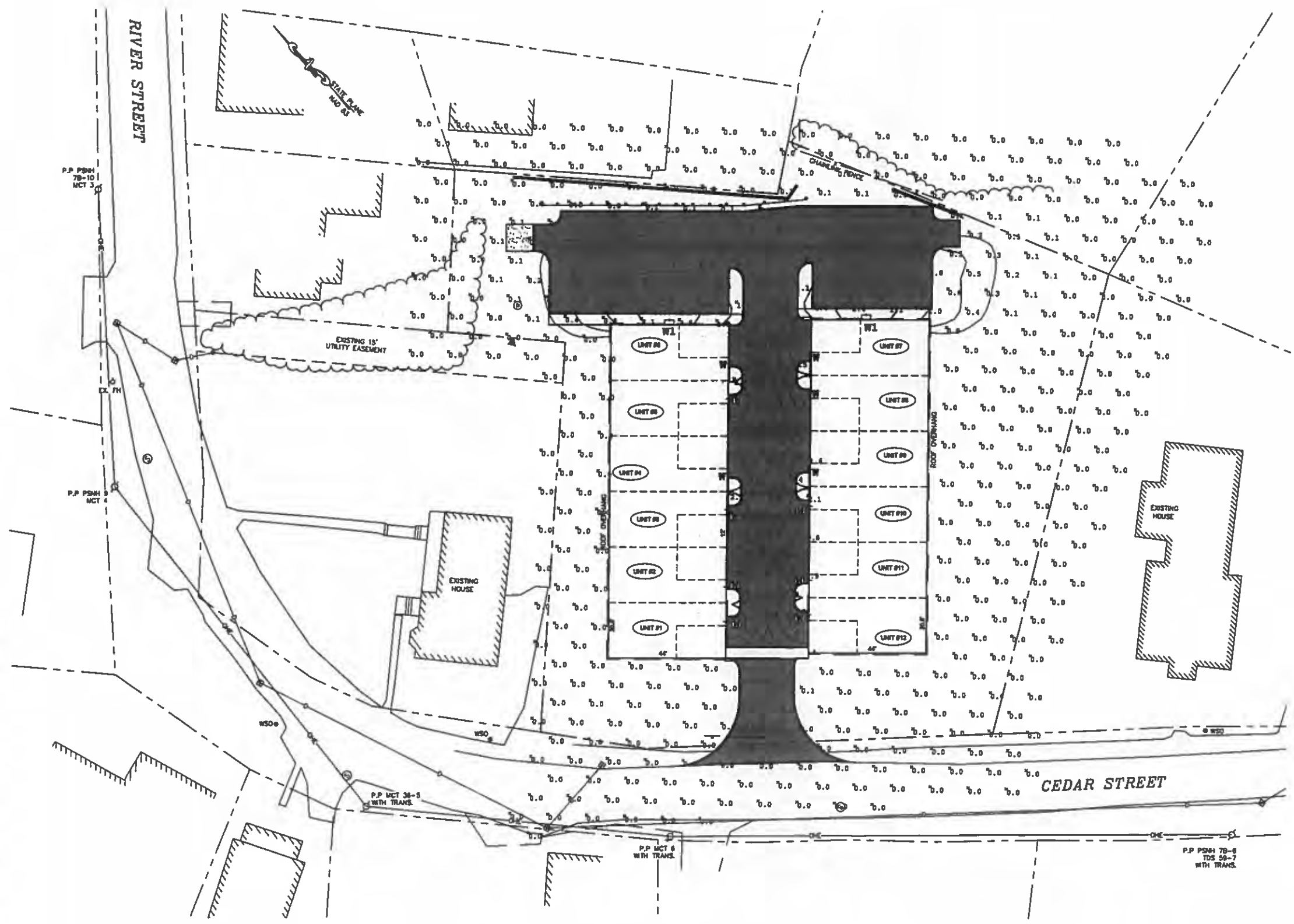
ALL LANDSCAPE SHALL RECEIVE REGULAR MAINTENANCE AND UPKEEP. SEVERELY INJURED, DISEASED, OR DEAD PLANT MATERIALS MUST BE REPLACED IN KIND IN PERPETUITY (AVOID REPLACING LANDSCAPE MATERIALS IN THE PERIOD FROM NOVEMBER TO MARCH). BEST MANAGEMENT PRACTICES TO MINIMIZE ENVIRONMENTAL IMPACTS, INCLUDING THE USE OF LOW PHOSPHORUS FERTILIZER AND SLOW RELEASE NITROGEN IF THE OWNERSHIP OF THE SITE IS CONVEYED TO A NEW PROPERTY OWNER, THE NEW OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING WITH THE APPROVED FINAL LANDSCAPING PLAN.

**PLANT LIST**

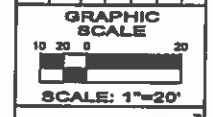
PROPOSED LANDSCAPING VARIOUS SHRUBS  
 (AZALEAS) NH NATIVE DECIDUOUS (HEDERA) DENSE DECIDUOUS SHRUB (HOLLIES) VARIOUS SPECIES OF HOLLY

PROPOSED LANDSCAPING HARDWOOD TREES  
 (SUGAR MAPLES) (WHITE OAK) (BOTH WHITE OAK & SUGAR MAPLES ARE NH NATIVE TREES)

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
⊙	12	W	SINGLE	66411/ WALL MTD 10' AFG
⊞	2	W1	SINGLE	ISS-SA1B-740-U-SL3/ WALL MTD 15' AFG



REVISIONS		
NO.	DATE	DESCRIPTION

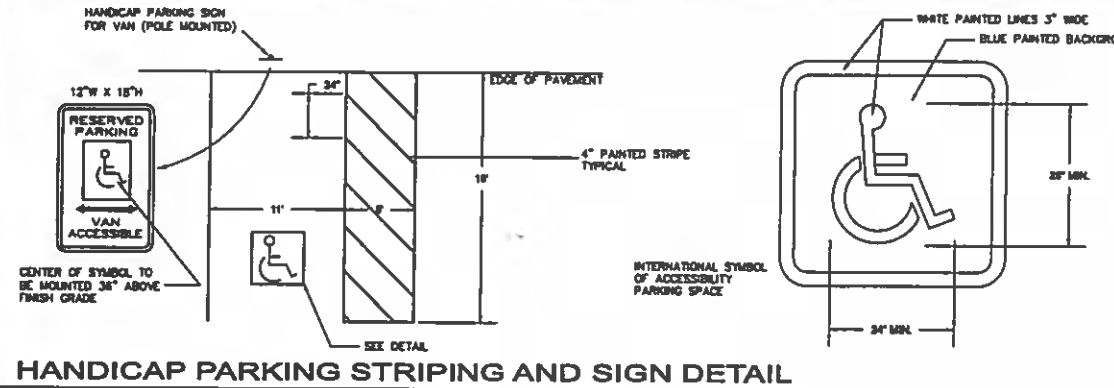


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LIGHTING PLAN  
TAX MAP 102 LOT 35  
CONDOMINIUM SUBDIVISION  
71 CEDAR ST. HOPKINTON, (CONTOOCOOK) NH  
OWNED BY  
**BAYSTONE PROPERTIES, LLC**  
44 NORTH SHORE ROAD, DERRY, NH 03035  
LOT 35 - BOOK 3691 PAGE 1784

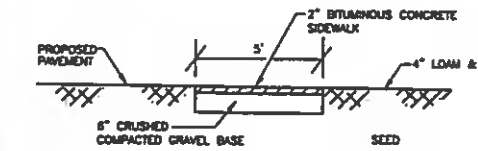
MERRIMACK CO.  
JOB NO: 393.00  
DATE: JUNE 21, 2021  
**PLTP**  
SHT. 8 of 16





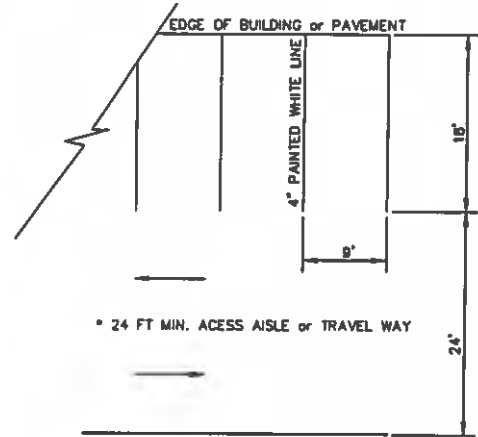
HANDICAP PARKING STRIPING AND SIGN DETAIL

NOT TO SCALE



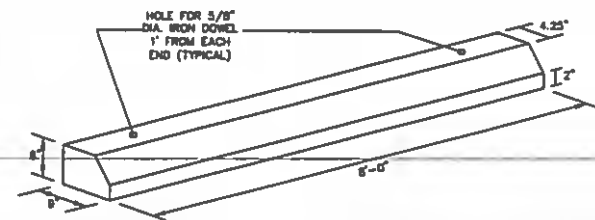
BITUMINOUS CONCRETE SIDEWALK DETAIL

NOT TO SCALE



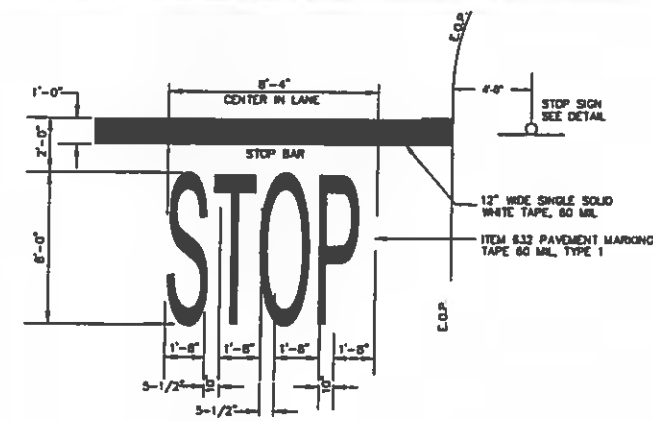
90° PARKING SPACE DETAIL

NOT TO SCALE



CONCRETE PARKING CURB STOP DETAIL

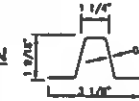
NOT TO SCALE



STOP BAR DETAIL

NOT TO SCALE

POST SECTION

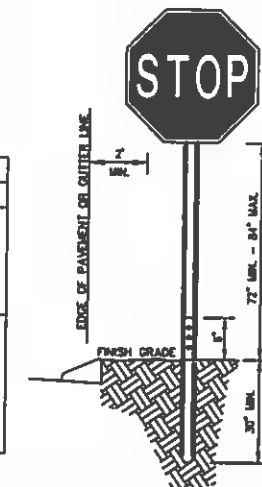


LENGTHS: P-12, 12'-0"; P-14, 14'-0"; P-16, 16'-0"  
 WEIGHT PER LINEAL FOOT: 2.80 LBS. (MIN.)  
 HOLES: 3/8" DIA. 1" O-C FULL LENGTH  
 STEEL: SHALL CONFORM TO ASTM A-496 (GRADE 60) OR ASTM A-576 (GRADE 1070-1080)  
 FINISH: SHALL BE PAINTED WITH TWO COATS OF AN APPROVED MEDIUM GLOSS, BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

NOTES:

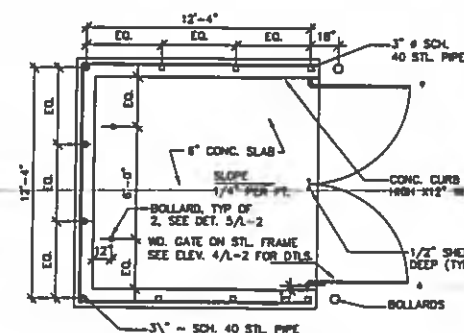
- POSTS SHALL BE PLUMB. ANY POST SOFT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED. POSTS MAY BE SET OF GRADE.
- WHEN POSTS ARE SET, HOLES SHALL BE CURED TO THE PROPER DEPTH AFTER INSERTING POSTS. THE HOLES SHALL BE BACKFILLED WITH SUITABLE MATERIAL IN LAYERS NO TO EXCEED 6" DEEP THOROUGHLY COMPACTED. CARE SHALL BE TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
- WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED AND AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST. BATTERED HEADS WILL NOT BE ACCEPTED.
- POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
- SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- WHEN SIGN IS IN PLACE NO PART OF POST SHALL EXTEND ABOVE THE SIGN.
- DIMENSIONS SHOWN ARE NOMINAL.
- ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.
- STOP BAR SHALL BE PLACED 12" FROM THE EDGE OF PAVEMENT OF ONE LANE ROAD AND SHALL BE 34" X 12".

SIGN SUMMARY		
SIGNAL NUMBER	DESCRIPTION	SIZE/NOTES
R7-BP (1 EA)	VAN ACCESSIBLE R7-AP	NEW SIGN WITH POST
R7-B (1 EA)	RESERVED PARKING R7-A	NEW SIGN WITH POST

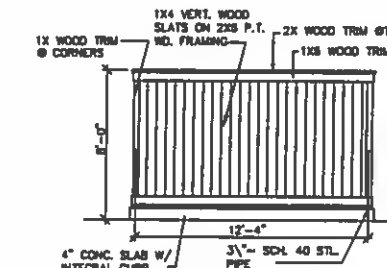


TRAFFIC SIGN POST IN GRADE

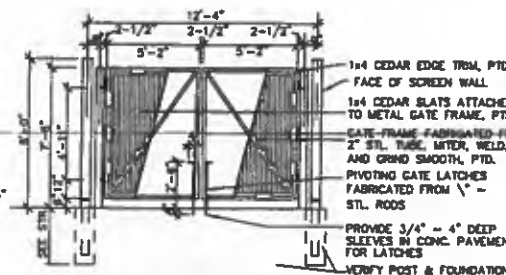
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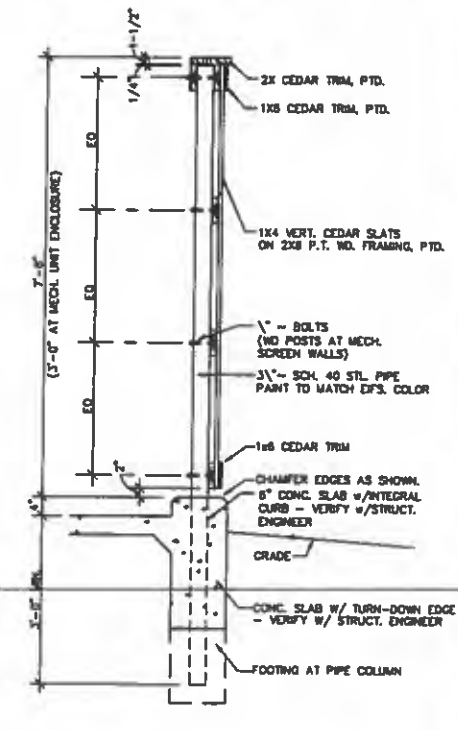
PLAN VIEW



ELEVATION VIEW



GATE DETAIL



SECTION OF TRASH ENCLOSURE WALL

DUMPSTER DETAIL W/ WOOD ENCLOSURE

NOT TO SCALE

REVISIONS		BY
NO.	DATE	DESCRIPTION

SCALE AS SHOWN



SITE DETAILS  
 TAX MAP 102 LOT 35  
 CONDOMINIUM SUBDIVISION  
 71 CEDAR ST. HOPKINTON, (CONTOOCOOK) NH  
 OWNED BY  
 BAYSTONE PROPERTIES, LLC  
 44 NORTH SHORE ROAD, DERRY, NH 03038  
 LOT 35 - BOOK 3681 PAGE 17B-4

MERRIMACK CO.  
 JOB NO: 399.00  
 DATE: JUNE 21, 2021

DET-1  
 SHT. 9 of 18

**MANHOLE TESTING PER NOTES ENR-704.12**

- (1) THE MANHOLE VACUUM TEST SHALL BE IN ACCORDANCE WITH ASTM C1244 AND CONFORM TO THE FOLLOWING:
  - (A) THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES HG. AND
  - (B) THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR A 1-INCH HG PRESSURE DROP TO 9 INCHES HG SHALL BE:
    - A. NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP IN DEPTH;
    - B. NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP; AND
    - C. NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP;
- (2) THE MANHOLE SHALL BE REPAIRED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED ABOVE.
- (3) FOLLOWING COMPLETION OF THE LEAKAGE TEST, THE FRAME AND COVER SHALL BE PLACED ON THE TOP OF THE MANHOLE OR SOME OTHER MEANS USED TO PREVENT ACCIDENTAL ENTRY BY UNAUTHORIZED PERSONS, CHILDREN, OR ANIMALS, UNTIL THE CONTRACTOR IS READY TO MAKE FINAL ADJUSTMENT TO GRADE.

**MINIMUM SIZE PIPE FOR HOUSE SERVICE SHALL BE SIX INCHES**

**PIPE AND JOINT MATERIALS**

- A. **PLASTIC PIPE.**
  1. PVC SEWER PIPE AND FITTINGS SHALL CONFORM TO ASTM D2412 (SDR 35 MINIMUM). METHODS OF SHIPPING AND STORAGE ON SITE SHALL BE SUCH AS TO AVOID INJURY TO THE PIPE. DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
  2. ALL FITTINGS SHALL BE INJECTION MOLDED FITTINGS. FABRICATED FITTINGS ARE NOT ALLOWED EXCEPT AS PERMITTED BY THE TOWN ENGINEER.
  3. JOINTS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D3312. MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION SHALL BE FOLLOWED. SOLVENT CEMENT JOINTS SHALL NOT BE PERMITTED.
  4. **DUCTILE IRON PIPE.**

DUCTILE IRON PIPE SHALL CONFORM TO ANWA C151/A21.50 & A21.51. PIPE SHALL HAVE EITHER THE RUBBER-RING TYPE, PUSH-ON JOINT, OR STANDARD MECHANICAL JOINT.
- B. **FORCE MAIN.**

FORCE MAIN SEWER PIPE SHALL CONFORM WITH ASTM D3035. PVC FORCE MAIN PIPE SHALL CONFORM WITH ASTM D2241 OR ASTM D1785. FORCE MAIN CLEANOUT VALVES AND FITTINGS SHALL BE INSTALLED IN MANHOLES MEETING THE REQUIREMENTS OF ENR-704.12 TO 704.17.

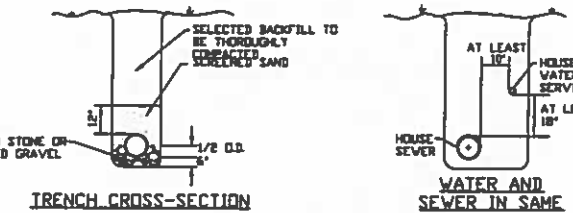
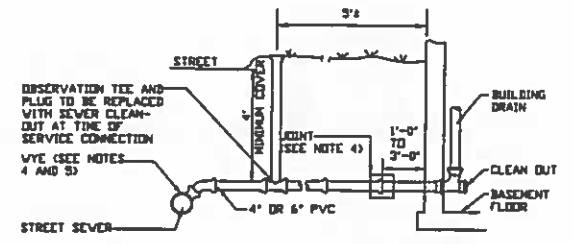
**GRAVITY SEWER PIPE TESTING PER ENR-704.08**

- (1) ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS.
- (2) LOW-PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH:
  - A. ASTM F1417 "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR"; OR
  - B. UN-BELL PVC PIPE ASSOCIATION UN-B-8, "LOW-PRESSURE AIR TESTING OF INSTALLED SEWER PIPE"
- (3) ALL NEW GRAVITY SEWERS SHALL BE CLEANED AND VISUALLY INSPECTED USING A LAMP TEST AND BY INTRODUCING WATER TO DETERMINE THAT THERE IS NO STANDING WATER IN THE SEWER; AND TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR USE.
- (4) ALL PLASTIC SEWER PIPE SHALL VISUALLY INSPECTED AND DEFLECTION TESTED NOT LESS THAN 30 DAYS NOR MORE THAN 90 DAYS FOLLOWING THE INSTALLATION.
- (5) THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5 PERCENT OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANHOLE WITH A DIAMETER OF AT LEAST 85% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.

**FORCE MAIN**

FORCE MAINS SHALL BE TESTED IN ACCORDANCE WITH SECTION 5 OF ANWA C800 "INSTALLATION OF CAST IRON WATER MAINS AND THEIR APPURTENANCES", STANDARD IN EFFECT WHEN THE TEST IS CONDUCTED, AT A PRESSURE EQUAL TO THE GREATER OF 150 PERCENT OF THE DESIGN OPERATING TOTAL DYNAMIC HEAD OR AT LEAST 100 PSI.

REFERENCE: "STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWERAGE AND WASTE WATER TREATMENT FACILITIES", DEPT OF ENVIRONMENTAL SERVICES, DMW-700



**SANITARY SEWER SERVICE DETAIL**  
NOT TO SCALE

**SEWER TRENCH NOTES:**

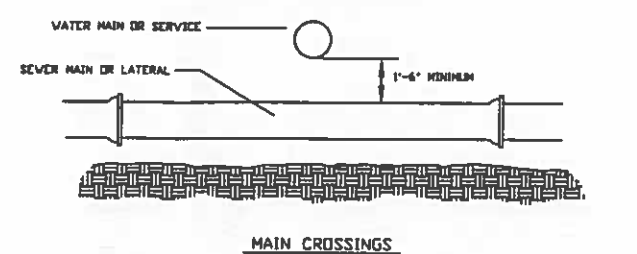
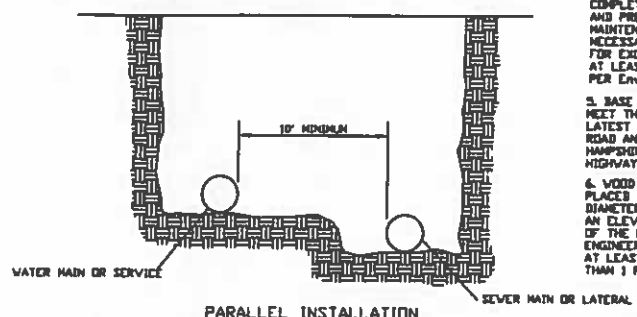
1. ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL. SEE ALSO NOTE 7.
 

BEDDING PER ENR-704.11(a) SAND SHALL BE THOROUGHLY COMPACTED TO 95% MINIMUM. SAND SHALL BE FREE FROM CLAY, LOAM, ORGANIC MATTER AND HEAVY ASTH C33-02 STONE SIZE NO. 67.

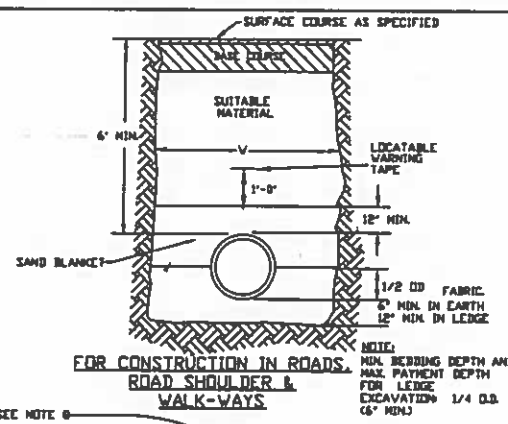
100% PASSING	1 INCH SCREEN
90-100% PASSING	3/4 INCH SCREEN
80-90% PASSING	3/8 INCH SCREEN
0-10% PASSING	0 4 SIEVE
0-5% PASSING	0 8 SIEVE
2. SAND BLANKET: ENR-704.11(b) SAND SHALL CONSIST OF NEAT NATURAL SAND CONFORMING TO THE ASTM STANDARD SPECIFICATIONS FOR CONCRETE OTHER AGGREGATES, DESIGNATION C33 AS FOLLOWS:
 

100% PASSING	3/8 INCH SCREEN
90-100% PASSING	0 4 SIEVE
80-90% PASSING	0 8 SIEVE
50-80% PASSING	0 16 SIEVE
0-50% PASSING	0 30 SIEVE

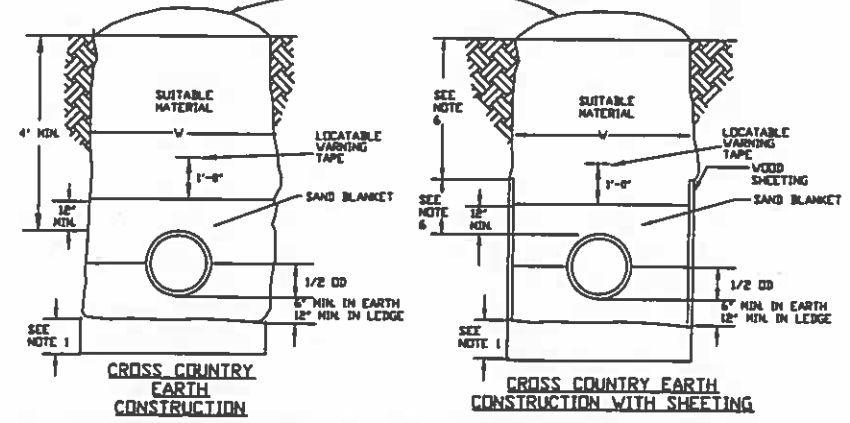
FINENESS MODULUS 2.5-3.1
3. FILTER FABRIC SHALL BE INSTALLED ABOVE PIPE - MRAFI 140N OR EQUAL



**WATER MAIN / SEWER MAIN SEPARATION**  
NOT TO SCALE



**FOR CONSTRUCTION IN ROADS, ROAD SHOULDERS & WALK-WAYS**



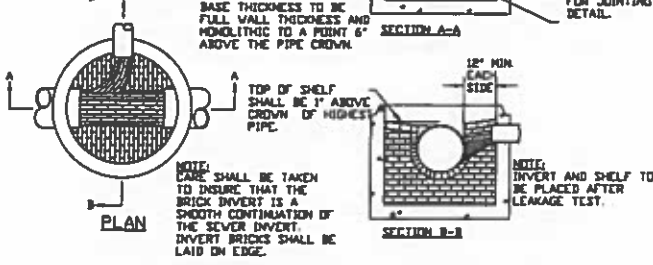
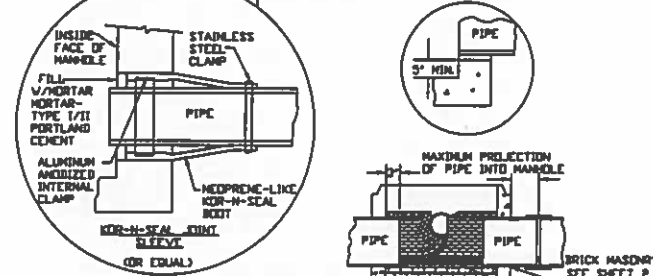
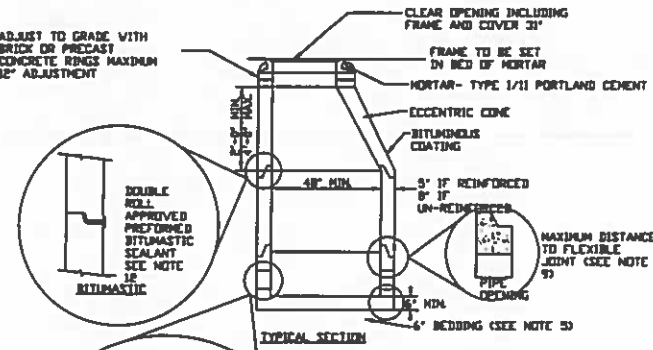
**TYPICAL SANITARY SEWER TRENCH DETAIL**  
NOT TO SCALE

4. SUITABLE MATERIAL: TRENCH BACKFILL MATERIAL SHALL CONFORM WITH ENR-704.11 (a) IN ROADS, ROAD SHOULDERS, WALK-WAYS AND TRAVELLED WAYS. SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED BURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL VET OR SOFT MUCK, PEAT OR CLAY. ALL EXCAVATED LEIGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
5. IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY WILL BE PRESERVED.
6. WHERE EXCAVATION IN LEIGE, EXCAVATION SHALL EXTEND AT LEAST 12" BELOW THE BOTTOM OF THE SEWER PIPE PER ENR-704.11 (a).
7. A MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 18 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, IT SHALL BE NO MORE THAN 36 INCHES; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, IT SHALL BE 24 INCHES PLUS PIPE O.D. V SHALL ALSO BE THE PAYMENT WIDTH FOR LEIGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
8. FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE BOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
9. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES DESIGN STANDARDS REQUIRE 18 FT. SEPARATION BETWEEN WATER AND SEWER. HOWEVER, SEWER CONSTRUCTION REVEAL OR EXPOSE A WATERLINE CHAIN OR APPROXIMATELY PARALLEL, AND LESS THAN 10 FT. HORIZONTALLY FROM THE PROPOSED SEWER INSTALLATION AND WHERE IT IS NOT PRACTICABLE TO RELOCATE THE SEWER, THE FOLLOWING METHODS OF PROTECTION MUST BE EMPLOYED:
  - A. SEWER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE.
  - B. JOINTS SHALL BE PRESSURE TESTED WITH ZERO LEAKAGE AT 25 POUNDS PER SQUARE INCH FOR GRAVITY SEWERS, AND 1-1/2 TIMES WORKING PRESSURE FOR FORCE MAINS.
  - C. WHERE WATERLINES AND SEWER LINES CROSS THEY CROSS AS PERPENDICULAR AS POSSIBLE AND THE WATER MAIN SHALL CROSS AT LEAST 18" INCHES ABOVE THE SEWER. FURTHER, THE SEWER JOINTS SHALL BE LOCATED AT LEAST 9 FEET HORIZONTALLY FROM THE WATERMAIN. SEWER JOINTS SHALL BE PRESSURE TESTED WITH ZERO LEAKAGE AT 25 POUNDS PER SQUARE INCH FOR GRAVITY SEWERS, AND AT 1-1/2 TIMES WORKING PRESSURE FOR FORCE MAINS.
  - D. ALL SEWERS AT 9 PERCENT OR GREATER SLOPE SHALL HAVE TRENCH DAMS INSTALLED.
  - E. UNLESS OTHERWISE NOTED ALL GRANULAR MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 95% OF THE MODIFIED PROCTOR TEST.
10. WHERE WATERLINES AND SEWER LINES CROSS THEY CROSS AS PERPENDICULAR AS POSSIBLE AND THE WATER MAIN SHALL CROSS AT LEAST 18" INCHES ABOVE THE SEWER. FURTHER, THE SEWER JOINTS SHALL BE LOCATED AT LEAST 9 FEET HORIZONTALLY FROM THE WATERMAIN. SEWER JOINTS SHALL BE PRESSURE TESTED WITH ZERO LEAKAGE AT 25 POUNDS PER SQUARE INCH FOR GRAVITY SEWERS, AND AT 1-1/2 TIMES WORKING PRESSURE FOR FORCE MAINS.
11. ALL SEWERS AT 9 PERCENT OR GREATER SLOPE SHALL HAVE TRENCH DAMS INSTALLED.
12. UNLESS OTHERWISE NOTED ALL GRANULAR MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 95% OF THE MODIFIED PROCTOR TEST.

**SEWER MANHOLE COVER NOTES:**

1. CONTACT SURFACES OF COVERS AND FRAMES SHALL BE MACHINED AT THE FOUNDRY TO PREVENT ROCKING OF COVERS IN ANY DIRECTION.
2. CASTINGS SHALL BE EQUAL TO CLASS 20, CONFORMING TO ASTM A48.
3. WHERE MANHOLE TOPS ARE TO BE FLOODED BY WATER THEY WILL HAVE A WATER TIGHT COVER.
4. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE HEAVY DUTY DESIGN AND PROVIDE A 50 INCH CLEAR OPENING, A 3 INCH MINIMUM HEIGHT WORD "SEWER" FOR SEWERS OR "DRAIN" FOR DRAINS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER. MANHOLE COVERS SHALL HAVE NON-PENETRATION PICK HOLES.
5. FRAMES AND COVERS SHALL BE NEWMAN MODEL R-1975 OR APPROVED EQUAL.
6. CASTINGS SHALL CONFORM WITH ASTM A48/A49 PER ENR-704.13 (a).

**SEWER MANHOLE COVER**  
NOT TO SCALE



**SANITARY SEWER MANHOLE**  
NOT TO SCALE

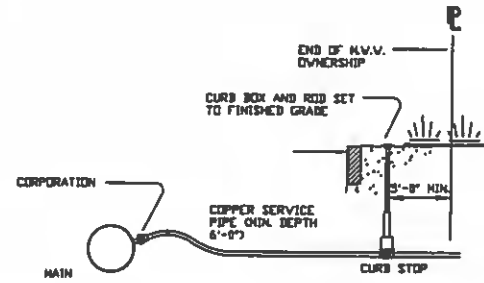
REVISIONS	
NO.	DATE

SCALE AS SHOWN

**N.H. LAND Consultants**  
SURVEYING-LAND PLANNING-REAL ESTATE  
A Veteran Owned Company

SEWER DETAILS  
TAX MAP 102 LOT 35  
CONDOMINIUM SUBDIVISION  
71 CEDAR ST. HOPKINTON, (CONTOOCOOK) NH  
OWNED BY  
**BAYSTONE PROPERTIES, LLC**  
44 NORTH SHORE ROAD, DERRY, NH 03035  
LOT 35 - BOOK 3681 PAGE 1784

MERRIMACK CO.  
JOB NO: 393.00  
DATE: JUNE 21, 2021  
**DET-2**  
SHT. 10 of 18



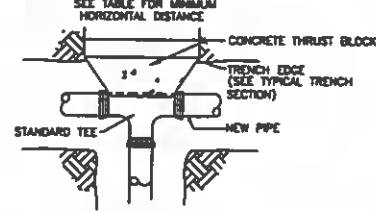
CORPORATIONS SHALL BE TAPPED DIRECTLY TO THE MAIN IN SIZES UP TO 1" # (INCLUSIVE).  
 CORPORATION 1-1/2" # AND GREATER SHALL BE INSTALLED USING A TAPPING SADDLE AND SHELL CUTTER

**TYPICAL SERVICE CONNECTION**  
 NOT TO SCALE

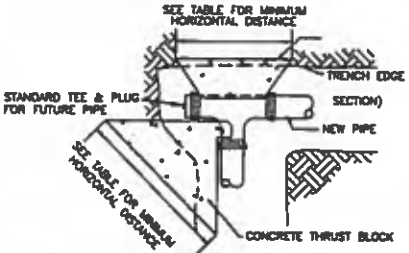
**THRUST BLOCK TABLE**

SIZE	TYPE	HORIZONTAL DISTANCE IN SAND OR GRAVEL	VERTICAL DISTANCE IN SAND OR GRAVEL	VERTICAL DISTANCE IN BEDROCK
1"	TEE BRANCH	2'-0"	2'-0"	2'-0"
1 1/2"	TEE BRANCH	2'-0"	2'-0"	2'-0"
2"	TEE BRANCH	2'-0"	2'-0"	2'-0"
2 1/2"	TEE BRANCH	2'-0"	2'-0"	2'-0"
3"	TEE BRANCH	2'-0"	2'-0"	2'-0"
4"	TEE BRANCH	2'-0"	2'-0"	2'-0"
6"	TEE BRANCH	2'-0"	2'-0"	2'-0"
8"	TEE BRANCH	2'-0"	2'-0"	2'-0"
10"	TEE BRANCH	2'-0"	2'-0"	2'-0"
12"	TEE BRANCH	2'-0"	2'-0"	2'-0"
14"	TEE BRANCH	2'-0"	2'-0"	2'-0"
16"	TEE BRANCH	2'-0"	2'-0"	2'-0"
18"	TEE BRANCH	2'-0"	2'-0"	2'-0"
20"	TEE BRANCH	2'-0"	2'-0"	2'-0"
24"	TEE BRANCH	2'-0"	2'-0"	2'-0"
30"	TEE BRANCH	2'-0"	2'-0"	2'-0"
36"	TEE BRANCH	2'-0"	2'-0"	2'-0"
42"	TEE BRANCH	2'-0"	2'-0"	2'-0"
48"	TEE BRANCH	2'-0"	2'-0"	2'-0"
60"	TEE BRANCH	2'-0"	2'-0"	2'-0"
72"	TEE BRANCH	2'-0"	2'-0"	2'-0"
84"	TEE BRANCH	2'-0"	2'-0"	2'-0"
96"	TEE BRANCH	2'-0"	2'-0"	2'-0"
108"	TEE BRANCH	2'-0"	2'-0"	2'-0"
120"	TEE BRANCH	2'-0"	2'-0"	2'-0"
144"	TEE BRANCH	2'-0"	2'-0"	2'-0"
168"	TEE BRANCH	2'-0"	2'-0"	2'-0"
192"	TEE BRANCH	2'-0"	2'-0"	2'-0"
216"	TEE BRANCH	2'-0"	2'-0"	2'-0"
240"	TEE BRANCH	2'-0"	2'-0"	2'-0"
288"	TEE BRANCH	2'-0"	2'-0"	2'-0"
336"	TEE BRANCH	2'-0"	2'-0"	2'-0"
384"	TEE BRANCH	2'-0"	2'-0"	2'-0"
432"	TEE BRANCH	2'-0"	2'-0"	2'-0"
480"	TEE BRANCH	2'-0"	2'-0"	2'-0"
576"	TEE BRANCH	2'-0"	2'-0"	2'-0"
672"	TEE BRANCH	2'-0"	2'-0"	2'-0"
768"	TEE BRANCH	2'-0"	2'-0"	2'-0"
864"	TEE BRANCH	2'-0"	2'-0"	2'-0"
960"	TEE BRANCH	2'-0"	2'-0"	2'-0"
1056"	TEE BRANCH	2'-0"	2'-0"	2'-0"
1152"	TEE BRANCH	2'-0"	2'-0"	2'-0"
1248"	TEE BRANCH	2'-0"	2'-0"	2'-0"
1344"	TEE BRANCH	2'-0"	2'-0"	2'-0"
1440"	TEE BRANCH	2'-0"	2'-0"	2'-0"
1536"	TEE BRANCH	2'-0"	2'-0"	2'-0"
1632"	TEE BRANCH	2'-0"	2'-0"	2'-0"
1728"	TEE BRANCH	2'-0"	2'-0"	2'-0"
1824"	TEE BRANCH	2'-0"	2'-0"	2'-0"
1920"	TEE BRANCH	2'-0"	2'-0"	2'-0"
2016"	TEE BRANCH	2'-0"	2'-0"	2'-0"
2112"	TEE BRANCH	2'-0"	2'-0"	2'-0"
2208"	TEE BRANCH	2'-0"	2'-0"	2'-0"
2304"	TEE BRANCH	2'-0"	2'-0"	2'-0"
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2592"	TEE BRANCH	2'-0"	2'-0"	2'-0"
2688"	TEE BRANCH	2'-0"	2'-0"	2'-0"
2784"	TEE BRANCH	2'-0"	2'-0"	2'-0"
2880"	TEE BRANCH	2'-0"	2'-0"	2'-0"
2976"	TEE BRANCH	2'-0"	2'-0"	2'-0"
3072"	TEE BRANCH	2'-0"	2'-0"	2'-0"
3168"	TEE BRANCH	2'-0"	2'-0"	2'-0"
3264"	TEE BRANCH	2'-0"	2'-0"	2'-0"
3360"	TEE BRANCH	2'-0"	2'-0"	2'-0"
3456"	TEE BRANCH	2'-0"	2'-0"	2'-0"
3552"	TEE BRANCH	2'-0"	2'-0"	2'-0"
3648"	TEE BRANCH	2'-0"	2'-0"	2'-0"
3744"	TEE BRANCH	2'-0"	2'-0"	2'-0"
3840"	TEE BRANCH	2'-0"	2'-0"	2'-0"
3936"	TEE BRANCH	2'-0"	2'-0"	2'-0"
4032"	TEE BRANCH	2'-0"	2'-0"	2'-0"
4128"	TEE BRANCH	2'-0"	2'-0"	2'-0"
4224"	TEE BRANCH	2'-0"	2'-0"	2'-0"
4320"	TEE BRANCH	2'-0"	2'-0"	2'-0"
4416"	TEE BRANCH	2'-0"	2'-0"	2'-0"
4512"	TEE BRANCH	2'-0"	2'-0"	2'-0"
4608"	TEE BRANCH	2'-0"	2'-0"	2'-0"
4704"	TEE BRANCH	2'-0"	2'-0"	2'-0"
4800"	TEE BRANCH	2'-0"	2'-0"	2'-0"
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4992"	TEE BRANCH	2'-0"	2'-0"	2'-0"
5088"	TEE BRANCH	2'-0"	2'-0"	2'-0"
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5376"	TEE BRANCH	2'-0"	2'-0"	2'-0"
5472"	TEE BRANCH	2'-0"	2'-0"	2'-0"
5568"	TEE BRANCH	2'-0"	2'-0"	2'-0"
5664"	TEE BRANCH	2'-0"	2'-0"	2'-0"
5760"	TEE BRANCH	2'-0"	2'-0"	2'-0"
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5952"	TEE BRANCH	2'-0"	2'-0"	2'-0"
6048"	TEE BRANCH	2'-0"	2'-0"	2'-0"
6144"	TEE BRANCH	2'-0"	2'-0"	2'-0"
6240"	TEE BRANCH	2'-0"	2'-0"	2'-0"
6336"	TEE BRANCH	2'-0"	2'-0"	2'-0"
6432"	TEE BRANCH	2'-0"	2'-0"	2'-0"
6528"	TEE BRANCH	2'-0"	2'-0"	2'-0"
6624"	TEE BRANCH	2'-0"	2'-0"	2'-0"
6720"	TEE BRANCH	2'-0"	2'-0"	2'-0"
6816"	TEE BRANCH	2'-0"	2'-0"	2'-0"
6912"	TEE BRANCH	2'-0"	2'-0"	2'-0"
7008"	TEE BRANCH	2'-0"	2'-0"	2'-0"
7104"	TEE BRANCH	2'-0"	2'-0"	2'-0"
7200"	TEE BRANCH	2'-0"	2'-0"	2'-0"
7296"	TEE BRANCH	2'-0"	2'-0"	2'-0"
7392"	TEE BRANCH	2'-0"	2'-0"	2'-0"
7488"	TEE BRANCH	2'-0"	2'-0"	2'-0"
7584"	TEE BRANCH	2'-0"	2'-0"	2'-0"
7680"	TEE BRANCH	2'-0"	2'-0"	2'-0"
7776"	TEE BRANCH	2'-0"	2'-0"	2'-0"
7872"	TEE BRANCH	2'-0"	2'-0"	2'-0"
7968"	TEE BRANCH	2'-0"	2'-0"	2'-0"
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8256"	TEE BRANCH	2'-0"	2'-0"	2'-0"
8352"	TEE BRANCH	2'-0"	2'-0"	2'-0"
8448"	TEE BRANCH	2'-0"	2'-0"	2'-0"
8544"	TEE BRANCH	2'-0"	2'-0"	2'-0"
8640"	TEE BRANCH	2'-0"	2'-0"	2'-0"
8736"	TEE BRANCH	2'-0"	2'-0"	2'-0"
8832"	TEE BRANCH	2'-0"	2'-0"	2'-0"
8928"	TEE BRANCH	2'-0"	2'-0"	2'-0"
9024"	TEE BRANCH	2'-0"	2'-0"	2'-0"
9120"	TEE BRANCH	2'-0"	2'-0"	2'-0"
9216"	TEE BRANCH	2'-0"	2'-0"	2'-0"
9312"	TEE BRANCH	2'-0"	2'-0"	2'-0"
9408"	TEE BRANCH	2'-0"	2'-0"	2'-0"
9504"	TEE BRANCH	2'-0"	2'-0"	2'-0"
9600"	TEE BRANCH	2'-0"	2'-0"	2'-0"
9696"	TEE BRANCH	2'-0"	2'-0"	2'-0"
9792"	TEE BRANCH	2'-0"	2'-0"	2'-0"
9888"	TEE BRANCH	2'-0"	2'-0"	2'-0"
9984"	TEE BRANCH	2'-0"	2'-0"	2'-0"
10080"	TEE BRANCH	2'-0"	2'-0"	2'-0"

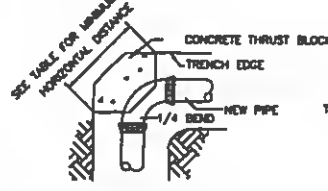
NOTES:  
 1. POLYBOND BREAKER SHALL BE BETWEEN CONCRETE AND DUCTILE IRON PIPE.  
 2. FULL ACCESS TO ALL JOINTS INCLUDING ALL NUTS AND BOLTS SHALL BE MAINTAINED.



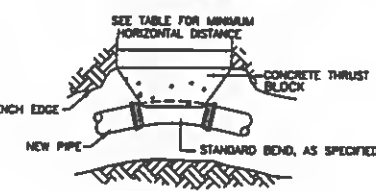
THRUST BLOCK-STANDARD TEE



THRUST BLOCK-STANDARD TEE & PLUG

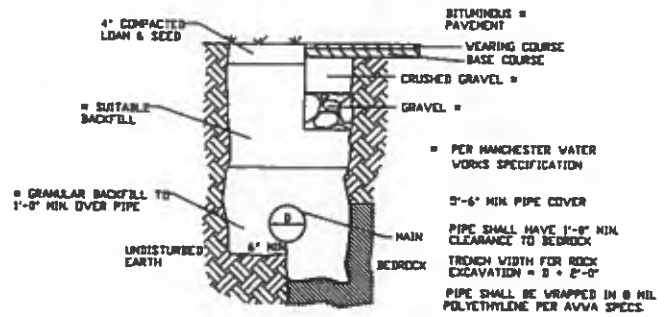


90° BEND



STANDARD BEND

**THRUST BLOCK DETAIL**



**TYPICAL WATER LINE TRENCH DETAIL**  
 NOT TO SCALE

**REVISIONS**

NO.	DATE	DESCRIPTION	BY

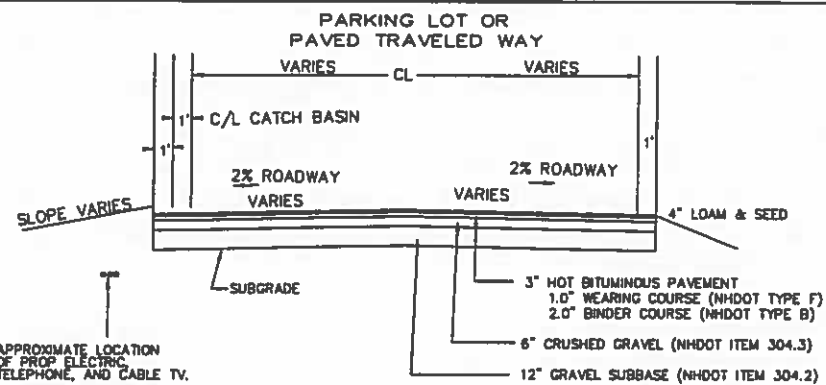
SCALE AS SHOWN

**N.H. LAND Consultants**  
 SURVEYING-LAND PLANNING-REAL ESTATE  
 A Veteran Owned Company

WATER DETAILS  
 TAX MAP 102 LOT 35  
**CONDOMINIUM SUBDIVISION**  
 71 CEDAR ST. HOPKINTON, (CONTOOCOOK) NH  
 OWNED BY  
**BAYSTONE PROPERTIES, LLC**  
 44 NORTH SHORE ROAD, DERRY, NH 03038  
 LOT 35 - BOOK 3881 PAGE 1784

**GENERAL NOTES**

- MINIMUM ACCEPTABLE STANDARDS FOR ALL CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION, (AND ALL SUBSEQUENT AMENDMENTS) AND THE TOWN OF EPSOM REGULATIONS. DRAINAGE DESIGN IS BASED ON THE "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK VOLUME I".
- ALL ELEVATIONS AND LOCATIONS OF EXISTING UTILITY AND DRAINAGE STRUCTURES SHALL BE NOTED IN THE FIELD BY THE CONTRACTOR PRIOR TO UTILIZATION OF DESIGN ELEVATIONS ON THIS PLAN.
- BACKFILL OF TRENCHES AND ALL PAVED AREAS SHALL BE COMPACTED IN ACCORDANCE WITH NH DOT-STANDARD SPECIFICATIONS-SECTION 304.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES AND SHALL PROVIDE ALL NECESSARY CONTINUOUS BARRIERS OF SUFFICIENT TYPE, SIZE AND STRENGTH TO PREVENT ACCESS TO ALL OPEN EXCAVATIONS AT THE COMPLETION OF EACH DAYS WORK.
- ALL ELEVATIONS ARE BASED ON U.S.G.S. DATUM.
- THE CONTRACTOR SHALL BE AWARE OF HIS RESPONSIBILITY TO CONTACT "DIG SAFE" AT 111 SO. BEDFORD STREET, BURLINGTON, MA (1-888-344-7233) AT LEAST 72 WORKING HOURS PRIOR TO THE START OF ANY EXCAVATION.
- SHORING AND STABILIZING OF TRENCH SIDEWALLS DURING EXCAVATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK ADJACENT TO EXISTING CEDAR STREET SHALL BE PERFORMED IN WITH THE STREET OPENING REQUIREMENTS OF THE TOWN OF HOPKINTON AND NH DOT STANDARD SPECIFICATIONS.
- ALL CULVERTS, DRAINAGE STRUCTURES AND ROAD CONSTRUCTION SHALL BE SUBJECT TO PARTIAL AND FINAL INSPECTION PRIOR TO ACCEPTANCE BY THE TOWN. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING INSPECTION BY THE TOWN ENGINEER.
- UTILITY PLANS SHALL BE SUBMITTED TO THE TOWN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 4" TOPSOIL AND SEED OVER ALL DISTURBED UNPAVED AREAS UNLESS OTHERWISE SPECIFIED.
- END SECTIONS, (FLARED ENDS) SHALL COMPLY WITH NH DOT STANDARD SPECIFICATIONS, HIGHWAY DESIGN MANUAL, PLATES 5 & 6, OF STANDARD 11 DATED 1978 AND ALL SUBSEQUENT AMENDMENTS.
- ALL DRIVEWAY GRADING IS SUBJECT TO DEPARTMENT OF PUBLIC WORKS REVIEW PRIOR TO DRIVEWAY CONSTRUCTION ON INDIVIDUAL LOTS. DRIVEWAY CULVERTS, LOCATED OUTSIDE OF THE TOWN'S RIGHT OF WAY, MAY BE NECESSARY DEPENDING ON THE ACTUAL PROPOSED LOT DEVELOPMENT.
- ALL PAYMENT MARKERS SHOWN CONFORM TO THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARDS PLANS FOR ROAD AND BRIDGE CONSTRUCTION.

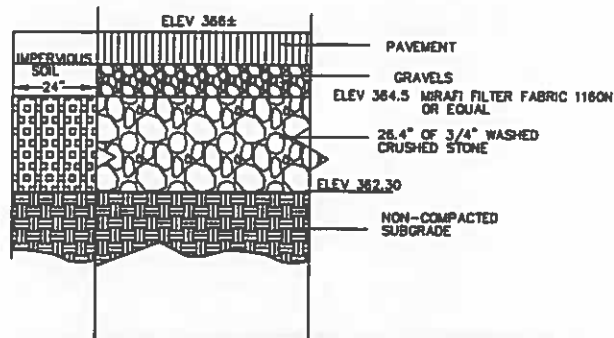
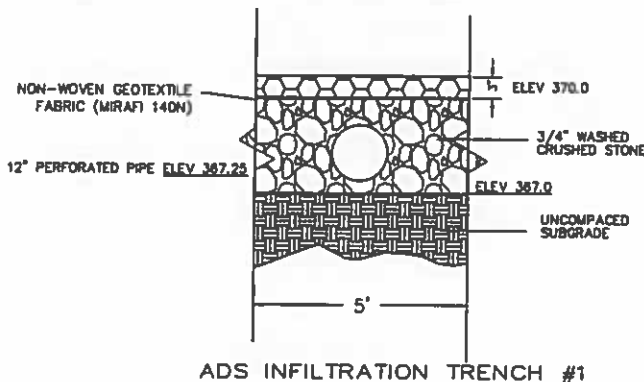
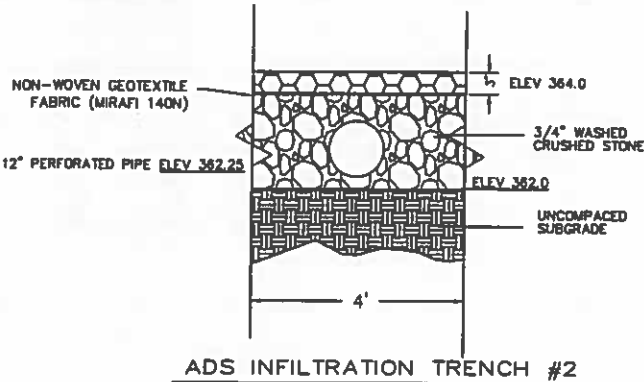


APPROXIMATE LOCATION OF PROP. ELECTRIC, TELEPHONE, AND CABLE TV.

**NOTES:**

- ALL ROADWAY CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE LATEST N.H.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2010 INCLUDING SUBSEQUENT AMENDMENTS AND EDITIONS.
- PROVIDE 4" (MIN.) COMPACTED LOAM AND SEED ON ALL SIDE SLOPES AND DRAINAGE SWALES UNLESS OTHERWISE NOTED.
- ALL LEDGE AND ROCK SHALL BE REMOVED TO 6" BELOW SUBGRADE.
- ROADWAY UNDERDRAIN SHALL BE PROVIDED IN ALL CUT SECTIONS (AT SIDE WITH CUT) AND WHERE SEASONAL HIGH WATER IS WITHIN FOUR (4) FEET OF FINISHED GRADE IN ALL OTHER AREAS. UNDERDRAIN SHALL HAVE A MINIMUM OF FOUR (4) FEET OF COVER.

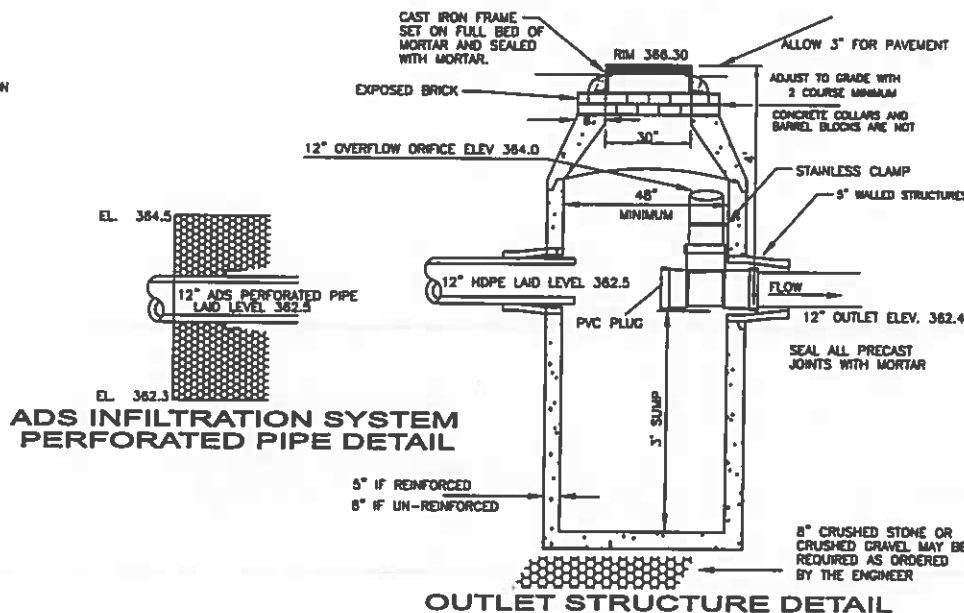
**TYPICAL ROADWAY SECTION**  
NOT TO SCALE



**ADS INFILTRATION SYSTEM DETAIL**

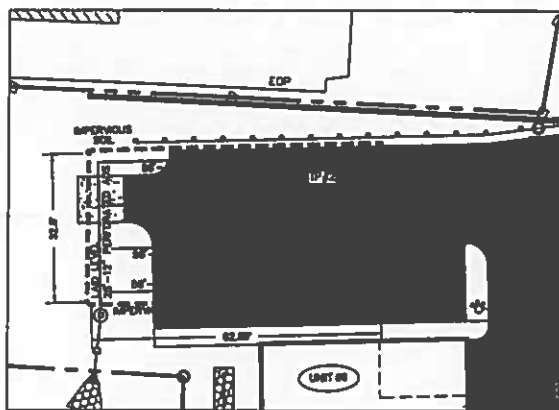
**NOTES:** IMPERVIOUS SOIL

- IMPERVIOUS CORE AND POND LINER SOIL SAMPLES AND SIEVE ANALYSES TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION. IMPERVIOUS SOILS TO MEET THE FOLLOWING CRITERIA. SOIL SHALL HAVE NO ORGANIC MATTER OR FROZEN MATERIAL AND NO STONES LARGER THAN 2/3 OF THE MAXIMUM LIFT SIZE. STONES AROUND ANY STRUCTURES AND/OR CONDUITS SHALL NOT EXCEED 3 INCHES. FILL MATERIAL SHALL HAVE THE FOLLOWING GRADATION:
- | SEIVE SIZE | % PASSING |
|------------|-----------|
| #4         | 85 - 100  |
| #40        | 80 - 90   |
| #100       | 40 - 60   |
| #200       | 25 - 45   |
- THE CONTRACTOR SHALL USE CARE NOT TO OVER EXCAVATE AND DESTROY THE EXISTING SOIL AT THE BERM AND OUTLET PIPE AREAS.
  - IMPERVIOUS SOIL SHALL BE INSTALLED WITHIN THE LIMITS SHOWN ALONG THE BERM AREA. THE SOIL SHALL BE KEYED 12" INTO THE BOTTOM OF THE POND AND SHALL BE PLACED IN LIFTS NOT EXCEEDING 6" AND COMPACTED TO A MINIMUM 95% OF THE WET WEIGHT AS DETERMINED BY MODIFIED TESTING (ASTM 1557).
  - AT THE IMPERVIOUS DAM AREA, THE DAM SHALL BE KEYED INTO TO BOTTOM AND SIDES OF THE TRENCH A MINIMUM OF 2". THE IMPERVIOUS SOIL SHALL BE PLACED IN LIFTS NOT EXCEEDING 6" AND COMPACTED TO A MINIMUM 95% OF THE WET WEIGHT AS DETERMINED BY MODIFIED TESTING (ASTM 1557).

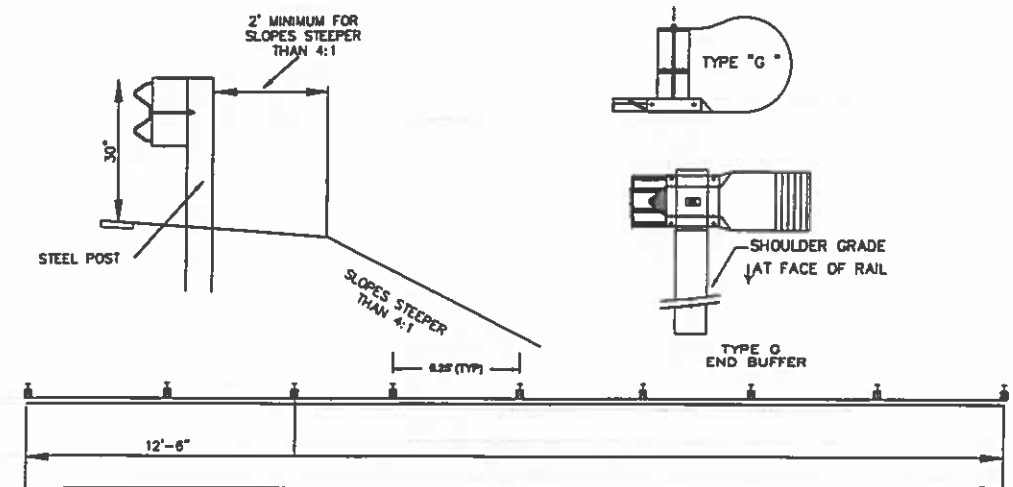


**ADS INFILTRATION SYSTEM PERFORATED PIPE DETAIL**

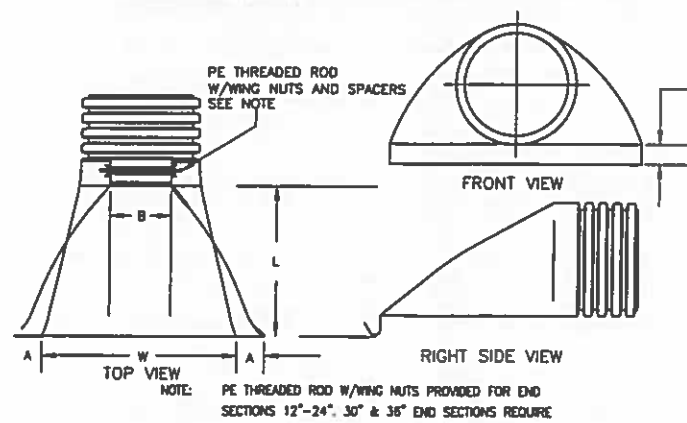
**OUTLET STRUCTURE DETAIL**



**ADS INFILTRATION SYSTEM PLAN VIEW**



**SAMPLE GUARDRAIL INSTALLATION LAYOUT**  
NOT TO SCALE



NOTE: PE THREADED ROD W/WING NUTS PROVIDED FOR END SECTIONS 12"-24", 30" & 36" END SECTIONS REQUIRE TWO (2) THREADED RODS FOR ASSEMBLY.

PART #	PIPE SIZE	A	B (MAX)	H	L
121QNP	12 IN	6.50 IN	10.00 IN	6.50 IN	25.00 IN
151QNP	15 IN	6.50 IN	10.00 IN	6.50 IN	25.00 IN
181QNP	18 IN	7.50 IN	15.00 IN	6.50 IN	32.00 IN
241QNP	24 IN	7.50 IN	18.00 IN	6.50 IN	36.00 IN
301SNP	30 IN	7.50 IN	12.00 IN	8.60 IN	58.00 IN
361SNP	36 IN	7.50 IN	25.00 IN	8.60 IN	58.00 IN



NOTE: RIP-RAP TO BE CRUSHED STONE, 75% OF STONE DIAMETER AND 25% SMALLER TO FILL VOIDS.

DESCRIPTION	LENGTH L	INVERT WIDTH W	END WIDTH We	STONE D50	DEPTH OF STONE - D
FES 1	8'	3'	10'	6"	1.5'

**RIP-RAP SPECIFICATIONS**  
NOT TO SCALE

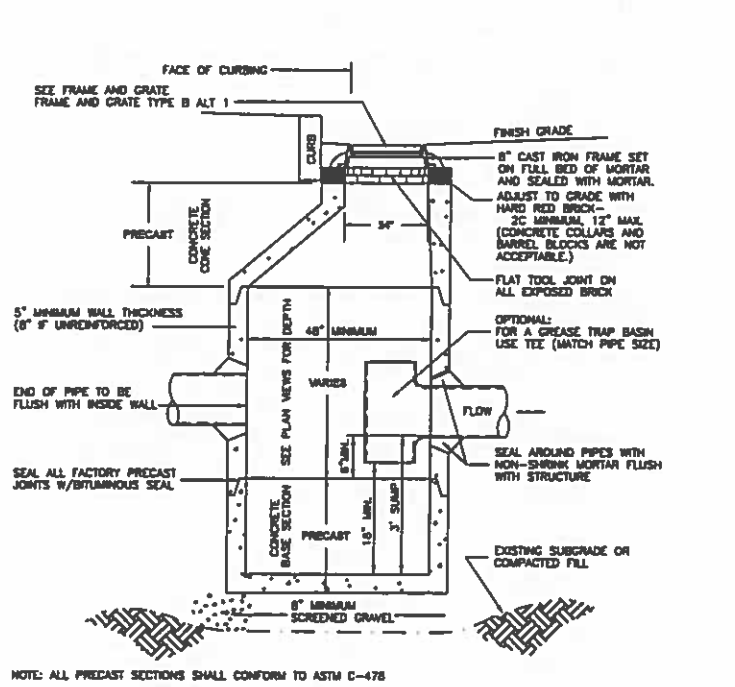
REVISIONS	
NO.	DATE

SCALE AS SHOWN

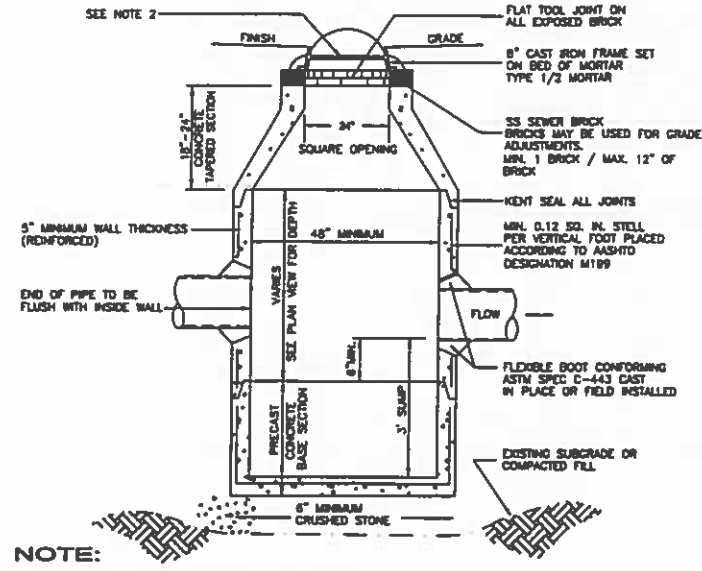
**N.H. LAND Consultants**  
SURVEYING-LAND PLANNING-REAL ESTATE  
A Veteran Owned Company

DRAINAGE DETAILS-1  
TAX MAP 102 LOT 35  
CONDOMINIUM SUBDIVISION  
71 CEDAR ST. HOPKINTON, (CONTOOCOOK) NH  
OWNED BY  
**BAYSTONE PROPERTIES, LLC**  
44 NORTH SHORE ROAD, DERRY, NH 03038  
LOT 35 - BOOK 3691 PAGE 1784

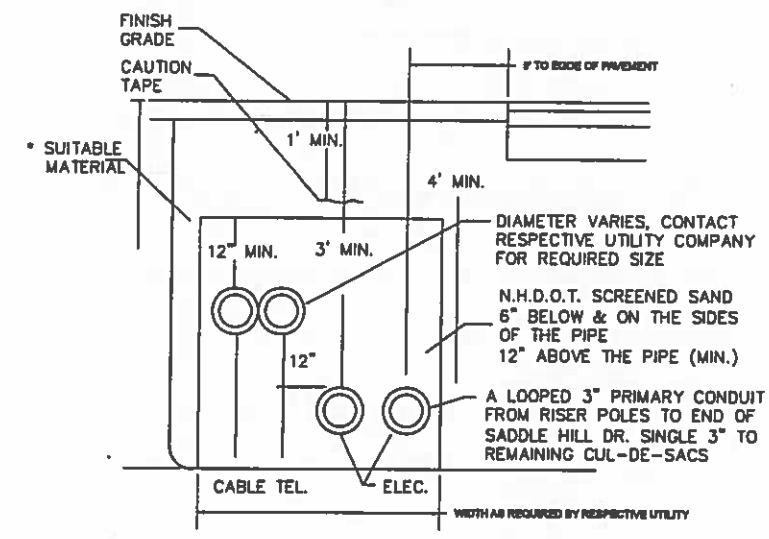
MERRIMACK CO.  
JOB NO: 393.00  
DATE: JUNE 21, 2021  
**DET-4**  
BHT, 12 of 18



**CATCH BASIN WITH HOOD (CB #3)**  
NOT TO SCALE

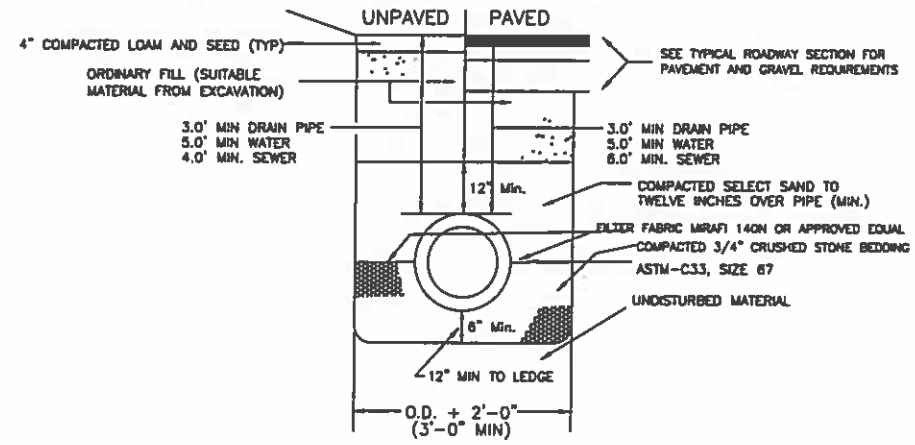


**CATCH BASIN**  
SINGLE PIPE SYSTEM  
NOT TO SCALE



**NOTES:**  
1. UTILITIES SHALL BE INSTALLED ACCORDING TO THE RESPECTIVE UTILITY COMPANY STANDARDS AND SPECIFICATIONS.  
2. ALL ABOVE GRADE UTILITIES MUST BE PLACED OUT OF THE R.O.W. AND IN AREAS THAT WILL NOT CONFLICT WITH THE ROADWAY DRAINAGE SYSTEM. PLACEMENT OF TRANSFORMERS CANNOT CONFLICT WITH THE INSTALLATION OF R.O.W. AND PROPERTY CORNER MONUMENTS.

**UNDERGROUND UTILITIES TRENCH**  
NOT TO SCALE



**NOTES:**  
1. ALL DRAIN PIPE SHALL BE ADS N-12 CORRUGATED PLASTIC PIPE (CPP), HPDE OR APPROVED EQUAL  
2. SELECT SAND TO 12" ABOVE PIPE SHALL BE AS FOLLOWS:  
A. 100% PASSING A 1/2 INCH SIEVE  
B. 15%(MAX) PASSING A NO. 200 SIEVE  
C. FREE FROM ORGANIC MATERIALS  
3. ALL WATER PIPE TO BE CLASS 52 DUCTILE IRON.  
4. ALL SEWER TO BE SDR 35 PVC.

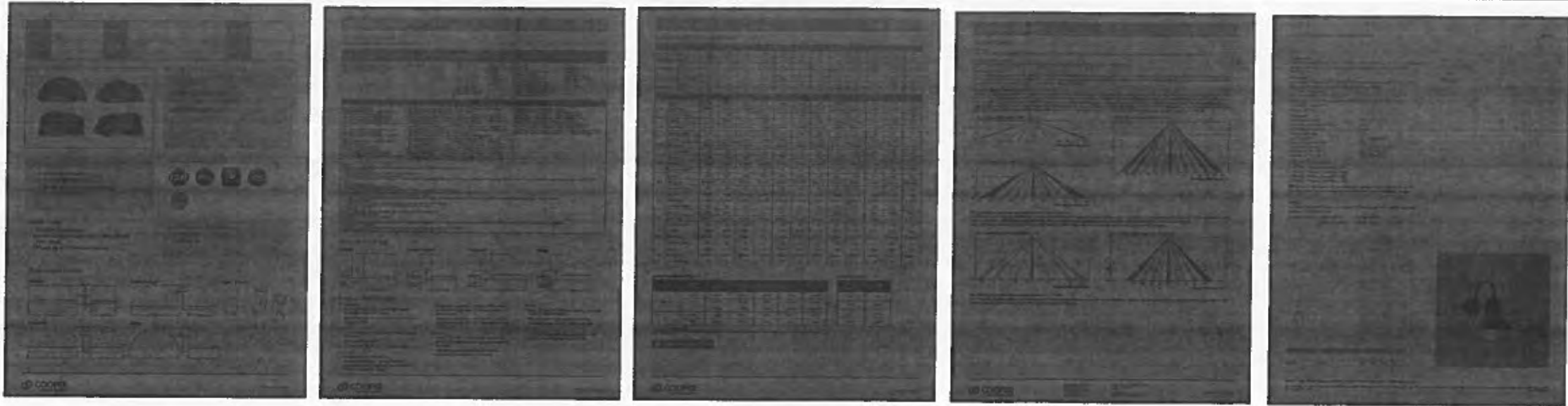
**DRAIN PIPE TRENCH**  
NOT TO SCALE

REVISIONS	
NO.	DATE

**SCALE AS SHOWN**

**N.H. LAND Consultants**  
SUSTAINING LAND PLANNING-REAL ESTATE  
A Veteran Owned Company

DRAINAGE DETAILS - 2  
TAX MAP 102 LOT 35  
CONDOMINIUM SUBDIVISION  
71 CEDAR ST. HOPKINTON, (CONTOOCOOK) NH  
OWNED BY  
**BAYSTONE PROPERTIES, LLC**  
44 NORTH SHORE ROAD, DERRY, NH 03038  
LOT 35 - BOOK 3691 PAGE 17B4



Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
⊖	12	W	SINGLE	66411/ WALL MTD 10' AFG
⊖	2	W1	SINGLE	ISS-BA1B-740-U-8L3/ WALL MTD 15' AFG

REVISIONS		
NO.	DATE	DESCRIPTION

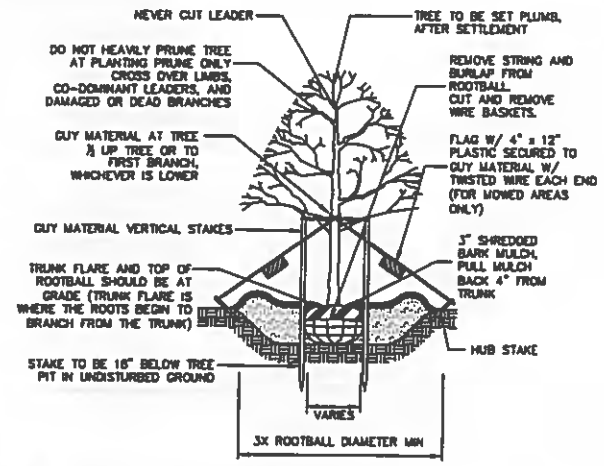
SCALE AS SHOWN

**N.H. LAND Consultants**  
 SUNSHINE LAND PLANNING-REAL ESTATE  
 A Veteran Owned Company

LIGHTING / LANDSCAPE DETAILS  
 TAX MAP 102 LOT 35  
**CONDOMINIUM SUBDIVISION**  
 71 CEDAR ST. HOPKINTON, (CONTOCOOK) NH  
 OWNED BY  
**BAYSTONE PROPERTIES, LLC**  
 44 NORTH SHORE ROAD, DERRY, NH 03038  
 LOT 35 - BOOK 3691 PAGE 1784

MERRIMACK CO.  
 JOB NO: 393.00  
 DATE: JUNE 21, 2021

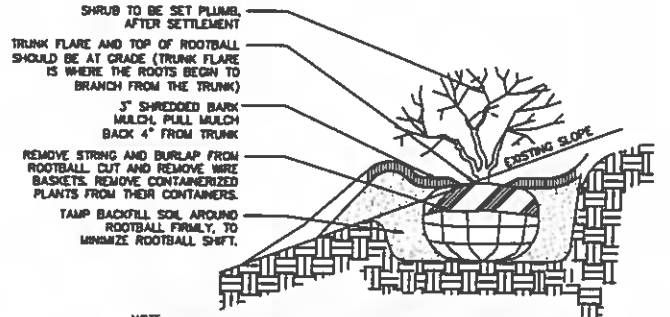
**DET-6**  
 SHT. 14 of 18



- NOTES:
- GUYING AND STAKING TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT. LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE THE NECESSITY OF GUYING AND STAKING.
  - TYPICALLY ONLY TREES WITH A 3" OR GREATER CALIPER NEED TO BE STAKED. TREES WITH LESS THAN A 3" CALIPER NEED TO BE STAKED ONLY AS REQUIRED BY LANDSCAPE ARCHITECT.
  - ONLY WRAP TREE TRUNKS AS REQUIRED BY LANDSCAPE ARCHITECT.
  - TREE SHALL BE SET PLUMB, AFTER SETTLEMENT.
  - LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
  - CITY TREES PLANTED ON PRIVATE PROPERTY, ADJACENT TO A PUBLIC RIGHT-OF-WAY, NEED TO BE PLANTED A MINIMUM OF 5 FEET FROM THE EDGE OF THE CITY SIDEWALK.

**DECIDUOUS TREE PLANTING DETAIL**

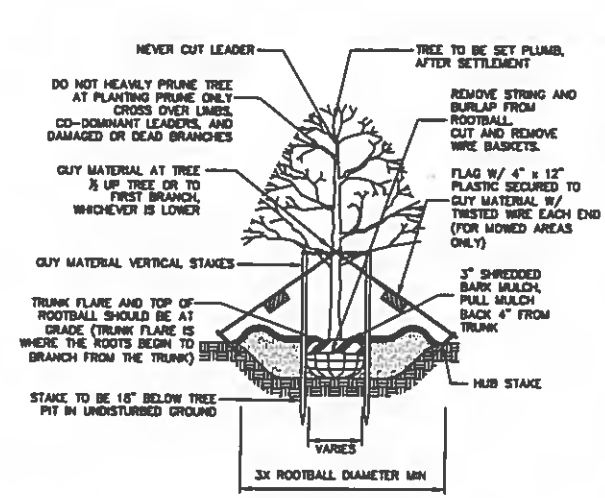
NOT TO SCALE



- NOTE:
- DO NOT HEAVILY PRUNE SHRUB AT PLANTING, PRUNE ONLY CROSSOVER LIMBS AND DAMAGED OR DEAD BRANCHES.
  - BACKFILL WITH LOAM, AMEND AS REQUIRED BY LANDSCAPE ARCHITECT.
  - SHRUBS & GROUND COVER PLANTED ADJACENT TO CITY SIDEWALKS NEED TO BE PLACED SO THE PLANTS, AT THEIR MATURE HEIGHT & WIDTH, WILL NOT ENROACH INTO THE CITY'S SIDEWALK.

**TYPICAL SHRUB PLANTING DETAIL**

NOT TO SCALE

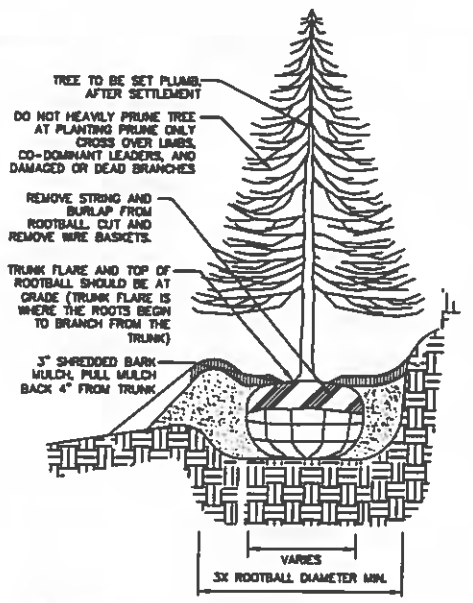


- NOTES:
- GUYING AND STAKING TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT. LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE THE NECESSITY OF GUYING AND STAKING.
  - TYPICALLY ONLY TREES WITH A 3" OR GREATER CALIPER NEED TO BE STAKED. TREES WITH LESS THAN A 3" CALIPER NEED TO BE STAKED ONLY AS REQUIRED BY LANDSCAPE ARCHITECT.
  - ONLY WRAP TREE TRUNKS AS REQUIRED BY LANDSCAPE ARCHITECT.
  - TREE SHALL BE SET PLUMB, AFTER SETTLEMENT.
  - LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
  - CITY TREES PLANTED ON PRIVATE PROPERTY, ADJACENT TO A PUBLIC RIGHT-OF-WAY, NEED TO BE PLANTED A MINIMUM OF 5 FEET FROM THE EDGE OF THE CITY SIDEWALK.

**DECIDUOUS TREE PLANTING**

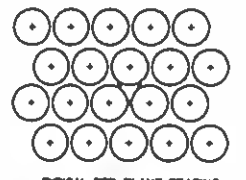
**LANDSCAPING NOTES:**

- BN = Betula nigra/HERITAGE RIVER BIRCH @ 8-10' B&B TOTAL = 3
- TC = Tsuga Canadensis/CANADIAN HEMLOCK @ 6-7' B&B TOTAL = 19
- PR = Pines resinosa/RED PINE @ 7-8' B&B TOTAL = 10

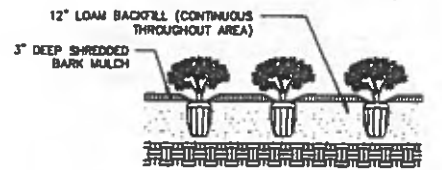


- NOTES:
- DO NOT STAKE EVERGREEN TREES.
  - LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
  - TAMP BACKFILL SOIL AROUND ROOTBALL FIRMLY TO MINIMIZE ROOTBALL SHIFT.

**EVERGREEN TREE PLANTING**



NOTE:  
 D = DIMENSION OF PLANT SPACING (SHRUB OR GROUND COVER AS INDICATED ON PLANS)



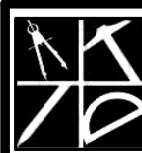
**TYPICAL PERENNIAL DETAIL**

NOT TO SCALE



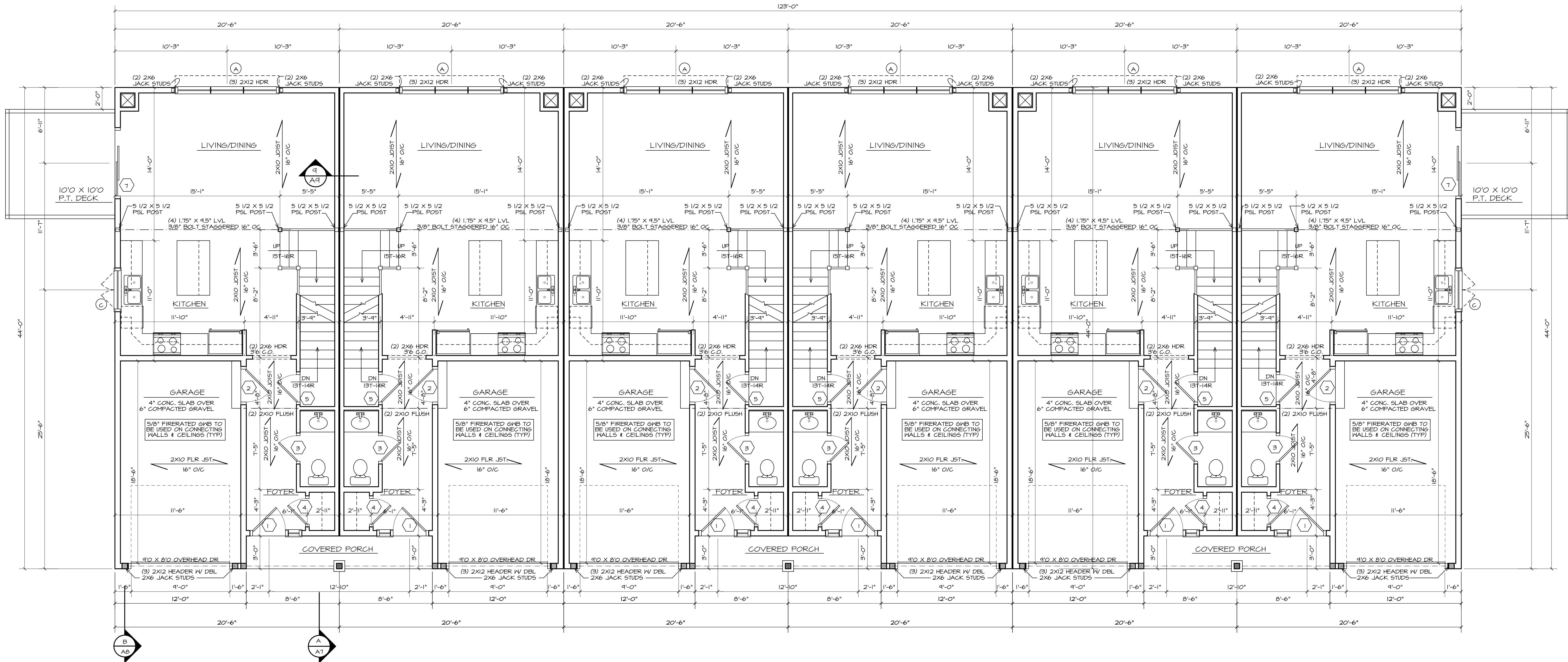




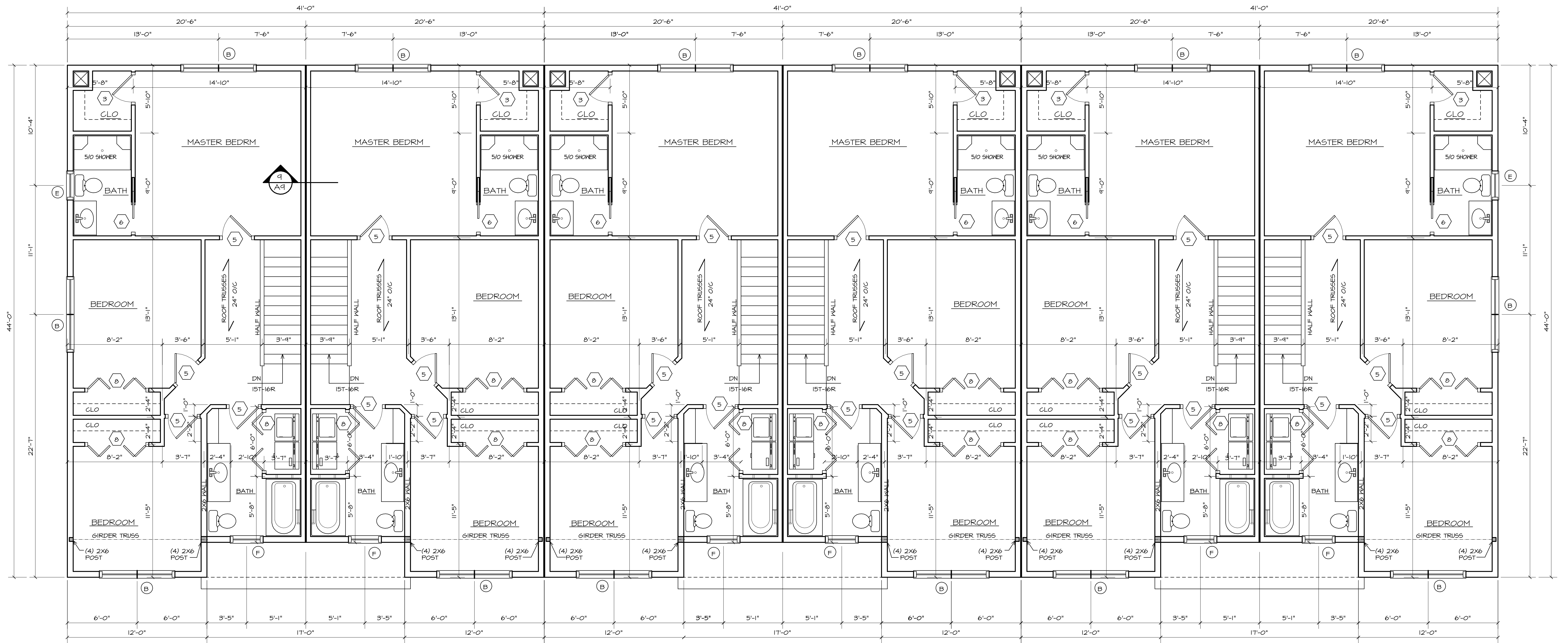
 <b>Alternative Designs Inc.</b> <b>21-256</b>	<b>RIGHT UNIT</b>		<b>LEFT UNIT</b>	
	FIRST FLOOR	656 S.F.	FIRST FLOOR	656 S.F.
	SECOND FLOOR	876 S.F.	SECOND FLOOR	876 S.F.
	TOTAL	1532 S.F.	TOTAL	1532 S.F.



1 FRONT ELEVATION  
 AI SCALE: 1/4" = 1'-0"



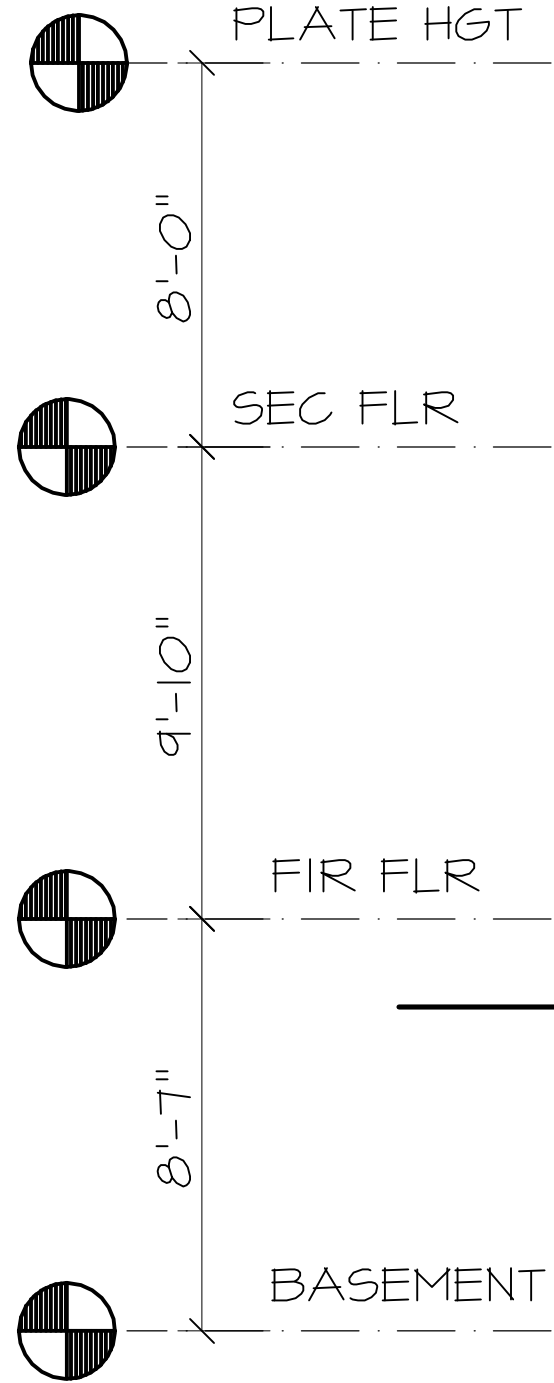
1 FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



1 SECOND FLOOR PLAN  
 A5 SCALE: 1/4" = 1'-0"

LEFT UNIT	
FIRST FLOOR	656 S.F.
SECOND FLOOR	876 S.F.
TOTAL	1532 S.F.

RIGHT UNIT	
FIRST FLOOR	656 S.F.
SECOND FLOOR	876 S.F.
TOTAL	1532 S.F.



1 FRONT ELEVATION  
AI SCALE: 1/4" = 1'-0"

2015 INTERNATIONAL RESIDENTIAL CODE

**CODE:**

- ALL CONSTRUCTION SHALL FOLLOW LOCAL STATE BUILDING CODE, MANUFACTURERS' SPECIFICATIONS, AND WELL KNOWN INDUSTRY STANDARDS. IF ANY QUESTIONS SHALL ARISE, THE DESIGNER OR ENGINEER ON RECORD SHALL BE CONTACTED.
- INTERNATIONAL RESIDENTIAL CODE 2015 (IRC 2015) AND THE REFERENCED STANDARDS INCLUDED THEREIN. AHJ = AUTHORITY HAVING JURISDICTION.
  - A. NUMBER OF UNITS:   2   (1 OR 2)
  - B. NUMBER OF STORIES:   2   (MAX. 3)

**DESIGN LOADS:**

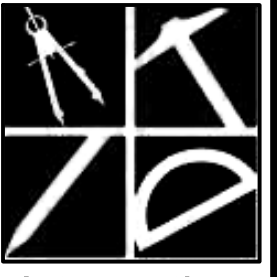
- UNIFORM FLOOR LIVE LOAD (NON-BEDROOM):
  - A. NON-BEDROOM 40PSF
  - B. BEDROOM 30PSF
  - C. ATTIC 20PSF
- UNIFORM FLOOR DEAD LOAD: 10PSF
- ROOF SNOW LOAD (AHJ):
  - A. GROUND SNOW LOAD:   0   PSF (TOWN, STATE SPECIFIC)
  - B. DEAD LOAD: 10 PSF
- WIND DESIGN:
  - A. EXPOSURE CATEGORY   B   (A-D, R301.2.1.4) (B IS NORMAL)
  - B. WIND SPEED ZONE (AHJ)  120  (90 - 120, MOST OF NORTHERN AND WESTERN NH AND WESTERN MA=90, CENTRAL AND SOUTH NH AND MA = 100, NH COAST, BOSTON AND SOUTH = 110, CAPE COD AND ISLANDS = 120, R301.2.4)
  - C. TOPOGRAPHIC EFFECTS (AHJ):   NO   (YES/NO)

- SEISMIC
  - A. DESIGN CATEGORY (AHJ) (A-E, R301.2.2), (C FOR MOST OF SOUTH AND CENTRAL NH AND B FOR MA)
- DAMAGE:
  - A. WEATHERING: SEVERE (CONCRETE) (R301.2(3))
  - B. TERMITE INFESTATION PROBABILITY: SLIGHT (NORTHERN NH), MODERATE (SOUTHERN NH), HEAVY (MA)
- DESIGN FROST DEPTH OF   4   FEET BELOW FINISHED GRADE (4' IS TYPICAL; VERIFY AS NEEDED WITH AHJ)
- WINTER DESIGN TEMP: NH: 0 DEG. F., MA 10 DEG. F. (PER 301.2(1))
- FLOOD HAZARD (AHJ):   NO

**GENERAL NOTES:**

- THESE DRAWINGS REPRESENT AN OVERALL DESIGN CONCEPT. THEY ARE PREPARED WITH THE INTENT TO DEMONSTRATE THE OVERALL DESIGN ARRANGEMENT AND METHODS OF ASSEMBLY TO THE VARIOUS COMPONENTS. THE DRAWINGS DO NOT INDICATE EXTENSIVE DETAILS. THE CONTRACTOR SHALL HAVE REVIEWED THESE PLANS, SEEN THE SUBJECT PROPERTY, AND BE CAPABLE OF EXECUTING THE DETAIL WORK AS NECESSARY TO ACHIEVE THE INTENDED RESULT, IN A MANNER CONSISTENT WITH QUALITY WORKMANSHIP WITHIN THE REGION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND FHA/VA MPS.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ALTERNATIVE DESIGNS INC. FOR JUSTIFICATION AND OR CORRECTION BEFORE PROCEEDING WITH WORK.

- THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE DESIGNER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES (INCLUDING LEGAL FEES) ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.
- ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR STRUCTURAL ENGINEER BEFORE PROCEEDING.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE DESIGNER OR STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CONSULTATION. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN, THE DESIGNER OR STRUCTURAL ENGINEER SHALL BE NOTIFIED BEFORE ANY WORK IS PROCEEDED WITH.
- ALTERNATIVE DESIGN ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE DESIGNER OR ENGINEER ON RECORD.
- ALTERNATIVE DESIGN ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER ON RECORD.
- REPRODUCTION OF DESIGNER PLANS AND STRUCTURAL DRAWINGS FOR SHOP DRAWINGS IS NOT PERMITTED.
- SECTIONS, DETAILS, NOTES, METHODS, OR MATERIALS SHOWN AND/OR NOTED ON ANY PLAN, SECTION, OR ELEVATION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED DURING CONSTRUCTION. TEMPORARY SUPPORTS REQUIRED FOR STABILITY DURING ALL INTERMEDIATE STAGES OF CONSTRUCTION SHALL BE REMOVED AFTER CONSTRUCTION AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.



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**RIDGEVIEW CONSTRUCTION**  
NEW DUPLEX TO BE BUILT IN:  
RAYMOND, NH

Contractor to check & verify all dimensions & structural members before construction. All construction shall be in strict compliance with the State of New Hampshire or Massachusetts Building Codes, whichever applicable.

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**A1**

**FOUNDATIONS:**

- FOUNDATIONS CONSIST OF CONTINUOUS FOOTINGS ASSUMED TO BEAR ON COMPACTED STRUCTURAL FILL PLACED ON UNDISTURBED NATURAL SOIL HAVING AN ASSUMED ALLOWABLE BEARING PRESSURE OF 2,500 PSF (TO BE VERIFIED BY BUILDER). IF THE SOIL AT BEARING DEPTH IS DISTURBED OR THE ACTUAL ALLOWABLE BEARING PRESSURE IS LESS THAN 2,500 PSF, THEN A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE CONSULTED.
- UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED UNDER SUPPORTED MEMBERS.
- THE BOTTOM PERIMETER FOUNDATIONS SHALL BE DESIGN FROST DEPTH BELOW FINISHED GRADE.
- THE BOTTOM 3 INCHES OF FOOTING EXCAVATIONS SHALL BE FINISHED BY HAND SHOVEL.
- FINISH EXTERIOR GRADE SHALL BE AT LEAST 8" BELOW TOP OF FOUNDATION WALL.
- PLACE BACKFILL SIMULTANEOUSLY ON BOTH SIDES OF WALLS TO THE GRADES INDICATED.
- UNBRACED/UNBALANCED FOUNDATION WALLS: MAXIMUM UNBALANCED FILL: 24" WITHOUT DESIGN/ENGINEER INPUT/APPROVAL. (EXAMPLE GARAGE SLAB ON GRADE WHERE BACKFILL WILL BE MORE THAN 24" BELOW TOP OF SLAB) (SEE R404.1.3) (ENGINEER DESIGN REQUIRED WHEN >48")
- WE RECOMMEND THAT WALKOUT AND KNEEWALL STYLE BASEMENTS BE REVIEWED. (IE. WHENEVER PERIMETER FOUNDATION WALLS ARE NOT FULL HEIGHT). PROVIDE FORMWORK FOR ALL FOOTINGS, WALLS, AND PIERS. EARTH FORMED FOUNDATIONS ARE NOT ALLOWED.
- SUB-SOIL SHALL HAVE 3/4 " MAXIMUM AGGREGATE WITHIN 12" OF SLAB ON GRADE
- ANCHOR BOLTS: 1/2" X 9" (MIN. 7" EMBEDMENT) @ 4' OC AND BETWEEN 6-12" OF EACH END. (R403.1.6)
- DAMP PROOFING ALWAYS REQUIRED BELOW GRADE WHEN INTERIOR SPACE IS CREATED (PER R406)
- WATERPROOFING REQUIRED WHEN INTERIOR SPACE CREATED AND HIGH WATER TABLE OR OTHER CONDITIONS. (PER R406)

**CONCRETE:**

- CONCRETE SHALL BE A MIX DESIGNED FOR ULTIMATE STRENGTH IN ACCORDANCE WITH ACI 211.I TO ACHIEVE THE DESIRED COMPRESSIVE STRENGTH. STANDARD MINIMUM 3,000 PSI FOR FOOTINGS AND INTERIOR FLOOR, 3,500 PSI FOR WALLS AND GARAGE SLAB. (R402.2)
- CONCRETE SHALL NOT BE CAST IN WATER OR ON FROZEN GROUND. CONCRETE SHALL NOT BE EXPOSED TO WATER (I.E. RAIN) DURING SETTING PERIOD.
- CONCRETE FLOORS SHALL BE PLACED OVER MIN. 4" THICK POROUS LAYER (SUCH AS CRUSHED STONE) WITH DRAINAGE AND APPROVED VAPOR BARRIER. (R405.2.2)
- TOP OF FOUNDATION WALLS AND SLABS SHALL BE SMOOTH AND LEVEL.
- NO PIPE GREATER THAN 4" DIAMETER WITH APPROPRIATE SLEEVE SHALL PASS THROUGH CONCRETE WITHOUT ENGINEER APPROVAL. PIPE SLEEVES SHALL BE PROVIDED AND SPACED A MINIMUM THREE DIAMETERS APART.
- KEYS SHALL BE 2"x4", WITH BEVELED SIDES, UNLESS OTHERWISE NOTED
- CONSTRUCTION JOINTS SHALL BE FORMED WITH A KEY, AND REINFORCING SHALL BE LAPPED TO DEVELOP THE FULL TENSION CAPACITY OF THE (SMALLER) BAR.
- EXPOSED CONCRETE SHALL BE RUBBED IMMEDIATELY AFTER REMOVAL OF FORMS AND SNAP TIES REMOVED TO FLUSH.
- OPENINGS IN CONCRETE WALLS SHALL BE LOCATED, SIZED, AND REINFORCED (WITH THE EXCEPTION OF SMALL OPENINGS AND/OR SLEEVES OF A SIZE THAT WILL NOT DISPLACE OR INTERRUPT THE CONTINUITY OF THE REINFORCING) AS SHOWN ON RESPECTIVE DETAILS. ANY ALTERATIONS REQUIRE APPROVAL OF THE STRUCTURAL ENGINEER.
- DO NOT BACKFILL FOUNDATION WALLS UNTIL THE CONCRETE HAS BEEN IN PLACE FOR SEVEN (7) DAYS AND ATTAINED 75% OF ITS DESIGN COMPRESSIVE STRENGTH, AND FLOOR DIAPHRAGMS ARE IN PLACE. (R404.1.7)

**REINFORCING STEEL:**

- REINFORCING STEEL SHALL BE NEW STEEL BAR, FREE FROM LOOSE RUST AND SCALE, AND CONFORMING TO ASTM A615, GR 60.
- STANDARD MINIMUM FOUNDATION FOOTING: 16" WIDE X 8" HIGH WITH NO REINFORCING.
- STANDARD MINIMUM VERTICAL FOUNDATION WALL REINFORCING FOR COMMON CONDITIONS:

WALL HEIGHT	MAX. BACKFILL	WALL THICKNESS	HORIZONTAL REINFORCING (R404.1.2)	VERTICAL * REINFORCING
8'	7'	8"	1 #4 WITHIN 12" OF TOP AND 1 #4 AT MID-HEIGHT	#6 @ 36" OC *
9'	8'	10"	1 #4 WITHIN 12" OF TOP AND #4 BARS AT THIRD HEIGHTS	#6 @ 30" OC *
10'	9'	10"	1 #4 WITHIN 12" OF TOP AND #4 BARS AT THIRD HEIGHTS	#6 @ 30" OC **

TABLE ABOVE ASSUMES BEST SOIL CLASS GW, GP, SN AND SP.

- \* AT 8' AND 9' WALLS, VERTICAL REINFORCING NOT REQUIRED IF 75% DESIGN COMPRESSIVE STRENGTH AND 7 DAYS BEFORE BACKFILL IS ATTAINED
  - \*\* AT 10' WALLS, ADDITIONAL ENGINEERING REQUIRED IF BACKFILLED BEFORE 75% DESIGN COMPRESSIVE STRENGTH IS ATTAINED
- FLATWORK: WELDED WIRE FABRIC (WWF 6"x6" X NO. 10) RECOMMENDED IN ALL FLATWORK. IT SHALL CONFORM TO ASTM A108. LAP TWO SQUARES AT JOINTS AND TIE AT 3'-0" O.C. FURNISH WWF IN FLAT SHEETS.
  - PLAN CONTROL JOINTS AT 10-12' OC BOTH DIRECTIONS. WWF MUST NOT CROSS CONTROL JOINTS.
  - DECOUPLE FLATWORK FROM WALLS.
  - WELDED WIRE FABRIC SHALL BE SUPPORTED ON CONCRETE BRICKS SP. AT 24" OC EACH DIRECTION ON GRADE. WELDED WIRE FABRIC SHALL BE SUPPORTED ON ELEVATED DECK WITH CONTINUOUS BOLSTERS LOCATED OVER JOISTS AND BEAMS.
  - CLEAR CONCRETE COVER OVER BARS SHALL BE IN ACCORDANCE WITH ACI 318.
  - ACCESSORIES SHALL HAVE UPTURNED LEGS AND BE PLASTIC-DIPPED AFTER FABRICATION. ACCESSORIES FOR REINFORCING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT ACI EDITION.
  - LAP REINFORCING TO DEVELOP THE FULL TENSION CAPACITY OF THE (SMALLER) BAR.

- NO BARS SHALL BE CUT OR OMITTED IN THE FIELD BECAUSE OF SLEEVES, DUCT OPENINGS, OR RECESSES. BARS MAY BE MOVED ASIDE WITHOUT CHANGE IN LEVEL WITH THE PRIOR APPROVAL OF STRUCTURAL ENGINEER.
- ANCHOR BOLT MATERIAL SHALL CONFORM TO ASTM A36, A307, OR BETTER, AND MEET IRC 2015 CODE.

**WOOD:**

- WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN WOOD COUNCIL, ANSI/AF&PA, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION 2012 (NDS)" INCLUDING "DESIGN VALUES FOR WOOD CONSTRUCTION", NATIONAL FOREST PROTECTION ASSOCIATION.
- ALL LUMBER SHALL BE NEW AND STRAIGHT AS DESCRIBED IN "STANDARD GRADING RULES FOR NORTHEASTERN LUMBER" BY NORTHEASTERN LUMBER MANUFACTURERS ASSOCIATION.
- NEW WOOD FOR STRUCTURAL USE SHALL HAVE A MOISTURE CONTENT AS SPECIFIED IN THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION."
- FRAMING FOR WALLS AND JOISTS SHALL BE SPRUCE/PINE -FIR NO. 1/NO. 2 OR BETTER. UNLESS NOTED OTHERWISE, DIMENSIONAL LUMBER REPRESENTS NOMINAL SIZES.
- SHEATHING PANELS SHALL BE MARKED WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) TRADEMARK AND SHALL MEET THE LATEST US PRODUCT STANDARD PS 1 OR APA PRP -108 PERFORMANCE STANDARDS.
- ALL WALL SHEATHING PANELS SHALL BE NOMINAL 1/2" THICK APA RATED, UNLESS OTHERWISE NOTED, FASTEN WITH 8D COMMON NAIL SPACED AT 6" OC AT PANEL PERIMETER SUPPORTED EDGES AND 12" OC AT INTERIOR INTERMEDIATE SUPPORTS (FIELD). 1 -3/8" MIN. FASTENER PENETRATION. LAY WALL WITH REQUIREMENTS OF IRC 604.
- ALL ROOF SHEATHING PANELS SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE, C-D EXTERIOR GRADE, APA RATED EXPOSURE 1 MEETING DOC P51 OR P52. FASTEN WITH 8D COMMON NAILS SPACED AT 6" OC AT PANEL PERIMETER SUPPORTED EDGES AND 6" OC AT INTERIOR INTERMEDIATE SUPPORTS (FIELD). 1 -3/8" MIN. FASTENER PENETRATION. LAY ROOF SHEATHING WITH LONG DIMENSION PERPENDICULAR TO SUPPORT MEMBERS.
- WOOD TO STEEL AND WOOD TO WOOD BOLTED CONNECTORS SHALL BE MADE WITH ASTM A307 BOLTS WITH FLAT WASHERS. BOLT HOLES IN WOOD SHALL BE 1/32" LARGER THAN THE BOLT. WOOD NAILERS SHALL BE FASTENED WITH 3/8" DIA. BOLTS STAGGERED AT 20" OC UNLESS OTHERWISE NOTED.
- FASTENING SCHEDULE (SEE ALSO R602.3(i)):
  - PLATE TO STUD, DIRECT: 2 - 16D
  - STUD TO PLATE, TOENAIL: 4 - 8D
- WOOD IN CONTACT WITH SOIL, MOISTURE, WEATHER, CONCRETE, OR MASONRY SHALL BE PRESURE TREATED SOUTHERN PINE NO. 2, OR BETTER AND APPROVED FOR THE APPLICATION.
- BRACING: THE PERMANENT LATERAL BRACING SYSTEM INCLUDES PLYWOOD, WALL AND ROOF SHEATHING WITH FASTENING AND LAYOUT AS DEFINED BY: SECTION 602. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED TO LATERALLY SUPPORT THE STRUCTURE DURING CONSTRUCTION.
- ENGINEERED LUMBER (LVL, ETC.) SHALL MATCH MANUFACTURER AND SERIES LISTED OR APPROVED EQUIVALENT. PROVIDE LATERAL SUPPORT AT ALL BEARING POINTS AND ALONG COMPRESSION EDGES AT INTERVALS OF 24" OC, OR CLOSER.
- MINIMUM SECTION WIDTH = 1-3/4", 3-1/2", 5-1/4" AND 7" MEMBERS MAY BE COMBINATIONS OF 1-3/4" MEMBERS. FOLLOW MANUFACTURER'S GUIDELINES FOR MULTIPLE MEMBER CONNECTIONS AND FOR SIDE LOADED BEAMS.
- WOOD CONSTRUCTION CONNECTORS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE CO., INC., OR APPROVED EQUAL, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, INCLUDING FASTENERS.
- ALL FLUSH FRAMING TO HAVE APPROPRIATELY SIZED METAL JOIST HANGERS.
- LATERAL RESTRAINT REQUIRED AT ENDS OF FLOOR FRAMING SOLID BLOCK OF SAME MATERIAL (R502.7)
- BRIDGING OR CONT. 1X3 BRACE NAILED TO UNDERSIDE OF FLOOR FRAMING REQUIRED AT 8' INTERVALS (R502.7.1)
- HEADERS: DEFAULT (MAX. 48" SPAN UNLESS POINT LOAD FROM ABOVE OR LATERAL BRACING REQUIREMENTS. SEE R502.5) :
  - INTERIOR: (2) 2X8
  - EXTERIOR: (2) 2X10 (WITH 2-1/2" RIGID FOAM INSULATION).
 HEADERS: DEFAULT (MAX. 72" SPAN) 3-2X12 FOR 2 FLOORS CEILING AND ROOF
- WIND BRACING: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 48" OF PANEL WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH R602.10.6.2. (GENERAL REFERENCE: R602)
- RAFTER/CEILING JOIST HEEL CONNECTIONS (VAULTED CL65 @ 1/3) TABLE R802.5.(9)

**PRE-ENGINEERED WOOD TRUSSES:**

- ALL PRE-ENGINEERED WOOD TRUSSES SHALL CONFORM TO ANSI/TPII -2002 "NATIONAL DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION."
- THE MANUFACTURER OF THE PRE-ENGINEERED TRUSSES SHALL BE A TRUSS PLATE INSTITUTE (TPI) CERTIFIED PLANT. PROOF OF CERTIFICATION SHALL BE SUBMITTED TO THE DESIGNER/ENGINEER PRIOR TO FABRICATION OF THE WOOD TRUSSES.
- THE CONTRACTOR SHALL ENSURE PROPER HANDLING, BRACING, AND LATERAL RESTRAINT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TEMPORARY AND PERMANENT TRUSS BRACING (INDIVIDUAL AND OVERALL) SHALL BE DESIGNED BY THE TRUSS MANUFACTURER AND INSTALLED BY THE CONTRACTOR. ALL PERMANENT TRUSS BRACING/LATERAL RESTRAINT REQUIREMENTS AND LOCATIONS SHALL BE DETAILED AND SUBMITTED PRIOR TO CONSTRUCTION TO THE ENGINEER OF RECORD BY THE TRUSS MANUFACTURER. ALTERNATIVELY, THE TRUSS DESIGNER MAY DESIGN ALL TRUSSES SUCH THAT NO PERMANENT LATERAL RESTRAINT IS REQUIRED.

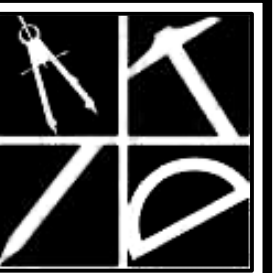
- ALL ROOF TRUSSES SHALL BE DESIGN FOR THE FOLLOWING UNIFORM LOADS WITH 5/2"OR 3/2"MAX BEARING. COORDINATE TRUSS BEARING WITH BEARING WALL FRAMING WIDTH:
  - SNOW LIVE LOAD: GROUND SNOW LOAD X 0.7= XX PSF
  - BOTTOM CHORD LIVE LOAD (ATTIC): 20 PSF
  - TOP CHORD DEAD LOAD: 10 PSF
  - BOTTOM CHORD DEAD LOAD: 10 PSF
- TRUSS SHALL BE DESIGNED FOR AN UNBALANCED UNIFORM SNOW LOADING AS WELL AS ANY DRIFTED VALLEY SNOW LOADING CONDITIONS, AND WIND LOADING AS SPECIFIED IN THE PROJECT BUILDING CODE.
- PRE-ENGINEERED ROOF TRUSSES TO BE APPROVED BY THE STRUCTURAL ENGINEER. TRUSS SHOP DRAWINGS SHALL BE DESIGNED, STAMPED, AND SUBMITTED BY A LICENSED PROFESSIONAL ENGINEER QUALIFIED TO PERFORM THE WORK IN THE STATE WHERE THE PROJECT IS LOCATED. SUBMITTAL SHALL INCLUDE ALL LOADING COMBINATIONS, A FULL REPORT FOR EACH TRUSS, AND TEMPORARY AND PERMANENT LATERAL TRUSS RESTRAINT LAYOUT AND DETAILS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL VENTS, STACKS, RISERS, DRAINS, ETC. BEFORE TRUSSES ARE FIXED IN PLACE.
- ALL TRUSSES SHALL HAVE HURRICANE CLIPS INSTALLED AT EACH END OF EACH TRUSS IN ORDER TO PREVENT LIFT.
- ALL TRUSS TO TRUSS CONNECTION DESIGNS ARE RESPONSIBILITY OF THE TRUSS MANUFACTURER.
- ALL TEMPORARY AND PERMANENT TRUSS BRACING (INDIVIDUAL AND OVERALL) IS THE RESPONSIBILITY OF THE TRUSS DESIGNER. BRACING AND LATERAL TRUSS RESTRAINT (INCLUDING DETAILS) SHALL BE SHOWN ON TRUSS DESIGN DRAWINGS AND TRUSS ERECTION DRAWINGS.

**MASONRY:**

- CONCRETE MASONRY UNITS (CMU) SHALL BE NOMINAL THICKNESS UNLESS NOTED OTHERWISE.
- MASONRY CONSTRUCTION SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE 5/TMS 402)
- SPECIFIED MASONRY COMPRESSIVE STRENGTH, F'M = 1500PSI.
- HOLLOW LOAD BEARING CMU SHALL HAVE THE FOLLOWING PROPERTIES: ASTM C90, TYPE I, GRADE N-1 (NORMAL WEIGHT) WITH A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI ACCORDING TO ASTM C140, OVEN DRY WEIGHT OVER 125PCF AND MAXIMUM MOISTURE ABSORPTION OF 13PCF.
- MORTAR SHALL BE ASTM C270, TYPE S WITH 28 DAY COMPRESSIVE STRENGTH OF 2000PSI. MIX MORTAR MATERIALS TO PRODUCE MORTAR CUBES HAVING A 2000PSI COMPRESSIVE STRENGTH WHEN TESTED IN ACCORDANCE WITH COMPRESSIVE STRENGTH TEST ASTM C780.
- GROUT SHALL BE ASTM C476, FINE GROUT WITH MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2000PSI.
- VERTICAL AND HORIZONTAL DEFORMED REINFORCEMENT SHALL BE ASTM A615 GR 60 AND HORIZONTAL JOINT REINFORCEMENT SHALL BE ASTM A82, GALVANIZED ACCORDING TO ASTM A641 CLASS 1 AS SPECIFIED.
- PRISM TESTS ACCORDING TO ASTM E446 ARE REQUIRED PRIOR TO WORK.
- GROUT CMU SOLID AT EXPANSION ANCHOR LOCATIONS.
- CORES AND BOND BEAMS WITH REINFORCING SHALL BE FILLED SOLIDLY WITH GROUT. FILLING SUCH CORES AND BOND BEAMS WITH MORTAR IS STRICTLY PROHIBITED. IN ADDITION, CARE SHALL BE EXERCISED IN KEEPING CORES FREE FROM MORTAR DROPPINGS.
- MINIMUM REINFORCING REQUIREMENTS FOR REINFORCED CMU WALLS SHALL CONFORM TO THE SCHEDULE SHOWN ON THE CONTRACT DRAWINGS AND THE APPLICABLE BUILDING CODE REQUIREMENTS.
- GROUT SHALL BE PLACED USING LOW OR HIGH LIFT GROUTING PROCEDURES CONFORMING TO ACI/ASCE. TERMINATE GROUT POURS 1-1/2" BELOW TOP COURSE OF PLACEMENT. REINFORCING SHALL BE SPLICED A MINIMUM OF 40 BAR DIAMETERS.
- VERTICAL REINFORCING SHALL BE SECURELY HELD IN PROPER ALIGNMENT AND POSITION DURING GROUTING OPERATIONS BY USING "REBAR POSITIONERS," AS MANUFACTURED BY WIRE BOND OR APPROVED EQUIVALENT. THE PRODUCT, IN ADDITION, SHALL ALLOW FOR GUIDING THE SPLICED REINFORCING DROPPED FROM THE TOP OF THE LIFT.
- MASONRY SHALL BE BRACED DURING CONSTRUCTION. BRACE SPACING SHALL NOT EXCEED TEN TIMES THE WALL THICKNESS BUT NOT LESS THAN THE PROCEDURES LISTED UNDER NCMA-TEK T2
- PROVIDE FULL HEIGHT VERTICAL REINFORCEMENT AT EACH SIDE OF CONTROL JOINTS, WINDOWS, DOORS, AND WALL OPENINGS, AT ALL ENDS OF WALLS AND CORNERS. REINFORCING SHALL BE GROUTED SOLID AND MATCH THE DIAMETER OF THE TYPICAL WALL REINFORCING.

**FIRE RESISTANT CONSTRUCTION**

- FOLLOW SECTION 302. A FEW COMMON CRITICAL LOCATIONS FOLLOW:
  - GARAGE/RESIDENCE OR GARAGE/ATTIC SEPARATION 5/8" TYPE X GYPSUM DRYWALL AT GARAGE SIDE WHEN ADJACENT TO LIVING SPACE. 5/8" TYPE X DRYWALL REQUIRED AT CEILING WHEN LIVING SPACE ABOVE. (TABLE R302.6)
  - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS REQUIRES MIN. 1/2" GYPSUM (R302.7)
  - FIREBLOCKING IS REQUIRED TO ISOLATE EACH FLOOR LEVEL. 2X BLOCKING AND GYPSUM AND FIBERGLASS/MINERAL WOOL IF SECURE ARE ALL ACCEPTABLE (R302.11.1)
- DUPLEX/2 FAMILY STANDARD SEPARATION IS 5/8" TYPE X BOTH SIDES. (R302.3)



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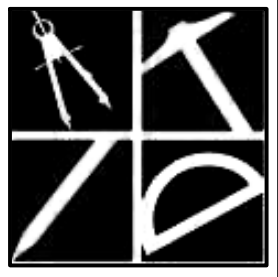
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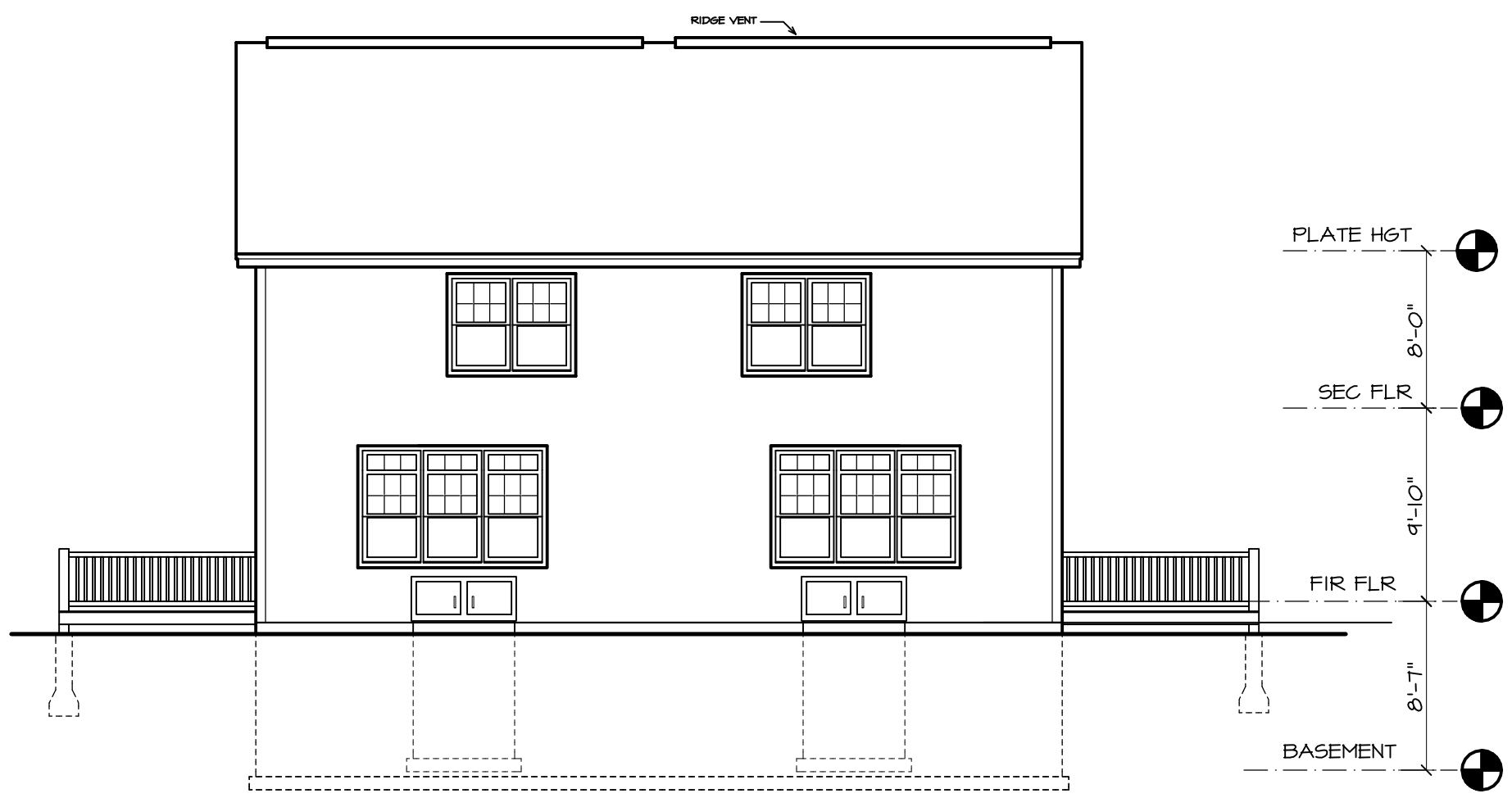
**A3**

WINDOW SCHEDULE				
MARK	QTY	MODEL NUMBER	RSO	NOTES
A		(3)244DH3049		MULLED DH W/ TRANSOM
B		(2)244DH3049		MULLION
C		CN235		DBL. GSMT
D		(3)244DH3049		MULLED DBL HUNG
E		244DH2036		DBL. HUNG
F		244DH2436		DBL. HUNG

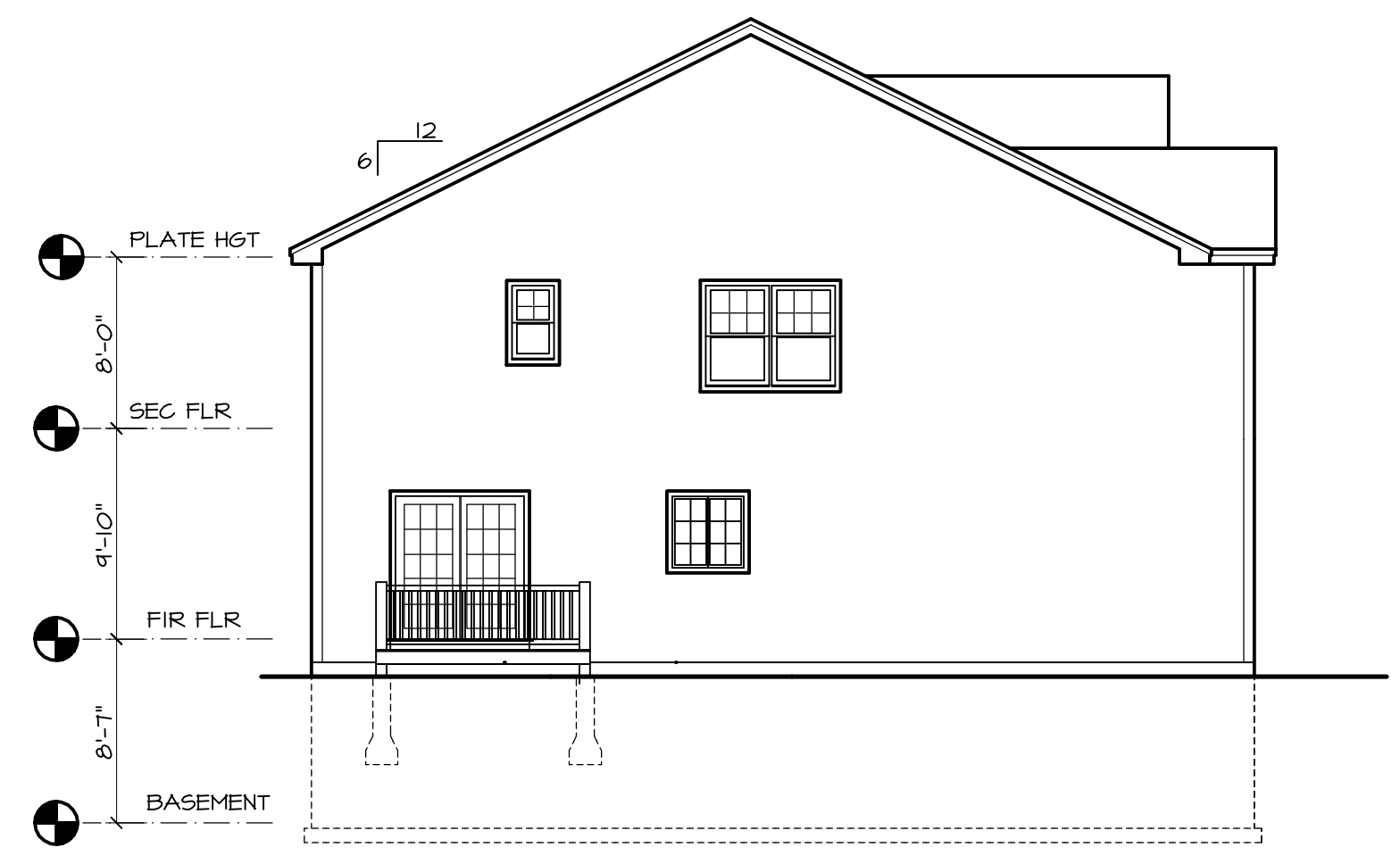
- NOTES:
1. RSO TO BE DETERMINED BY WINDOW MANUFACTURER.
  2. BEDROOM WINDOWS TO MEET EGRESS
  3. IN ACCORDANCE WITH I.R.C.(2015)-R312.2 , WHERE THE OPENING OF AN OPERABLE WINDOW IS MORE THAN 72" ABOVE THE EXT. FINISHED GRADE OR EXT. DECK BELOW, THE LOWEST PART OF THE CLEAR OPENING IS TO BE A MIN. OF 24" ABV. THE FIN. FLR.
  4. WINDOWS ARE BASED ON ANDERSEN 200 SERIES TILT-WASH MODEL NUMBERS

DOOR SCHEDULE				
MARK	QTY	SIZE	RSO	NOTES
1		3'0" X 6'8"		EXT. DOOR W/ SINGLE SDLT
2		3'0" X 6'8"		FIRE RATED
3		2'4" X 6'8"		INTERIOR
4		3'0" X 6'8"		BIFOLD
5		2'6" X 6'8"		INTERIOR
6		2'4" X 6'8"		POCKET DR
7		6'0" X 6'8"		SLIDING PATIO DR
8		5'0" X 6'8"		BIFOLD
9		2'0" X 6'6"		INTERIOR
10		3'0" X 6'8"		9-LITE
11		2'8" X 6'8"		STL INSUL.

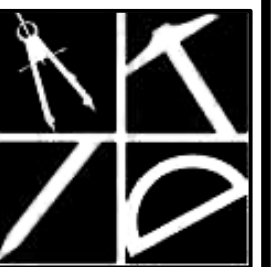
RSO TO BE DETERMINED BY DOOR MANUFACTURER.



1 REAR ELEVATION  
 A3 SCALE: 1/8" = 1'-0"



2 TYPICAL SIDE ELEVATION  
 A3 SCALE: 1/8" = 1'-0"



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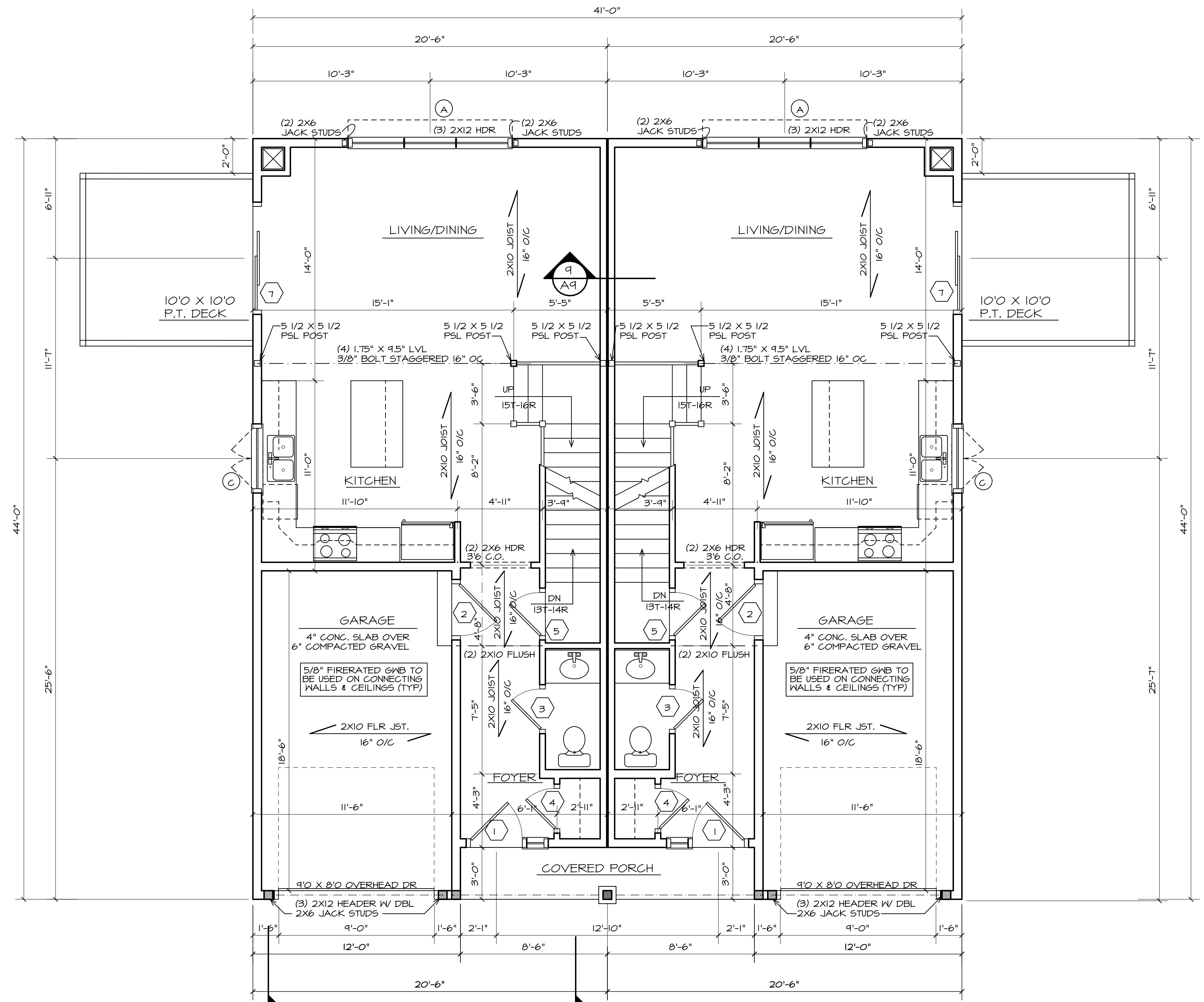
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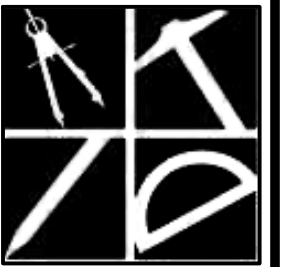


1 FIRST FLOOR PLAN  
A4 SCALE: 1/4" = 1'-0"

NOTE:  
1. PROVIDE HANDRAIL AT EACH STAIRWAY WITH 4 OR MORE RISERS

WIND BRACING NOTE: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 48" OF PANEL WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE FIGURE R602.10.6.2

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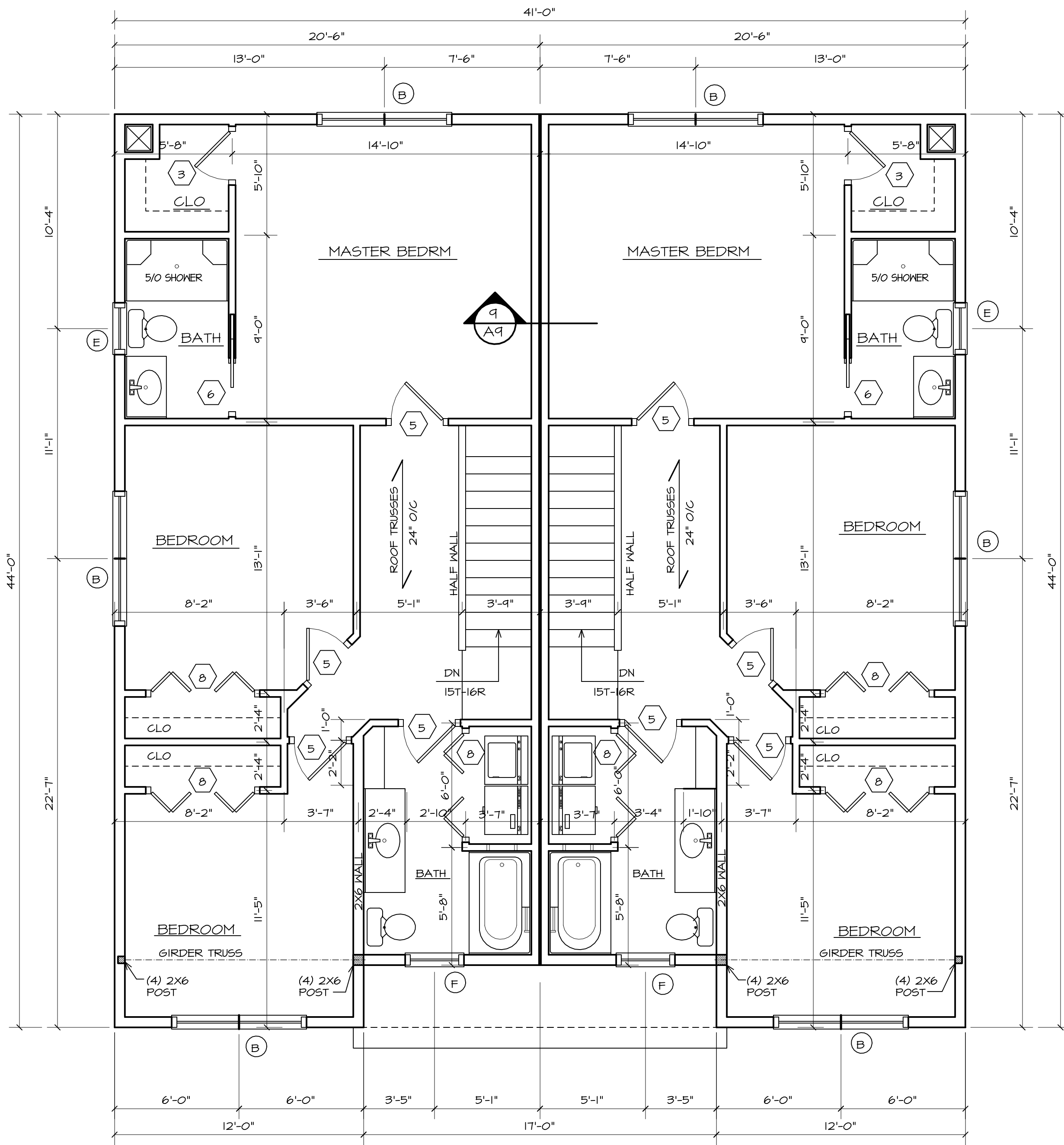
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A5



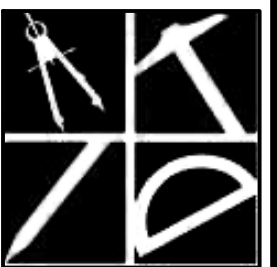
NOTE:  
USE TRIPLE 2X6 TOP PLATE ON SECOND FLOOR BEARING WALLS FOR ROOF TRUSSES

NOTE:  
1. PROVIDE HANDRAIL AT EACH STAIRWAY WITH 4 OR MORE RISERS

WIND BRACING NOTE: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 48" OF PANEL WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE FIGURE R602.10.6.2

1 SECOND FLOOR PLAN  
A5 SCALE: 1/4" = 1'-0"

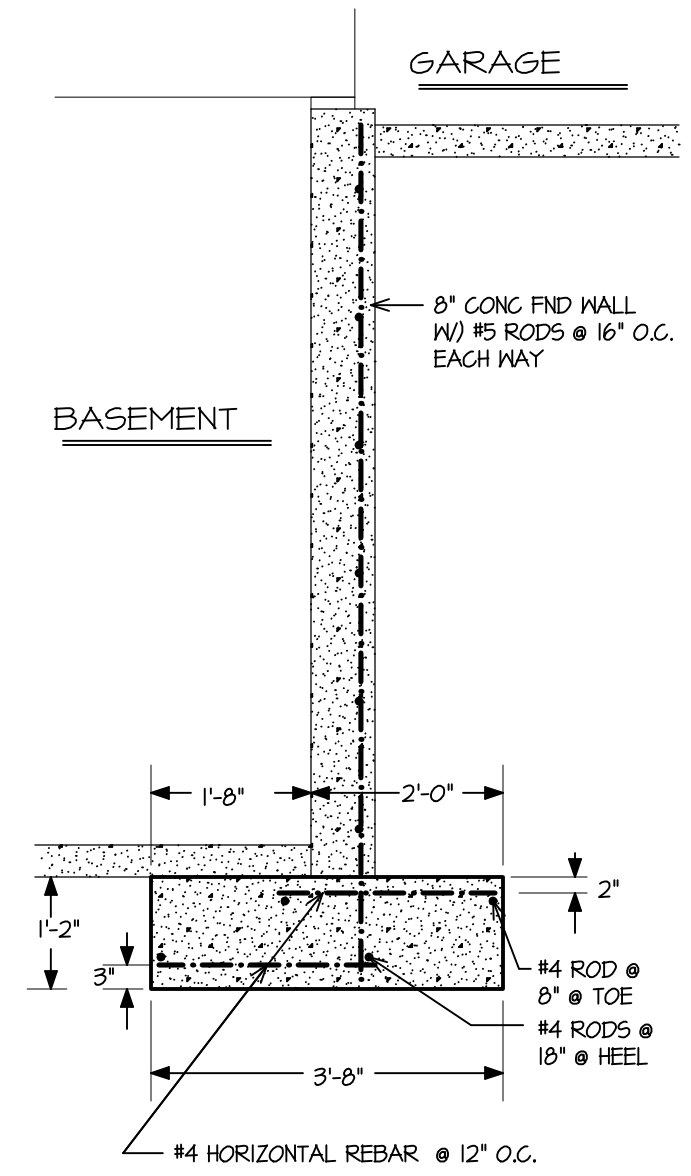
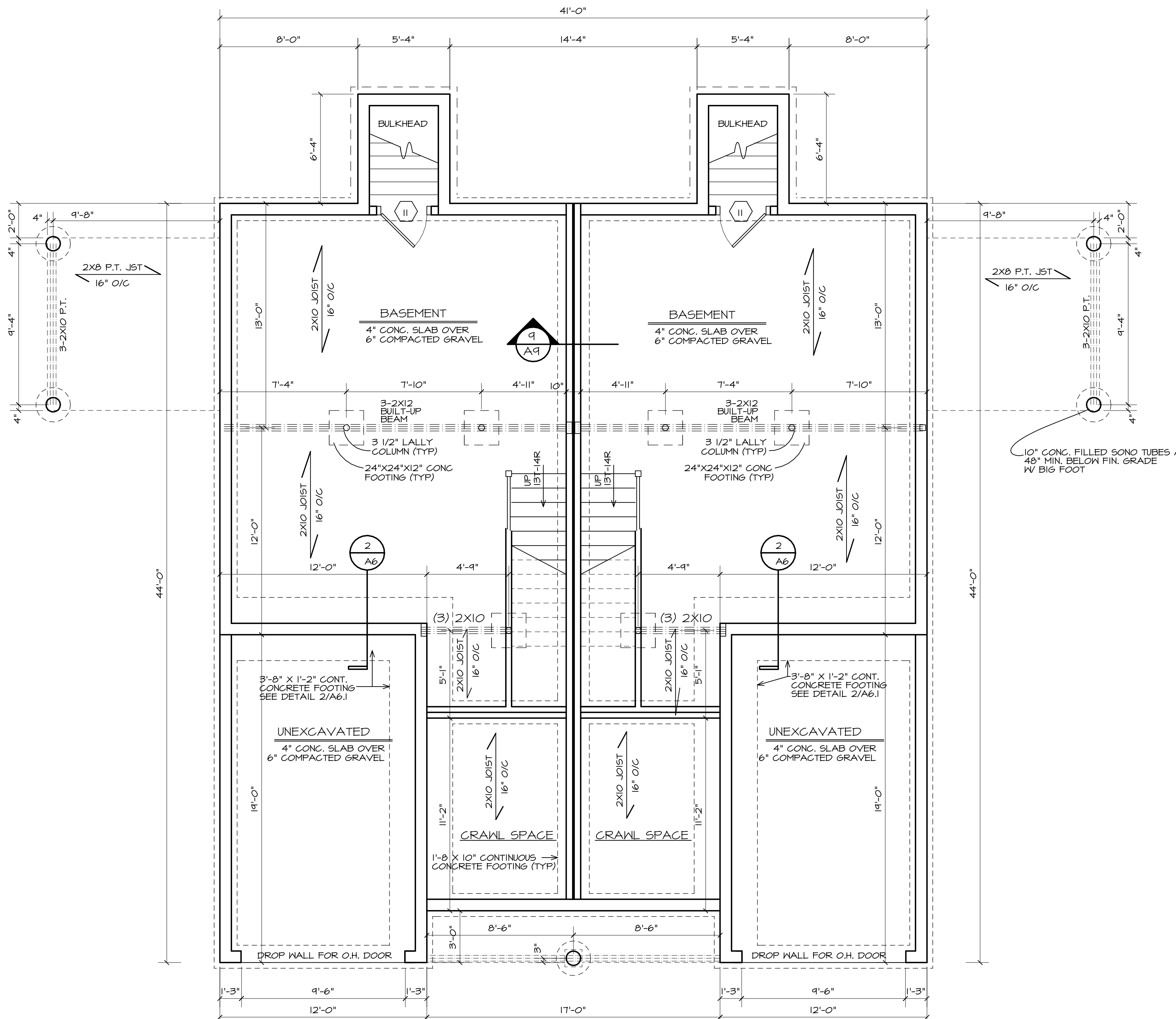




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2 FOUNDATION DETAIL  
A6 SCALE: 1/2" = 1'-0"

GENERAL NOTES

- CONC BULKHEAD SIZE AND LOCATION TO BE DETERMINED BY SITE CONDITIONS AND/OR CONTRACTOR
- WALKOUTS AS PER SITE CONDITIONS AND CONTRACTOR
- STEEL SASH WINDOW SIZES AND LOCATIONS TO BE DETERMINED BY CONTRACTOR

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**NOTE: SEE DRAWING A2 FOR CONCRETE NOTES AND ADDITIONAL INFORMATION**

**A6**

## GENERAL NOTES

- |  |  |
|--|--|
| <p>A. R-38 FIBERGLASS BATT INSULATION (TYPICAL)</p> <p>B. ROOF TRUSS (AS DESIGNED BY OTHERS); PLYWOOD SHEATHING, 15# BUILDING PAPER, &amp; 235# ASPHALT SHINGLES W/ ICE SHIELD AT RAFTER TAILS AND VALLEYS.</p> <p>C. 2X6 COLLAR TIES AT 32" O/C (TYPICAL)</p> <p>D. 2X6 CEILING JOISTS AT 16" O/C</p> <p>E. METAL DRIP EDGE AND FASCIA VENTED VINYL SOFFIT</p> <p>F. 2X6 STUDS 16" O/C, R-21 FIBERGLASS BATT INSULATION IN BETWEEN, 7/16" OSB SHEATHING &amp; EXTERIOR SIDING W/ "TYVEK" OR EQUAL (OPTIONAL) AND 1/2" GYP. BD. ON THE INTERIOR.</p> <p>G. 2-2X6 TOP PLATES AND 1-2X6 SHOE (BOTTOM PLATE) PRESSURE TREATED USED AT CONTACT WITH CONCRETE</p> <p>H. 2X10 FLOOR JOISTS 12/16" O/C (UNLESS OTHERWISE NOTED ON PLANS) WITH 3/4" T&amp;G SUBFLOOR (GLUED &amp; NAILED) R-30 FIBERGLASS BATT INSULATION AT FIRST FLOOR ONLY.</p> | <p>J. 8" CONCRETE FOUNDATION WALL WITH 1-2X6 PRESSURE TREATED SILL PLATE W/ SILL SEALER; ANCHOR BOLTS @ 4'-0" O.C. (TYPICAL)</p> <p>K. 4" CONCRETE SLAB FLOOR W/ W.W.F. OVER (MIN. 6") COMPACTED GRAVEL</p> <p>L. 8" CONCRETE FROST WALL TO BE 60" MIN. BELOW FINISHED GRADE</p> <p>M. 1'-4" X 8" CONTINUOUS CONCRETE FOOTING (TYPICAL)</p> <p>N. 3-2X12 BUILT-UP BEAM OVER 3 1/2" DIAM. STEEL LALLY COLUMN WITH TOP AND BOTTOM END PLATES, OVER 24"X24"X12" CONCRETE FOOTINGS.</p> <p>O. 1X3 STRAPPING AT 16" O/C &amp; 1/2" GYP. BD. (TYPICAL)</p> <p>P. 3-2X12 STAIR STRINGERS</p> <p>Q. CONTINUOUS RIDGE VENT</p> <p>R. 2X6 STUD WALL @ 16" O.C.</p> <p>S. HURRICANE CLIPS AND FRAMING ANCHORS AS REQ'D.</p> <p>T. 2" RIGID INSULATION INSIDE FACE OF CONCRETE WALL TO TOP OF SLAB</p> |
|--|--|

## DESIGN LOADS

LIVE LOAD AT LIVING SPACES: 40 PSF  
 LIVE LOAD AT SLEEPING SPACES: 30 PSF  
 GROUND SNOW LOAD: 60 PSF

FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER ALL PARALLEL BEARING WALLS

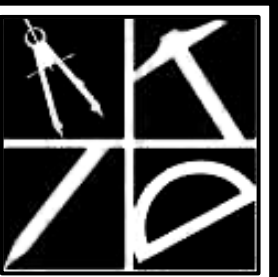
PROVIDE 1X4 CROSS BRIDGING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.

WHERE PREENGINEERED FLOOR OR ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.

ALL LUMBER MUST BE NO. 2 OR BETTER, SPRUCE - PINE - FIR.

PROVIDE MOISTURE VAPOR RETARDERS IN ALL FRAMED WALLS, FLOORS AND ROOF/CEILING IN ACCORDANCE WITH I.R.C. SECTIONS R-506.2.3 AND R102.1

ATTIC ACCESS (MIN 22" X 30") LOCATION TO BE DETERMINED BY CONTRACTOR



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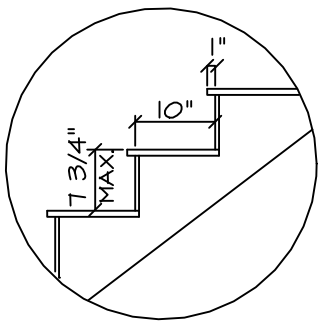
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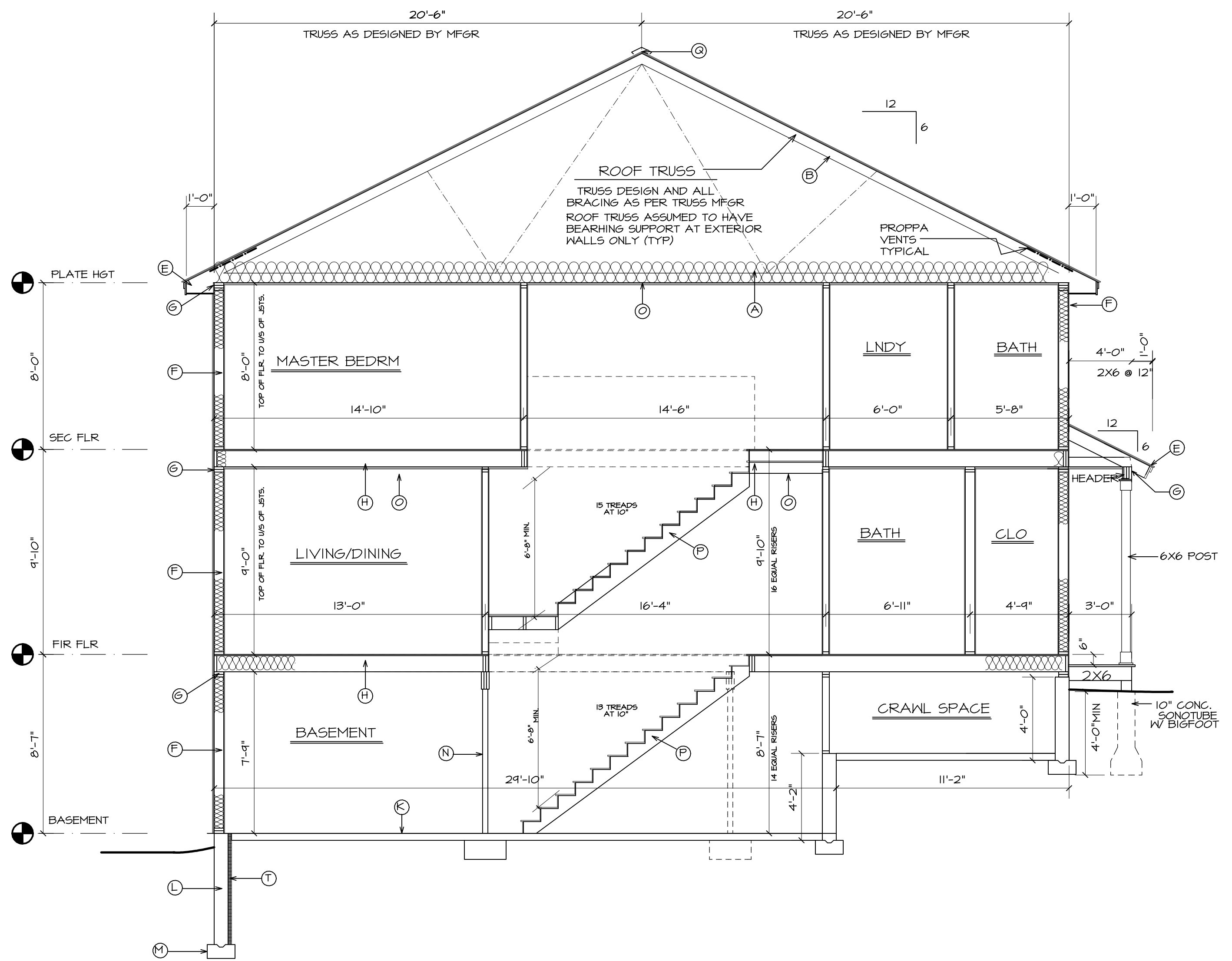
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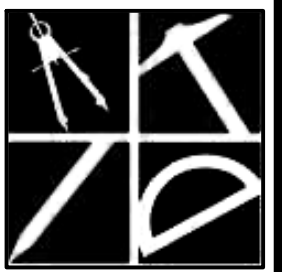
# A7



STAIR CODE  
 NOT TO SCALE



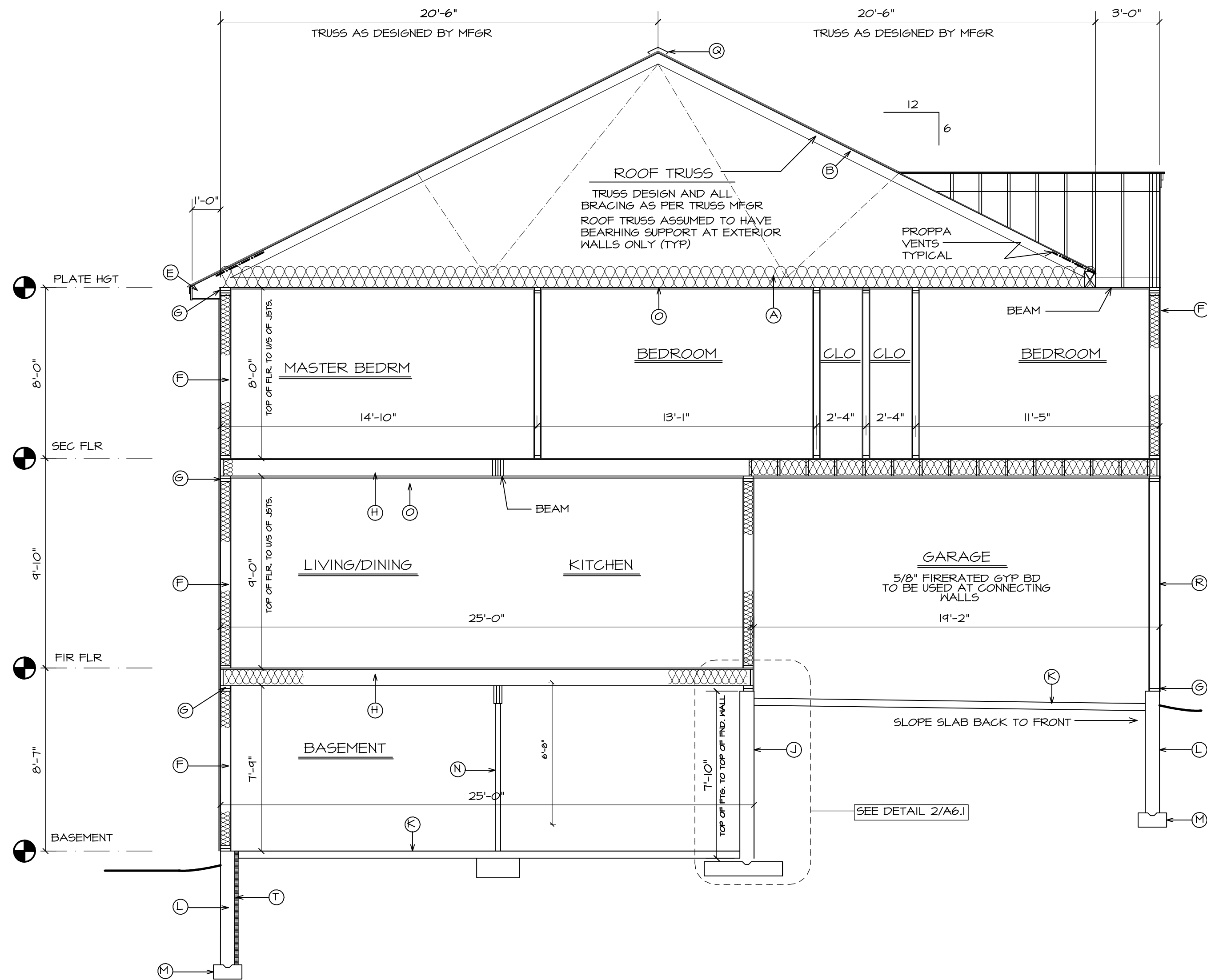
**NOTE: SEE DRAWING A7 FOR GENERAL NOTES AND ADDITIONAL INFORMATION**



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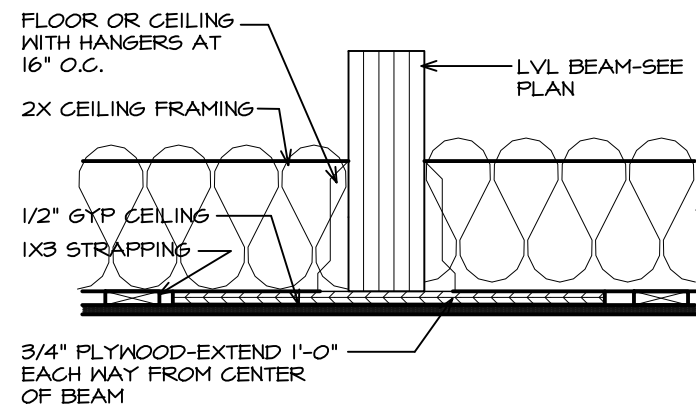
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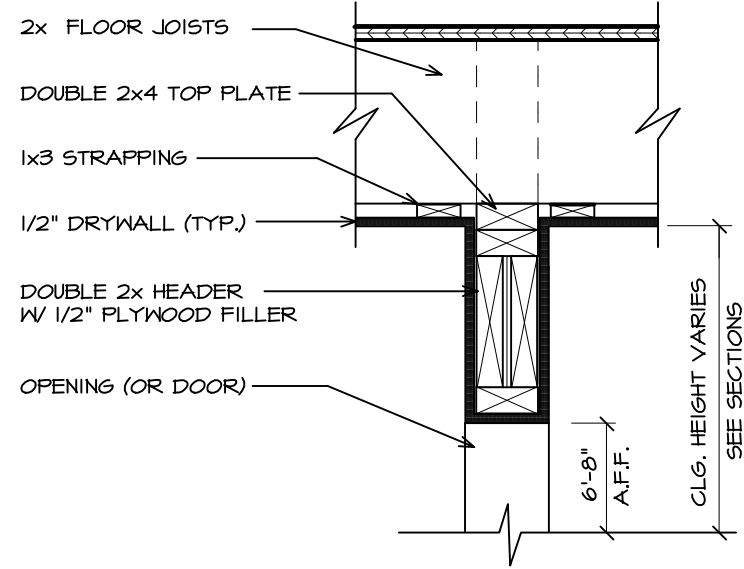
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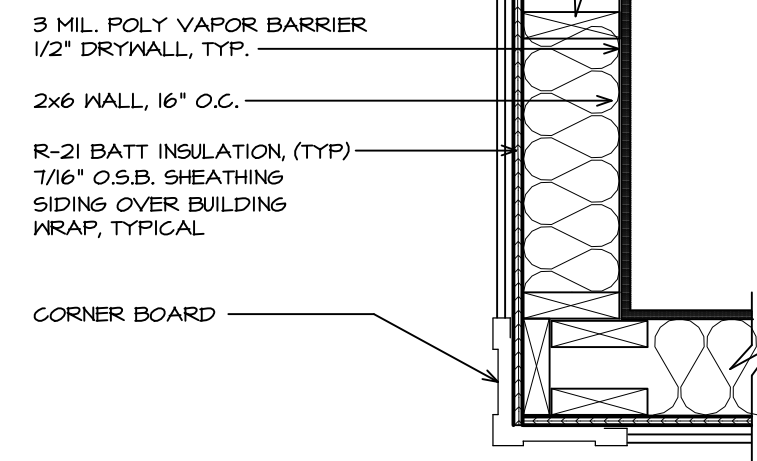
**A8**



1 LVL FLUSH BEAM  
A9 SCALE: 3/4" = 1'-0"

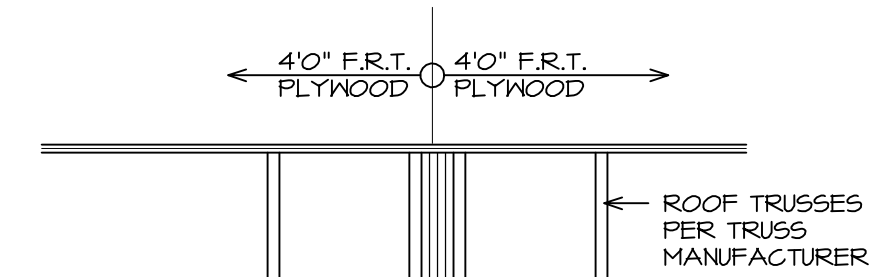


2 INTERIOR HEADER DTL.  
A9 SCALE: 3/4" = 1'-0"

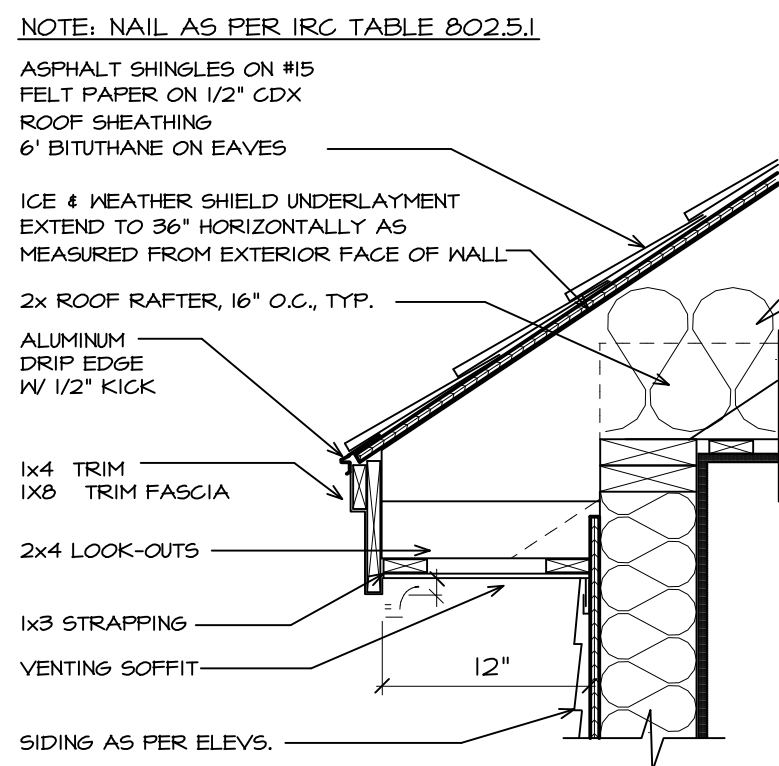


3 CORNER DETAIL  
A9 SCALE: 3/4" = 1'-0"

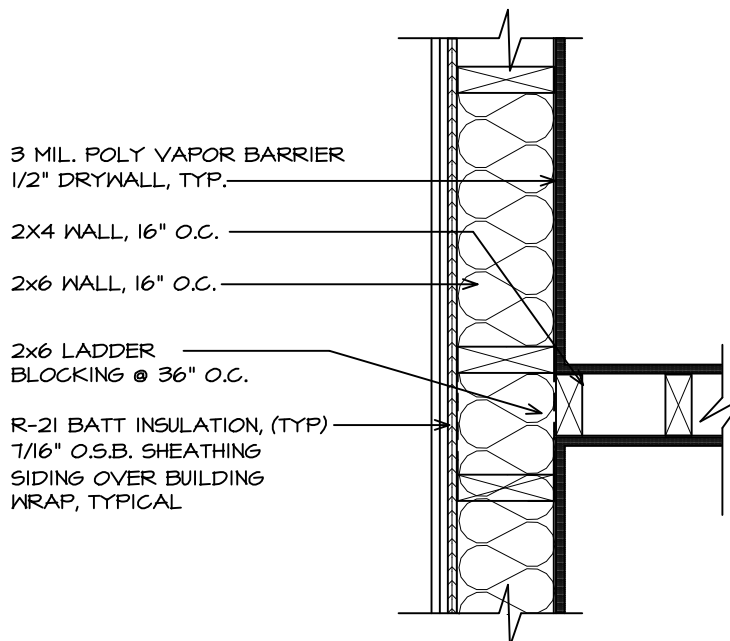
PARTY WALL SPECIFICATIONS  
GA FILE NO. ASH 1002  
FIRE RATED - 2 HR  
STC RATING 60 TO 64  
UL DESIGN U3T3



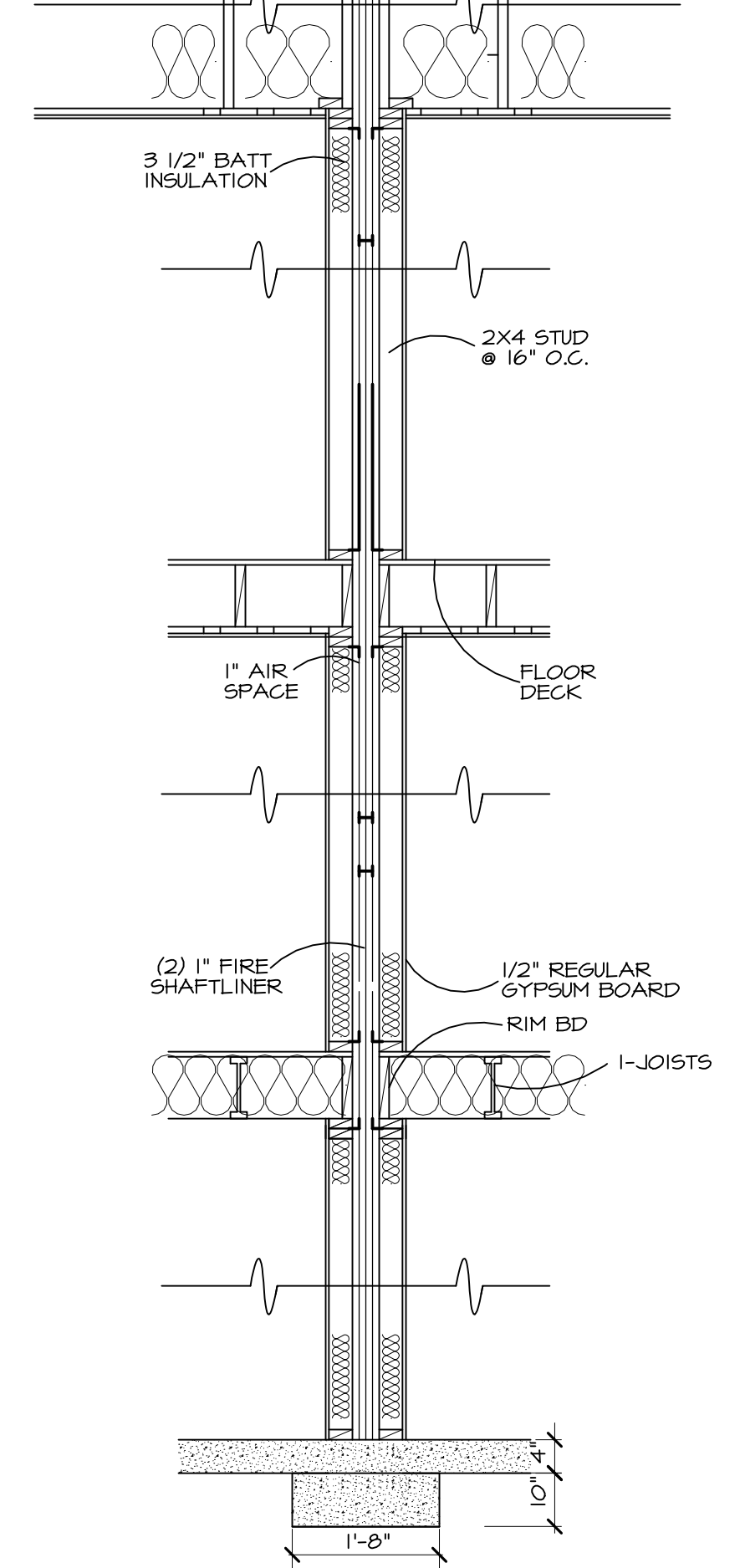
4 STAIR OVER HEADER  
A9 SCALE: 3/4" = 1'-0"



5 SOFFIT DETAIL (LOW EAVE)  
A9 SCALE: 3/4" = 1'-0"



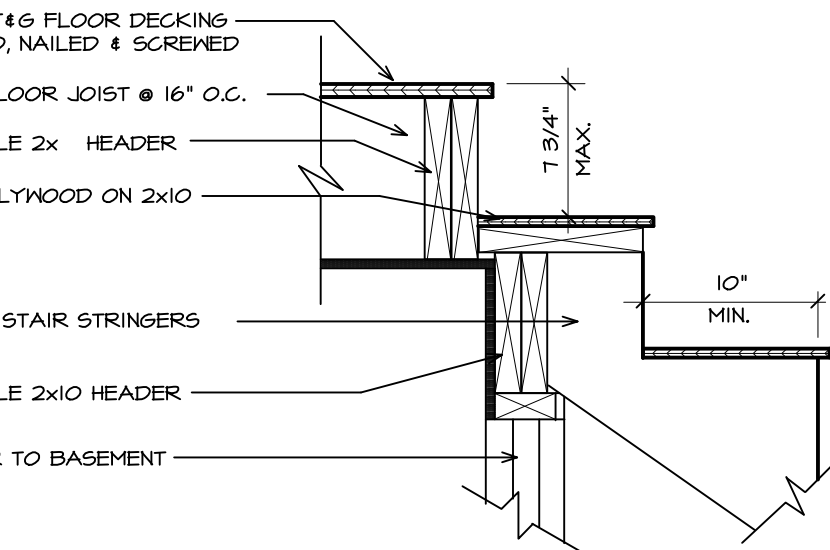
6 INT. WALL TO EXT. WALL  
A9 SCALE: 3/4" = 1'-0"



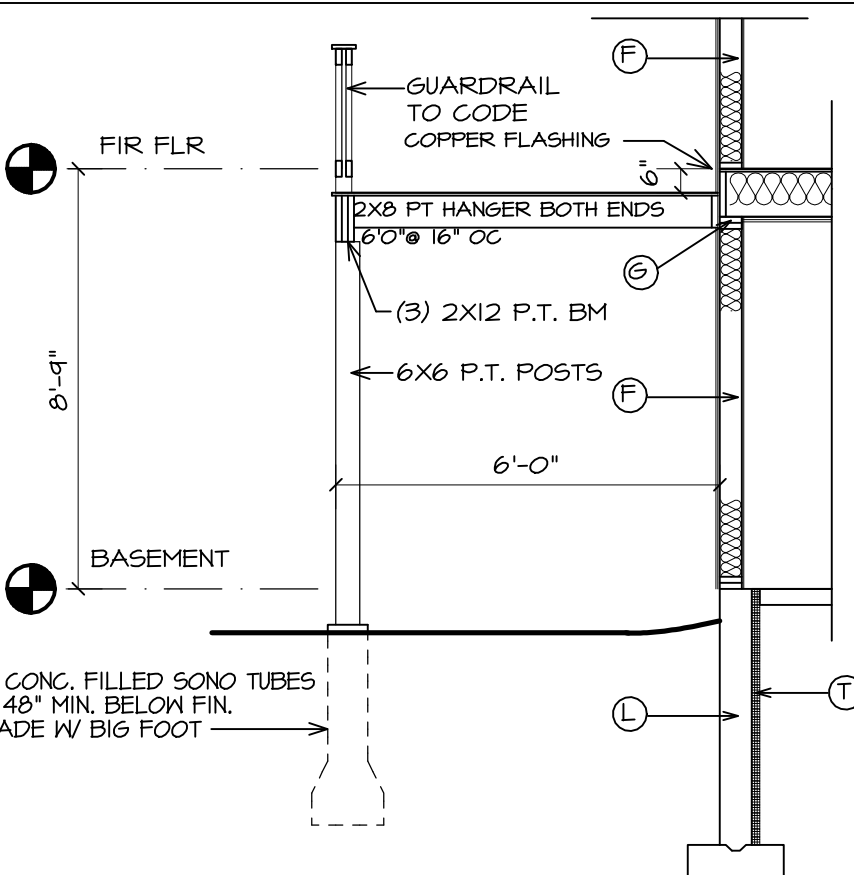
NOTE: NO PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS IN CAVITIES OF COMMON WALLS. ELECTRICAL CONNECTIONS SHALL BE THROUGH APPROVED METHODS FOR MAINTAINING FIRE RESISTANCE RATINGS OF COMMON WALLS. ALL PENETRATIONS TO BE FIRE-STOPPED WITH FIRERATED CAULKING OR FIRERATED INSULATION

NOTE: COMMON WALL TO BE CONTINUOUS FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING

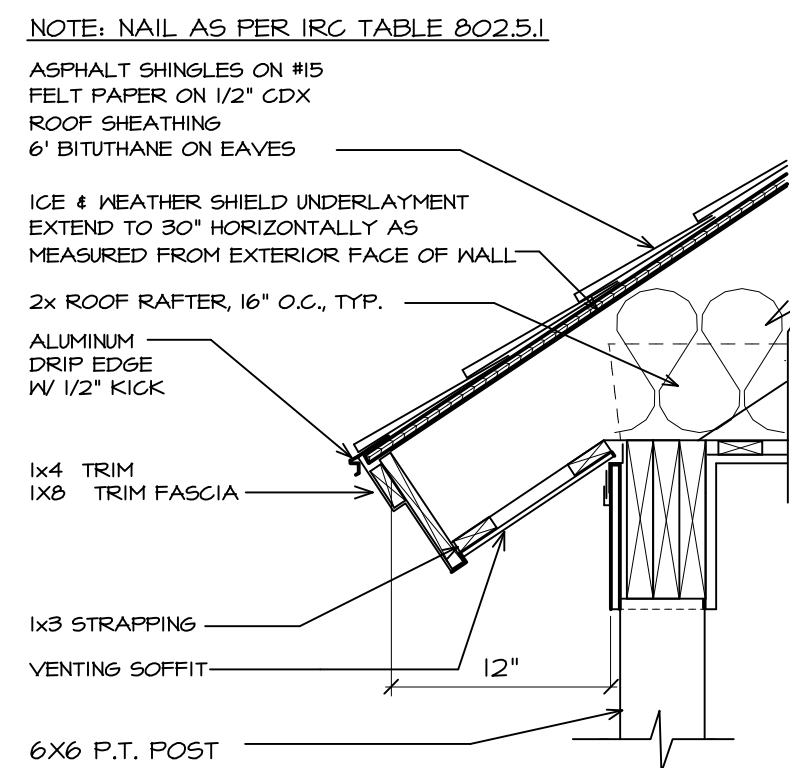
NOTES:  
4'-0" FIRERATED SHEATHING TO BE USED ON BOTH SIDES OF ROOF JOINTS



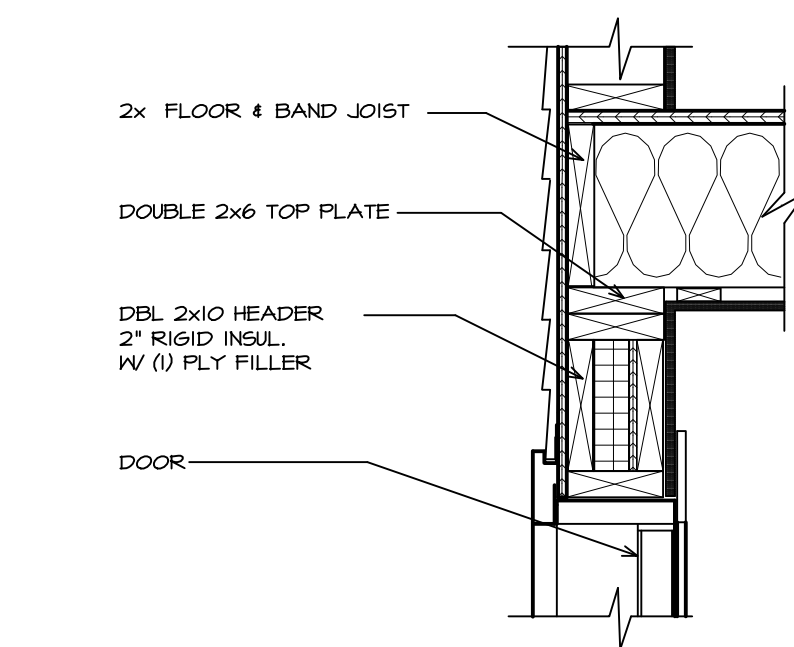
4 STAIR OVER HEADER  
A9 SCALE: 3/4" = 1'-0"



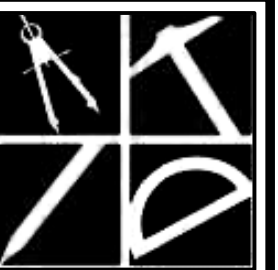
8 DECK TO HOUSE DETAIL  
A9 SCALE: 3/4" = 1'-0"



9 FRONT PORCH OVERHANG  
A9 SCALE: 3/4" = 1'-0"



7 EXT. DOOR HEADER DTL  
A9 SCALE: 3/4" = 1'-0"



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