# PROPOSED CONDOMINIUM SUBDIVISION PLAN FOR

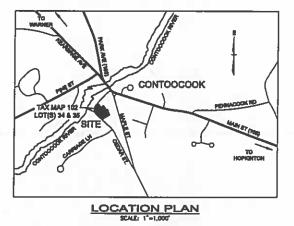
# BAYSTONE PROPERTIES, LLC

**TAX MAP 102, LOT 35** PROJECT LOCATION:

71 CEDAR STREET, HOPKINTON, (CONTOOCOOK) NH MERRIMACK CO.

# . THE PURPOSE OF THIS PLAN IS TO SHOW A CONDOMINUM SUBDIVISION ON TAX MAP 102 LOT 35. 2. THE PROPERTY IS DESIGNATED AS TAX MAP 102, LOT 35. 3. THE AREA OF THE EXISTING LOT 35 IS 0.91 ACRES (39,780 SF.) THE CURRENT OWNER FOR LOT 35: BAYSTONE PROPERTIES, LLC 44 NORTH SHORE RD, DERRY HIN 03038, LDT 36 BK 3681, PAGE 1784 5. THE ZONING DESIGNATION FOR THE PROPERTY IS VR-1 DISTRICT. DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE VR-1 DISTRICTS MMI, LOT SIZE MIN, ROAD SETBADO MIN, ROAD SETBADO MIN, ROAD SETBADO MIN, REAR SETBADO MADRIAM STRUCTURE HIDOHT SETTIC SETBADO OVERLAY DISTRICTIR (STELP SLOPES, SORS, WETLANDS, CONSERVATION) NO WETLANDS WERE LOCATED ON SITE, THOMAS E. SOKOLOSIG, CERTIFIED WETLAND SCIENTIST WEITED THE SITE DETERMINING THERE WERE NO WETLANDS FOLKED ON SITE. THE EXISTING USE OF TM 102 LOT 35 IS A 2 CAR GARAGE. ). THE PROPOSED USE OF THI 102 LOT 35 IS A CONDOMINUM SUBDIVISIO 10. SEWER TO BE PROVIDED BY MUNICIPAL 11. WATER TO BE PROVIDED BY MUNICIPAL A ABUITING PROPERTY BEGINNATION PROVIDED BY A COMBINATION OF DN-LINE TAX MAP DATA AND DATA PROVIDED BY grantiferunte.col.

1. NRCS SOLS DATA: 613A-CROCHAN LOAMY FINE SAND, O TO 8 PERCENT SLOPES, WOODED



# SHEET INDEX

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#### PROFESSIONAL CONSULTANTS LIST

NEW HAMPSHIRE LAND CONSULTANTS. PLLC. 683C FIRST NH TURNPIKE (RT.4) NORTHWOOD, NH 03261 PH:(603) 942-9220

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WETLAND/SOIL SCIENTIST:

THOMAS E. SOKOLOSKI, CERTIFIED WETLAND SCIENTIST/SOIL SCIENTIST TES ENVIRONMENTAL CONSULTANTS, LLC 1494 ROUTE 3A, UNIT 1 BOW, NEW HAMPSHIRE 03304 PH: (603) 856-8925

PROFESSIONAL

BERNIE TEMPLE, PE, CPESC P.O. BOX 7 GILMINGTON IRON WORKS, NH 03837 PH: (603) 630-1008

DEVELOPER:

BAYSTONE PROPERTIES, LLC 44 NORTH SHORE RD DERRY NH. 03038

PLANNING BOARD APPROVAL: HOPKINTON NH PLANNING BOARD

DATE

### **OWNER/APPLICANT:**

**AGENCY APPROVALS** 

BAYSTONE PROPERTIES, LLC (SHAUN GEARY) 44 NORTH SHORE RD, DERRY NH. 03038 LOT 35 - BK 3691 PG 1784

NHDES SURDIVISION



### NOTE:

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF HOPMONTON (CONTOCCOOK) REGILATIONS AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND SPECIE CONSTRUCTION", LATEST EDITION.

REVISIONS				
NO.	DATE	DESCRIPTION	BY	
4				
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INITIAL PLAN SET SUBMISSION DATE

JUNE 21, 2021

Latest revision date:





COVER SHEET JOB NO: 393.00

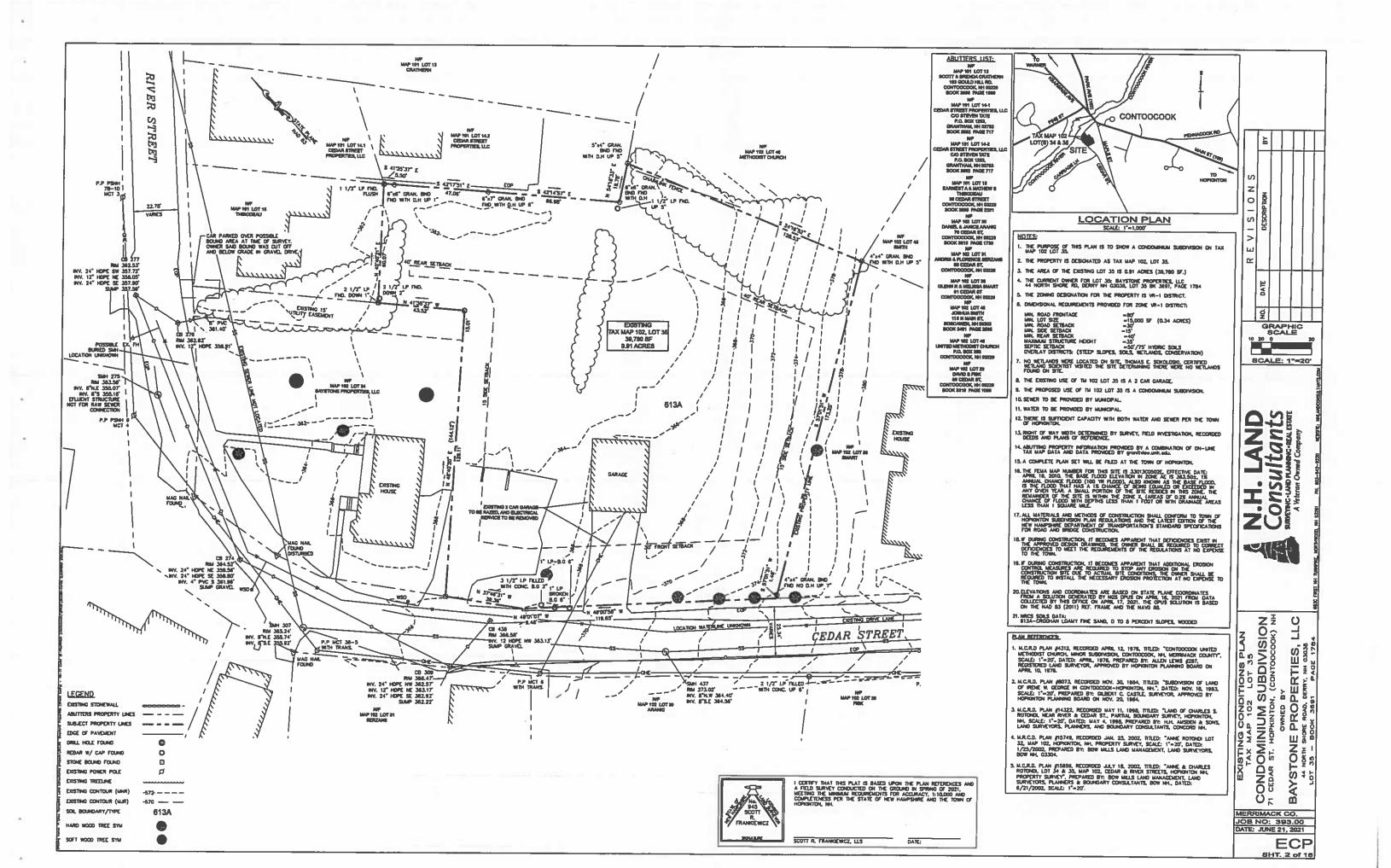
TAX MAP 102 LOT 35 CONDOMINIUM SUBDIVISION

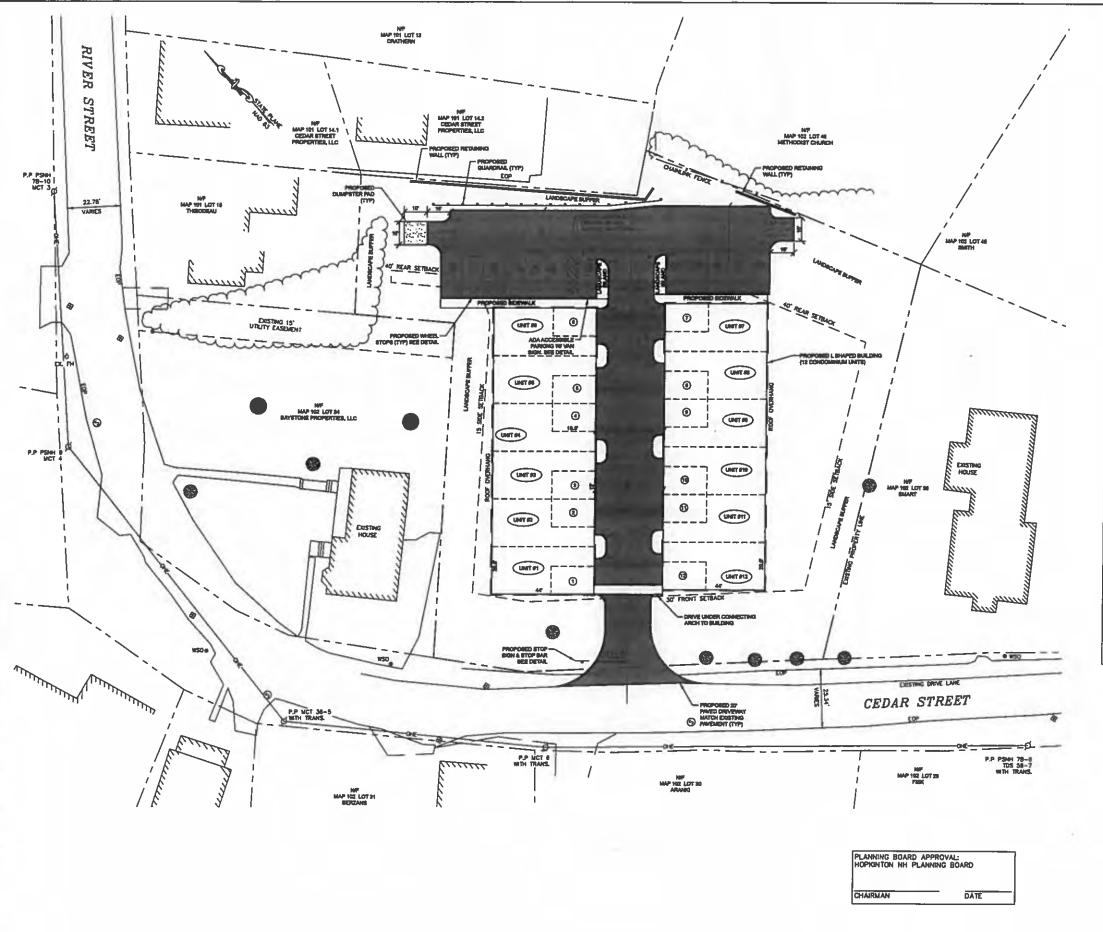
71 CEDAR ST. HOPKINTON, (CONTOCCOOK) NH OWNED BY

BAYSTONE PROPERTIES, LLC 44 NORTH SHORE ROAD, DERRY, NH 03038 LOT 35 - BOOK 3691 PAGE 1784

CVR

SHT. 1 of 16





NOTES

- . THE PURPOSE OF THIS PLAN IS TO SHOW A CONDOMINUM SUBDIVISION ON TAX MAP 102 LOT JS.
- 2. THE PROPERTY IS DESIGNATED AS TAX MAP 102, LOT 38.
- 3. THE AREA OF THE EXISTING LOT 35 IS 0.91 ACRES (39,780 SF.)
- I. THE CURRENT OWNER FOR LOT 35: BAYSTONE PROPERTIES, LLC 44 NORTH SHORE RD, DERRY NH 03038, LOT 35 BN 3891, PAGE 1784
- 5. THE ZONING DESIGNATION FOR THE PROPERTY IS VII-1 DISTRICT. . DIMENSIONAL REQUIREMENTS PROVIDED FOR 20NE VII-1 DISTRICT
- MIN. RCAD FRONTACE

  MIN. LOT SIZE

  MIN. LOT SIZE

  MIN. SIZE STEMACK

  MIN. RCAR STEMACK

  MIN. RCAR STEMACK

  MAJORAM STRUCTURE HEIGHT

  SUPPLY STEMACK

  OVERLAY DISTRICTS: (STEEP SLOPES, SQLS, WETLANDS, CONSERVATION)
- NO WETLANDS WERE LOCATED ON SITE, THOMAS E. SOKOLOSIO, CERTIFIED WETLAND SCIENTIST VISITED THE SITE DETERMINING THERE WERE NO WETLANDS FOUND IN SITE.
- THE EXISTING USE OF TH 102 LOT 35 IS A 2 CAR GARAGE.
- I. THE PROPOSED USE OF TH 102 LOT 35 IS A CONDOMINUM SUBDIVISION,
- 10. SEWER TO BE PROVIDED BY MUNICIPAL
- 11. WATER TO BE PROMOTO BY MUNICIPAL.
- 12. THERE IS SUFFICIENT CAPACITY WITH BOTH WATER AND SEWER PER THE TOWN OF HOPIGNION.
- 13 RIGHT OF WAY WOTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
- 4. ABUTTING PROPERTY INFORMATION PROVIDED BY A COMBINATION OF CN-LINE TAX MAP DATA AND DATA PROVIDED BY grantview.unit.edu.
- S. A COMPLETE PLAN SET WILL BE FILED AT THE TOWN OF HOPIONTON
- 18, D.E. FEMA MAP NAMER FOR THE SITE IS 33013C0502K, EFFECTIVE DATE:
  AFFR. 18, 2010 THE BASE FLOOD CLEVANION IN ZORE AC IS 361302K, 13
  AFFR. 18, 2010 THAT HAS 'A IS CHANCE OF BEING FORM ACT BE CHEFTO IN
  ANY CRYON YEAR. A SHALL PORTION OF THE SITE RESIDES IN THE ZONE. THE
  REMANDED OF THE SITE IS WITHIN THE ZONE K, CHARAS OF 0.22 AMPLIAL
  CHANGE OF FLOOD WITH DEPTHS LESS THAN 1 FOOT OR WITH DRAWAGE AREAS
  LESS THAN 1 SCALARE MED.
- 17. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF HIPPONITON SUBDIVISION FLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIES DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

- 20.ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION ODMETATED BY MISS CRUS ON APRIL 18, 2021 FROM DATA COLLECTED BY THIS OFFICE ON APRIL 17, 2021. THE CRUS SOLUTION IS BASED ON THE MAD 83 (2011) RET. FRANE AND THE MAYO 88.
- 21. HRCS BOLS DATA: 813A-CROCHAN LOAMY FINE SAND, O TO 8 PERCENT SLOPES, WOODED

- M.C.R.D PLAN §4312, RECORDED APRIL 12, 1878, TITLED: "CONTOCCOOK UNITED METHODIST CHURCH, LINNOR SUBDIVISION, CONTOCCOOK, INI. MEDIBINACK COUNTY", SCALE: 1"2-20", DATED: APRIL 1878, REPRAPAGE BY ALLEN LEWS §267, RECOSTREED LAND SURVEYOR, APPROVED BY HOMORITON PLANNING BOARD ON APRIL 10, 1978.
- 2. M.C.P.D. PLAN 98073, RECORDED MOV. 30, 1984, TITLEE: "SUBDIVISION OF LAND OF REME N. GEORGE IN CONTOCODIC-HOPMINTON, NH.", DATED: MOV. 18, 1983, SCALE: 1"-20", PREPARED BY: GUBERT C. CASTLE, SURVEYOR, APPROVED BY HOPMI
- M.C.R.D. PLAN #14322, RECORDED MAY 11, 1998, TITLED: "LAND OF CHARLES S. ROTORD, MEAR RIVER & CEDAR ST., PARTIAL BOUNDARY SIRVEY, HOPKINTON, PM, SCALE: "1"207, DATED: MAY 4, 1998, PREPARED BY: HAL AMBODIA & SONS, LAND SURVEYORS, PLANNERS, AND BOUNDARY CONSULTANTS, CONCORD No.
- 4. MJR.C.D. PLAN #19749, RECORDED JAN. 23, 2002, TITLED: "ANNE ROTONOS LOT 32, MAP 102, HOPPONTON, INI, PROPERTY SURVEY, SCALE: 1"=20", DATED: 1/25/2002, PREPARED BY: BOW MILLS LAND MANACEMENT, LAND SURVEYORS, BOW INY, 03304.
- M.C.R.D. PLAN #15858, RECORDED JALY 18, 2002, TRIED: "ANNE & CHARLES ROTOND, LOT 34 & 13, MAP 102, CEDAR & RIVER STREETS, MOPIONTON 104, PROPERTY SURVEY", PREPARED BY: BOW MILLS LAND MANAGEMENT, LAND SURVEYORS, PLANGERS & BOUNDARY CONSULTANTS, BOW MIL, DATED: 6/21/2002, SCALE: 17-20".

LEGEND .	
EXISTING STONEWALL	-
ABUTTERS PROPERTY LINES	
SUBJECT PROPERTY LINES	
EDGE OF PAVEMENT	
EXISTING FENCELINE	
EXISTING TREELINE	***************************************
EXISTING BLDG SETBACK	
EXISTING FENCE LINE	
DRILL HOLE FOUND	•
REBAR W/ CAP FOUND	0
STONE BOUND FOUND	<b>.</b>
WALL MOUNTED LIGHT FIXTURE CALLOUT	WI,W
PROPOSED CATCH BASIN	
PROPOSED SEWER MANHOLE	•
PROPOSED SIGN	-

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Consultants
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SITE LAYOUT PLAN
TAX MAP 102 LOT 35
CONDOMINIUM SUBDIVISION
71 CEDAR ST. HOPKINTON. (CONTOOCOOK) NH
OWNED BY
OWNED BY
OWNED BY
ALL HORTH SHORE ROAD, DERRY, MH DAGAS
LOT 35 — RODRE 1784

MAN CONTROLL SERVI, MH DAGAS
LOT 35 — RODRE 1784

MAN CONTROLL SERVI, MH DAGAS
LOT 35 — RODRE 1784

MAN CONTROLL SERVI, MH DAGAS
LOT 35 — RODRE 1784

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LOT 35 — RODRE 1784

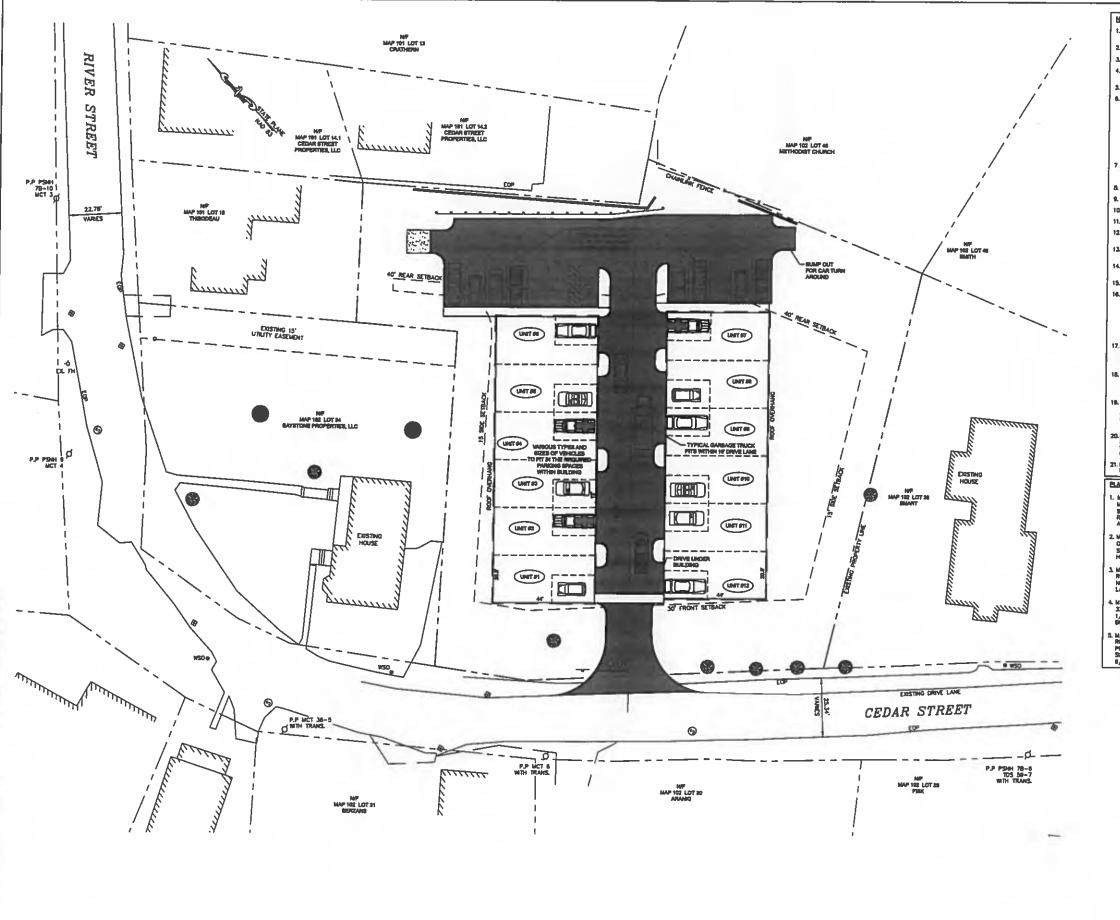
MAN CONTROLL SERVI, MH DAGAS
LOT 35 — RODRE 1784

MAN CONTROLL SERVI, MH DAGAS
LOT 35 — RODRE 1784

MAN CONTROLL SERVING SER

MERRIMACK CO. JOB NO: 393,00 DATE: JUNE 21, 2021

**PSP** 



- THE PURPOSE OF THIS PLAN IS TO SHOW A CONDOMINUM SUBDIVISION ON TAX MAP 102 LOT 35.
- 2. THE PROPERTY IS DESIGNATED AS TAX WAP 102, LOT 35.
- 3. THE AREA OF THE EXISTING LOT 35 IS 0.91 ACRES (39,780 SF.)
- 4. THE CURRENT DWINER FOR LOT 35: BAYSTONE PROPERTIES, LLC 44 NORTH SHORE RD, DERRY NH 03038, LDT 35 BK 3691, PAGE 1784
- THE ZONING DESIGNATION FOR THE PROPERTY IS VR-1 DISTRICT.
- DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE VR-1 DISTRICT:

- MIN. ROAD FRONTAGE =80'
  MIN. LOT SIZE =13,000 SF (0.34 ACRES)
  MIN. ROAD SETMACH =35'
  MIN. ROAD SETMACH =15'
  MIN. REAR STEMACK =15'
  MAZINAM STRUCTURE HIDOHT =35'
  OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, MICTUANDS, CONSERVATION) NO WETLANDS WERE LOCATED ON SITE, THOMAS E SONGLOSK, CERTIFIED WETLAND SCIENTIST VISITED THE SITE DETERMINING THERE WERE NO WETLANDS FOUND ON SITE.
- & THE EXISTING USE OF THE 102 LOT 35 IS A 2 CAR GARACE.
- 9. THE PROPOSED USE OF TH 102 LOT 35 IS A CONDOMINUM SUBDIVISION
- 10. SEVER TO BE PROVIDED BY MUNICIPAL
- 11. WATER TO BE PROVIDED BY MUNICIPAL.
- 12. THERE IS SUFFICIENT CAPACITY WITH BOTH WATER AND SEWER PER THE TOWN OF HOPIGNION.
- 13. RIGHT OF WAY WOTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
- 14. ABUTTING PROPERTY INFORMATION PROVIDED BY A COMBINATION OF CH-LINE TAX MAP DATA AND DATA PROVIDED BY granity/evulnitudal.
- IS A COMPLETE PLAN SET WILL BE FILED AT THE TOWN OF HOPION
- 16. THE FEMA MAP NUMBER FOR THIS STIE IS ASSISCEDCE EFFECTIVE DATE:
  AFFEL 18, 2010. THE BASE FLOOD ELEVATION IN ZONE AS IS 363.300. 118
  ANNUAL CHANKE FLOOD (100 VR FLOOD), ALSO KNOWN AS THE BASE FLOOD,
  IS THE FLOOD THAT HAS A 18 CHANCE OF BONG COLMAD OR EXCELLED IN
  ANY GIVEN THAN A SHALL PORTION OF THE STIE RESIDES IN THE ZONE. THE
  REMANDER OF THE SITE IS WITHIN THE ZONE X (AREAS OF 0.2X ANNUAL
  CHANCE OF FLOOD WITH DEPTHS LESS THAN 1 FOOT ON WITH DRIBINACE, ANRAS
  LESS THAN 1 SQUARE MAP.
- 18. F DURING CONSTRUCTION, IT RECOMES APPARENT THAT DETICENCES DEST IN THE APPROVED CESSOD DIAMNICS. THE OWNER SHALL BE RECOMED TO CONNECT DETICENCES TO MEET THE RECOMMENDERS OF THE RECORATIONS AT NO EMPOSE TO THE TOTAL

- D. NRCS BOILS DATA: BISA-CROCHAN LOAMY FINE SAND, O TO 8 PERCENT SLOPES, WOODED

- M.C.R.D PLAN §4312, RECORDED APRIL 12, 1978, TITLED: "CONTOCCOOK UNITED METHODIST CHURCH, MINOR SUBDIVISION, CONTOCCOOK, IN-I, MEDIBLACK COLATY", SCALE: 1"=26", DATED: APRIL 1978, PREPARED BY ALLEN LEWIS §287, REDISTIERE LAND SURVEYOR, APPROVED BY HOPIGNITON PLANNING BOARD ON APRIL 10, 1978.
- M.C.P.LD. PLAN 98073, RECORDED NOV. 30, 1984, TITLED: "SUBDIVISION OF LAND OF REPE W. GEORGE IN CONTROCCOOK-HOPPOINTON, IN-1", DATED: NOV. 18, 1983, SCALE! "20, PREPARED ST. CHEEPIT C. CASTLE, SURVEYOR, APPROVED BY HOPPOINTON PLANSING BOARD ON NOV. 20, 1884.
- i.M.C.P.D. PLAN #14322, RECORDED MAY 11, 1988, TITLED: "LAND OF CHARLES S. ROTONDA, RCAR ROYER & CEDAN ST., PARTAL BOUNDARY SURVEY, HOMONTON, HH, SCALE 1"-20", DATIDE MAY 4, 1988, PREPARED BY: HUI, AMSDEN & SONS, LAND SURVEYORS, PLANNERS, AND BOUNDARY CONSULTANTS, CONCORD INI.
- L M.R.C.D. PLAN \$15748, RECORDED JAN. 23, 2002, TITLED: "AWNE ROTONDS LOT 32, MAP 102, HOPPORTON, MIL PROPERTY SURVEY, SCALE: 1"=20", DATED: 1/25/2002, PREPARED BY: BOW MILLS LAND MANAGEMENT, LAND SURVEYORS, BOW MM, 03304.
- S. M.C.P.D. PLAN \$15858, RECORDED JR.Y 18, 2002, TITLED: "ANNE & CHARLES ROTONDA, LOT 34 & 33, MAP 102, CEDAN & RIVER STREETS, NOPORTON NN, PROPERTY SURVEY," PREPARED ST: BOW BLLS LAND MANAGEMENT, LOND SURVEYORS, PLANNERS & BOUNDARY CONSULTANTS, BOW NN., DATED: 6/21/2002, SCALE: 1°=20".

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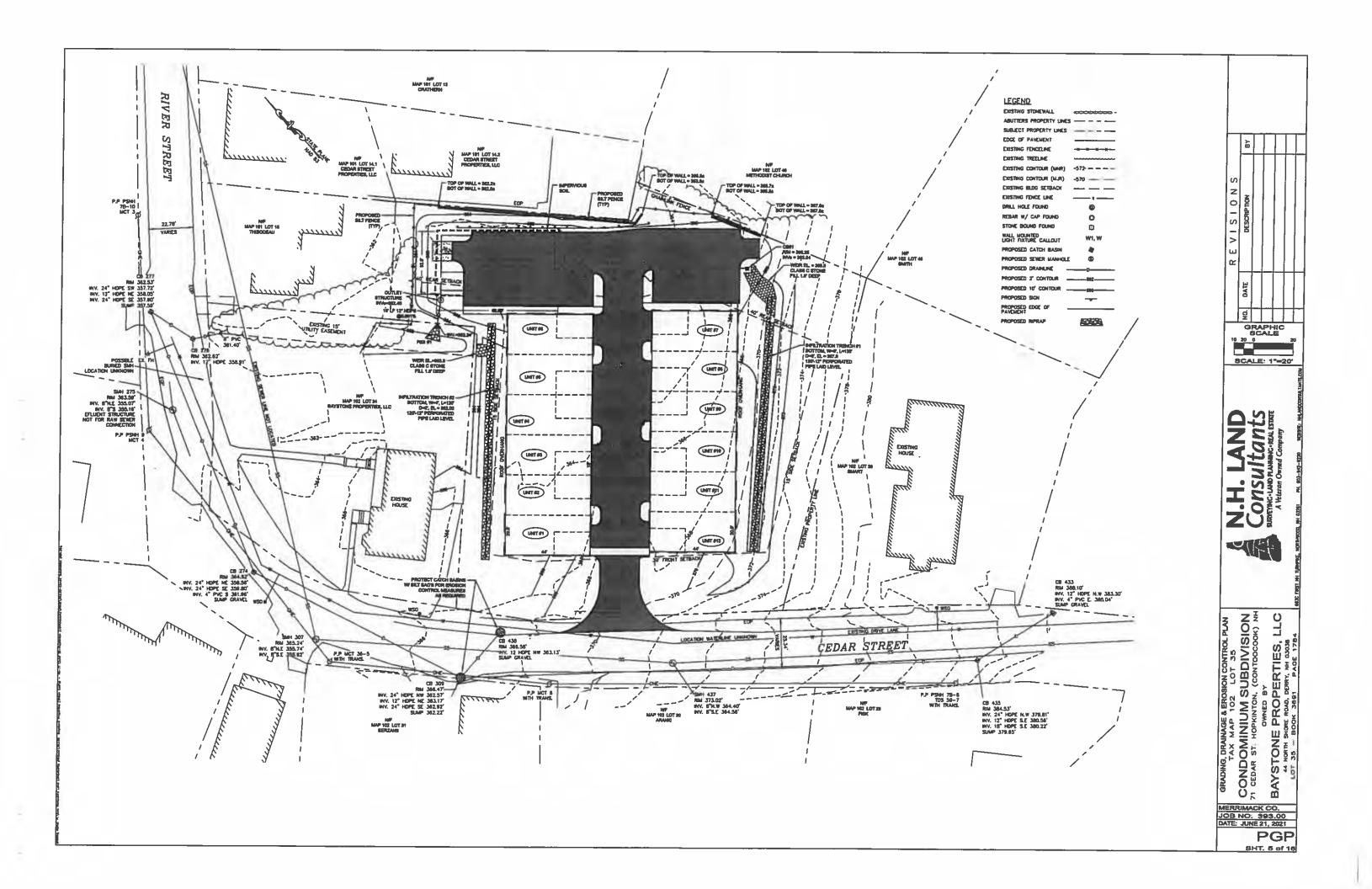
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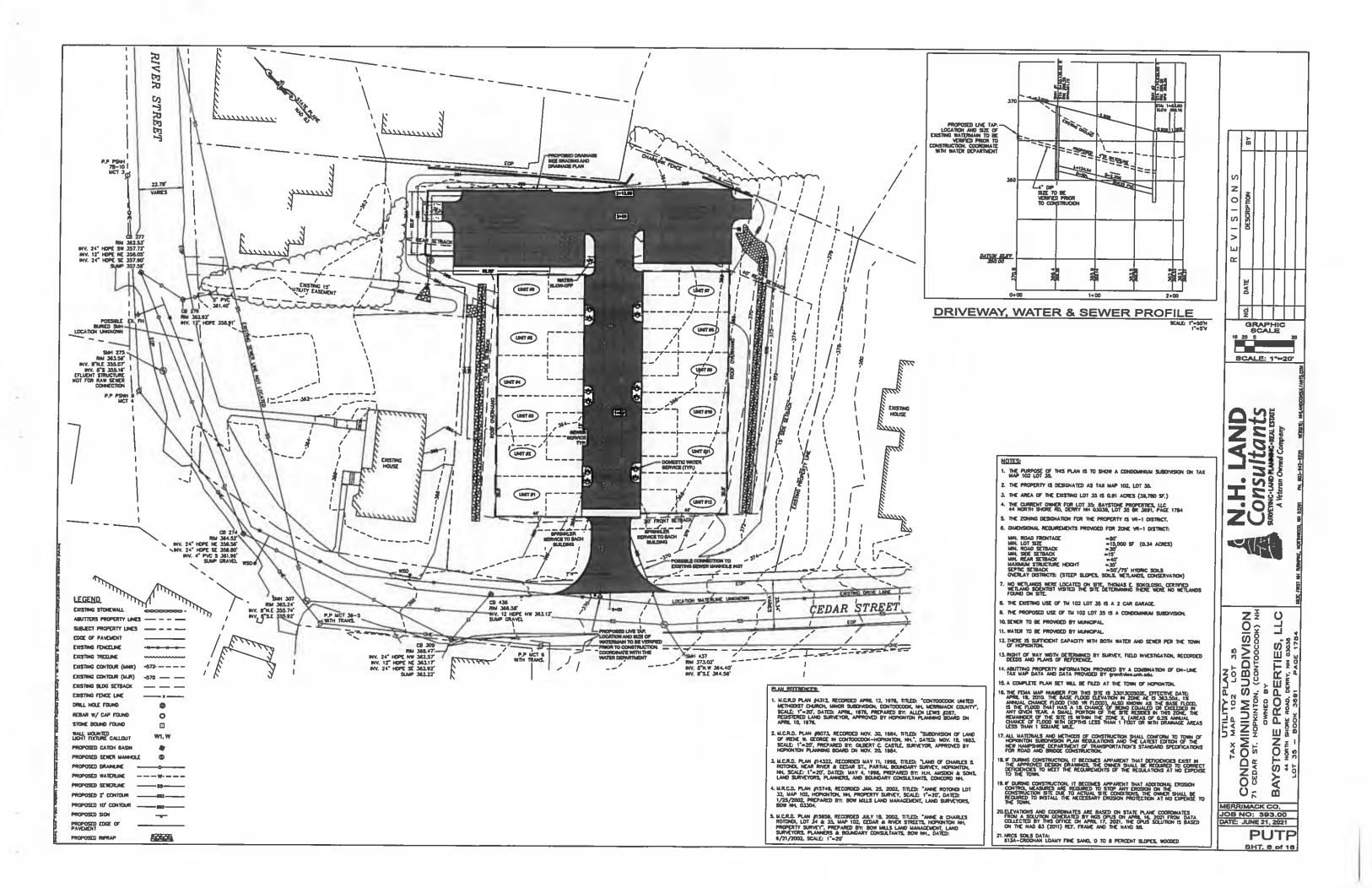
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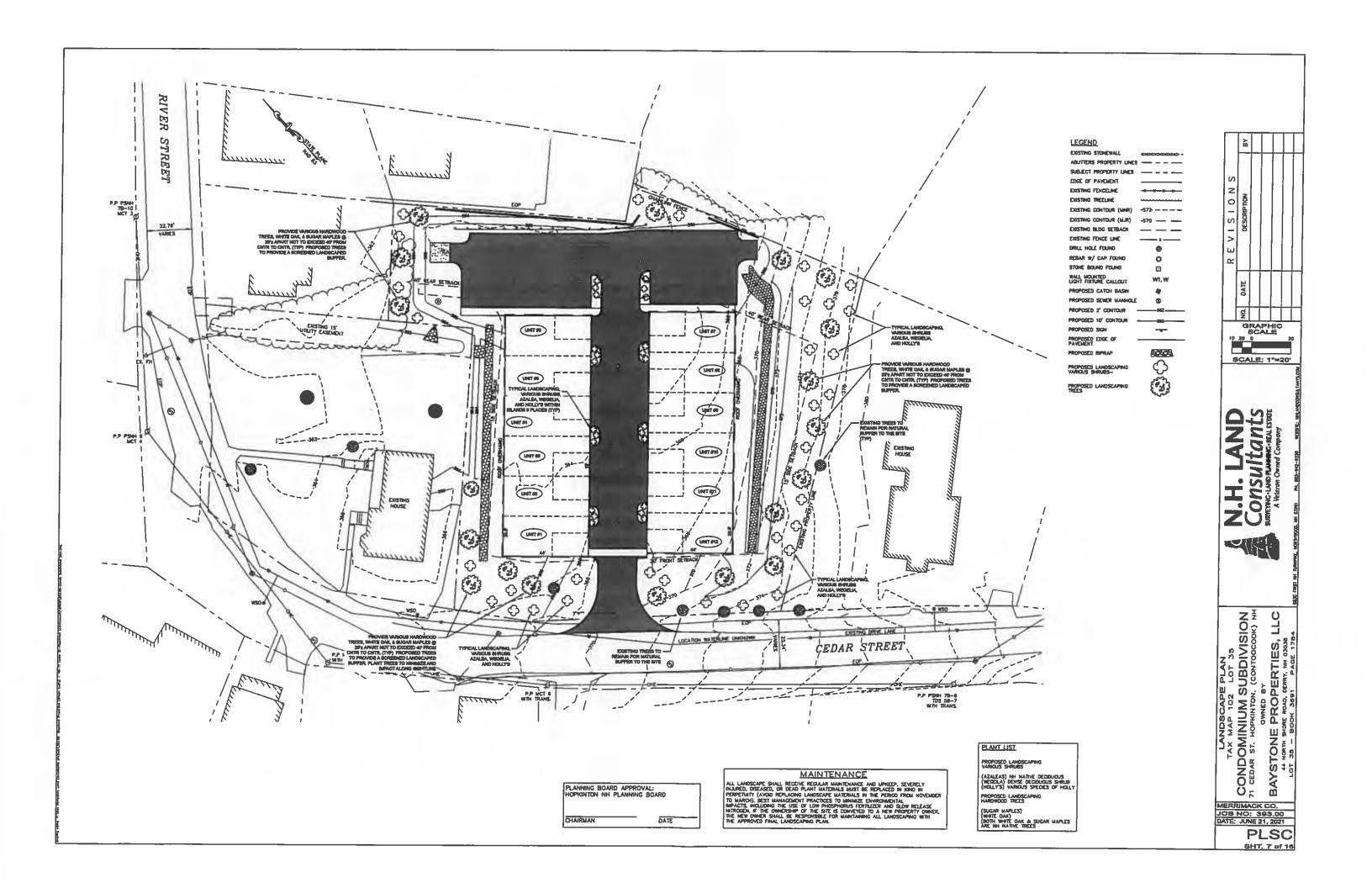
PARKING & CIRCULATION PLAN
TAX MAP 102 LOT 35
CONDOMINIUM SUBDIVISION
OWNED BY
OWNED

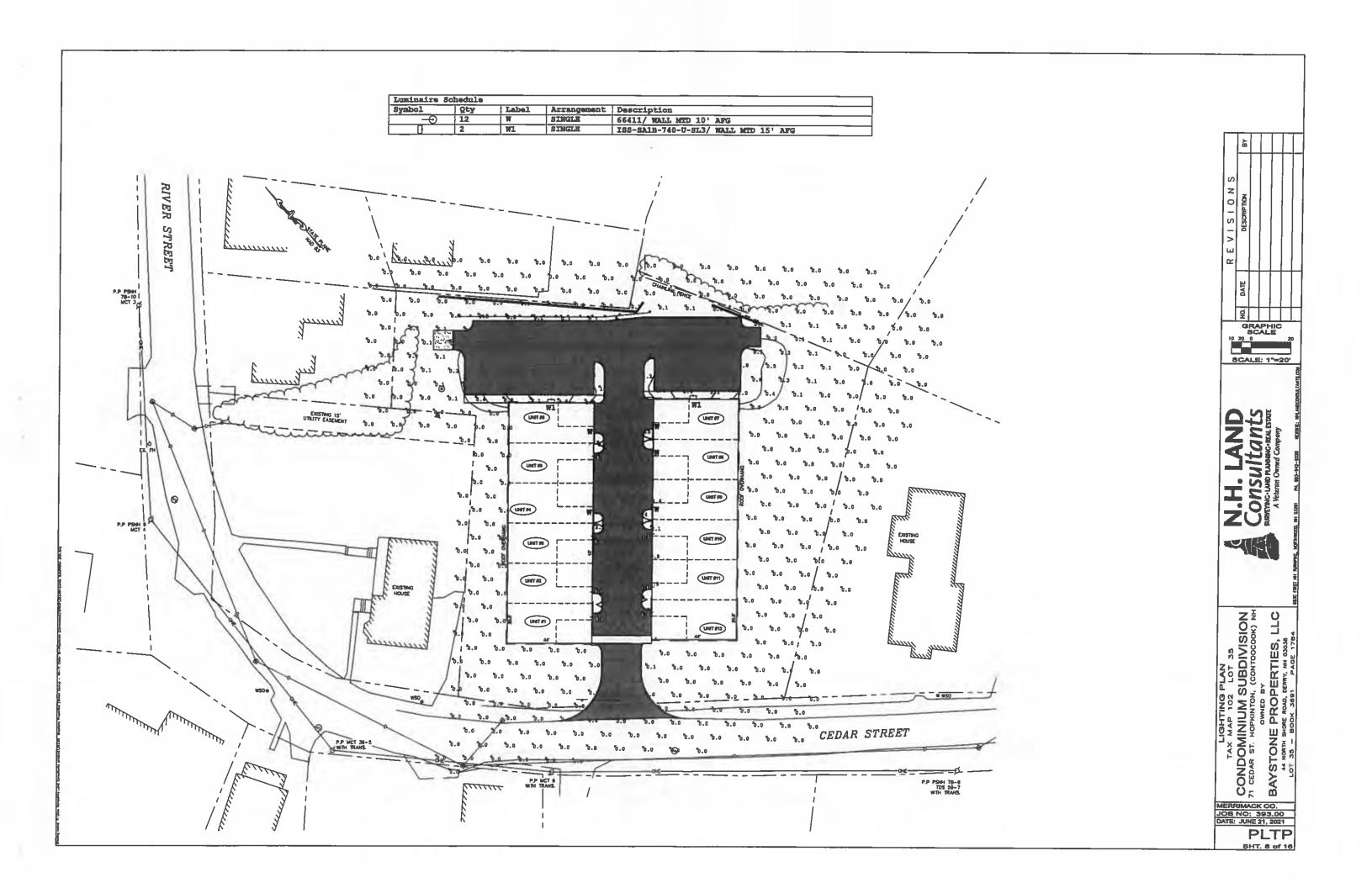
MERRIMACK CO. JOB NO: 393,00 DATE: JUNE 21, 2021

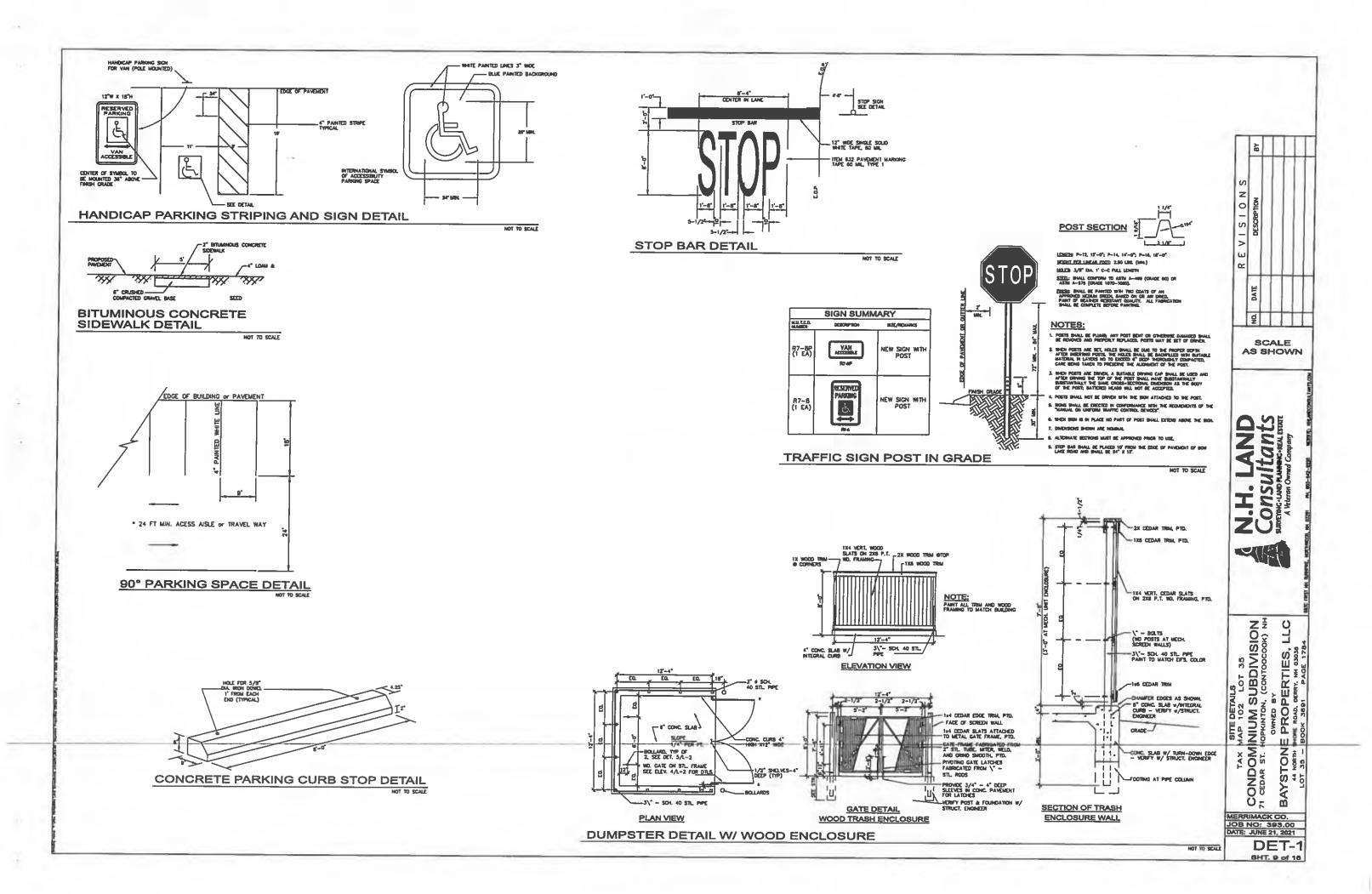
PCP SHT. 4 of 16











#### MANHOLE TESTING PER NINDES Env-Wg. 704.17

- THE MANHOLE VACUUM TEST SHALL IN ACCORDANCE WITH ASTM C1244 AND CONFORM TO THE FOLLOWING:
- THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES NO; AND LEMBRAIN ACCEPTABLE TEST HOLD TIME FOR A 1-INCH HG PRESSURE DROP TO 9 INCHES NO SHALL BE:

  A. NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP IN DEPTH.

  B. NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP INCEPTH. NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP; AND C. NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP;
- THE MANHOLE SHALL BE REPARED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED ABOVE. (2)
- FOLLOWING COMPLETION OF THE LEAKAGE TEST, THE FRAME AND COVER SHALL BE PLACED ON THE TOP OF THE MANNOLE OR SOME OTHER MEANS USED TO PREVENT ACCIDENTAL ENTRY BY LINALTHORIZED PERSONS, CHILDREN, OR AMBIALS, LINTL. THE CONTRACTOR IS READY TO MAKE FINAL ADJUSTMENT TO GRADE. (3) MINIMUM SIZE PIPE FOR HOUSE SERVICE SHALL BE SIX INCHES

#### PIEE AND JOINT MATERIALS

#### A. PLASTIC PIPE:

- PVC SEWER PIPE AND FITTINGS SHALL CONFORM TO ASTM D2412 (SDR 35 MINIMUM). METHODS OF SHEPPING AND STORAGE ON SITE SHALL BE SUCH AS TO AVOID HALPY TO THE PIPE. DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- ALL FITTINGS SHALL BE INJECTION MOLDED FITTINGS, FABRICATED FITTINGS ARE NOT ALLOWED EXCEPT AS PERMITTED BY THE TOWN ENGINEER.
- JOINTS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL COMPONING TO ASTM 03212. MANUFACTURER'S INSTRUCTIONS FOR MISTALLATION SHALL BE FOLLOWED. SOLVENT CEMENT JOINTS SHALL NOT BE PERMITTED.

#### DUCTLE IRON PIPE:

ABJUST TO GRADE WITH BRICK OR PRECAST CONCRETE RINGS HAXDHO-12" ABJUSTMENT

DUCTLE IRON PIPE SHALL CONFORM TO AWAR C151/A21.50 & A21.51.
PIPE SHALL HAVE CITIER THE RUBBER-RING TYPE, PUSH-ON JOINT,
OR STANDARD MECHANICAL JOINT.

FORCE MAIN HOPE FORCE MAIN SENER PIPE SHALL CONFORM WITH ASTM D3033. PVC FORCE MAIN PIPE SHALL CONFORM WITH ASTM D2241 OR ASTM D1785. FORCE MAIN QLEANOUT VALVES AND ITTIMOS STALL BE WISTALLED M MAINQLES MEETING THE REQUIREDEDTS OF DIV-MO

APPREIVED PREFURIED BITLIMASTIC SEALANT SEE NOTE

STAPLESS STEEL-

PIPE

OR EDUALS

<u>PLAN</u>

RITUMASTIC

FACE DE

FILL
V/HORTAR
HORTARTYPE I/II
PORTLAND
CEMENT

#### CRAVITY SEVER PIPE TESTING, PER Env-Wo704.06

- LOW-PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH A. ASTM F1417 "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES LISING
- ACCEPTANCE OF PLASTIC OF STATES OF STATES OF STATES OF STATES OF STALLED SCHEP PIPE" AR TESTING OF INSTALLED SCHEP PIPE"
- ALL NEW CRAVITY SEWERS SHALL BE CLEANED AND VISUALLY TO WSPECTED USING A LAMP TEST AND BY INTRODUCING WATER TO CETERLANE THAT THERE IS NO STAUDING WATER IN THE SEWER AND TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR USE. (3)
  - ALL PLASTIC SEWER PIPE SHALL VISUALLY INSPECTED AND DEFLECTION TESTED NOT LESS THAN 30 DAYS NOR MORE THAN 90 DAYS FOLLOWING THE INSTALLATION.
- THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXBLE SENER PIPE SHALL BE 5 PERCENT OF AVERACE WISDE DIAMETER A RIGID BALL OR MANDEDE WITH A DUMBETER OF AT LEAST 95% OF THE AVERACE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEWICES.

CLEAR OPENING INCLUDING FRAME AND COVER 31'

FRAME TO BE SET IN BED OF HERTAR

-ECCENTRIC CONC

\_5" IF REINFORCED

P. NCDEDING CEEE NOTE 50

PPE

PIPE

FOR JOINTING

MOTE: INVERT AND SHELF TO BE PLACED AFTER LEAKAGE TEST

5 MIN.

PIPE

BASE THICKNESS TO BE

FULL VALL THICKNESS AND
MOMELTING TO A PRINT 6"
ARROVE THE PIPE CRIMNI

SANITARY SEVER MANHULE

NUT TO SCALE

TOP OF SHELF SHALL BE I' ABOVE CROWN OF HIGHEST PIPE.

HITE: SHALL BE TAKEN TO DISSURE THAT THE BRICK DOVERT IS A SHOOTH CONTINUATION OF THE SEVER DOVERT.

INVERT BRICKS SHALL BE LAID ON EDGE.

BITLMINELIS

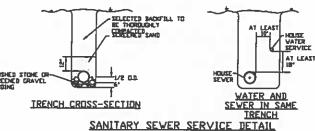
4IP MIN

TYPICAL SECTION

HORTAR- TYPE 1/11 PORTLAND CENENT

FORCE MAINS SHALL BE TESTED IN ACCORDANCE WITH SECTION 5 OF AWWA CROO "INSTALLATION OF CAST IRON WATER MAINS AND THEIR APPURTENANCES", STANDARD IN EFFECT WHEN THE TEST IS CONDUCTED, AT A PRESSINE EQUAL TO THE GREATER OF 150 PERCENT OF THE DESIGN OPERATING TOTAL DYNAMIC HEAD OR AT LEAST 100 PSI.

# 3'4 TERRET DESCRYATION TEE AND-PLUG TO BE REPLACED VITM SEVER CLEAN-OUT AT TIME OF SERVICE COMECTION SEE NOTE 4) VYE (SEE HOTES... CLEAN OUT STREET SEVER



NOT TO SCALE

#### SEVER MANHOLE NOTES:

ALTER THANGELLE, CULLED:

1. IT IS THE INTERVIEW THAT THE AMARCLE, INCLUDING ALL COMPONENT
PARTS, HAVE ABGUATE SPACE, STRENGTH AND LEAGHDIF GUALTIES
CONSIDERED INCESSANT FOR THE INTERODE SERVICE REQUIREDWING AND
COMPILIZATIONS SHALL BE AS SHOWN ON THE DRAWING MAN-GUES MAY BE
AN ASSEMBLY OF PRECAST SECTIONS, WITH STELL REPUTECOPOINT, WITH
ABGUATE JUNITING, OR CONCRETE CAST MEMOLITHERALLY IN PLACE WITH
REPUTECOPOINT, IN ANY APPROVED MAN-GUE, THE COMPLETE STRETURE
SHALL BE OF SIZEN MATERIAL AND BUALTITY AS TO WITHSTAWN LEARNS OF BE
THESE CHARLES WITHOUT FAILURE AND PREVIOUS LEARNES OF BE
THESE CHARLES OF THE STRETURE, A PERIOD COMERALLY IN COCCESS OF BY
FOR THE LIFE OF THE STRETURE, A PERIOD COMERALLY IN COCCESS OF BY
VEARS IS TO BE UNDESTREDED BY HOTH CASES, MAN-GUE, STRUCTURES SHALL
HAVE A LIFE DE DECESS OF BY 1983.

REFERENCE: "STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWERAGE AND WASTE WATER THEATMONE FACILITIES", DEPT OF DAVIRONMENTAL SERVICES.

E-PRECAST CONCRETE MANGLES SMALL CONFORM WITH ASTN C478 PER DAV-VO 70-LIS GAKED BARRELS AND CODE SECTIONS SMALL BE REDATREED CONCRET PER E-M-VO 70-LIKEAN PRECAST CONCRETE BARREL SECTIONS, CODES AND BASES SMALL COMPON TO ASTN C478. ALL PRECAST SECTIONS AND BASES SMALL HAVE THE BATE OF MANAFACTURER AND THE NAME TRADEDIARS OF THE MANAFACTURER DAPRESSED OR DIRECTION SMALL BY THE STREET OF THE MANAFACTURER DATE SECTIONS SMALL BE ROBELITHED TO A POINT AT LEAST 6" ABOVE THE DROWN OF INCOMING PIPE PER E-M-VQ 70418(4).

3. ALL SEVERS, MANGELES AND FORCEMAINS SMALL BE TESTED FOR VATER TIGHTHESS BY USE OF EITHER VATER OR LOW PRESSURE ARE TESTS. LOW PRESSURE ARE TESTS SMALL CONTINUED TO ASTM CRED. SERVICES TO BE TESTED AT SAME TIPE AS MAINS PRIOR TO BUILDING CONNECTION.

4. DAVERTS AND SHELVES HAMBELES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE SIZE OF FIFE AND FLOW. AT CHANCES IN BIREFIELD, THE INVERTS SHALL BE LAID BUT IN GLAVES OF THE LONGEST RADBUS POSSIBLE TAMBERT TO THE CONFOR INC. OF THE SEVER PIPEL SHELVES SHALL BE CONSTRUCTED TO THE CLOVING THE HORSEST PIPE CRIPM AND SLIPE TO BRAIN TOWARD THE FLOWING THEOLOGY CHANGL. UNDERLATENT OF BRICK HASDING, BY AND SHELF SHALL CONSIST OF BRICK HASDING, BY AND SHELF SHALL CONSIST OF BRICK HASDING, BY AND SHELF SHALL CONFIDENT WITH ASTIN CIR PLAY CHANGE TO SHALE FOR COMMENTATION OF THE SHALL CONFIDENT WITH ASTIN CIR POR DEVILOR OF THE SHALL SHADOW SHALL CONFIDENT WITH ASTIN CIR POR DEVILOR OF THE SHALL SHADOW SHALL CONFIDENT WITH ASTIN CIR POR DEVILOR OF THE SHALL SHADOW OF THE DAY OF THE SHALL SHADOW OF THE POR SHALL CONFIDENT WITH ASTIN CIR POR DAY OF THE SHALL SHADOW OF THE PORT OF THE SHALL CONFIDENT WITH ASTIN CIR POR DAY OF THE SHALL CONFIDENT WITH SHALL CONFIDENT OF THE DAY OF THE SHALL SHAPPED OF THE DAY OF THE SHALL SHAPPED OF THE DAY OF THE SHALL CONFIDENT WITH SHALL CONFIDENT OF THE SHALL CONFIDENT WITH SHALL CONFIDENT OF THE SHALL CONFIDENT WITH SHALL CONFIDENT OF THE SHALL CONFIDENT WITH SHAPPED THE DAY OF THE DA

5. BEDDINGSCREENES CRUSHED STONE FREE FROM CLAY, LOAM, DRGANIC MATTER AND MEETING ASTM COD ATTER AND MEETING ASTM CEST

1002 PASSING 1 DON SCREEN

902 PASSING 3/4 DOCH SCREEN

903 PASSING 3/4 DOCH SCREEN

904 PASSING 6/8 DOCH SCREEN

WHERE CREEKED BY THE EMBREER TO STABLIZE THE BASE, SCREENED

GRAVEL OR LS INCH CRUSHED STIME SHALL BE LESS.

6. FLEXUBLE JOINT: A FLEXUBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES FROM MANAGLE JOINTS: RCP CI PIPE - ALL SIZES - WITHIN 48"
PVC GREATER THAN 15" - WITHIN 60"

7. SHALLOV MANDLE IN LIEU OF A COME SECTION, VHEN MANDLE DEFIN IS LESS THAN 6 FEET, A REDEFORCE CONCRETE SLAB COVER MY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING M-ED LIDARS.

B. HORIZONTAL JOINTS BETVEEN SECTIONS OF PRECAST CONCRETE BARRILS SMALL BE OF CUTRIAMPING TYPE, VHICH SHALL BEPOON FOR VATER TIGHTHESS UPON AN ELASTONERIE OR MASTIE-LINE SEALANT,

9. PIPE TO HAMME JOINTS SHALL BE CLASTONCHE, RUBBER SLEEVE WITH WATERTIGHT JOINTS AT THE MANGLE OPENING AND DEPOING SURFACES, CAST DATO THE VALL OR SECRED WITH STANLESS STEEL CLAMPE CLASTICHERS CASH DATO CAST. IN MANGLE DEPOING WITH SEAL FORCE DO THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING AND MON-SHEDM CREATE JOINTS WHERE WATERTIGHT ENDING NOT THE RING AND MON-SHEDM CREATED JOINTS WHERE WATERTIGHT ENDING NOT THE MANGLE AND PIPE CAN BE DISTANCE.

IG FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FOLL AT LEAST 75 X OF THE JOINT CAVITY APPROVED BITUMASTIC SEALANTS

TUMASTEE SEALANTS
RAM - MEX.
REMT SEAL NO. 2 BUILDE
RELL
ALE DESCETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE
VITH MANUFACTURERS VRITTEN INSTRUCTIONS.

IL MORTAR SHALL COMFORM WITH ENV-WQ 704.13 MORTAR SHALL BE TYPE IZII PORTLAND CENENT

12. UNLESS DIMERVISE NOTED ALL GRANLLAR MATERIAL SHALL BE PLACED IN 12º LIFTS AND COMPACTED TO 95% OF THE MODIFIED PROCESS TEST. 11. STEPS ARE NOT ALLOWED

# SEVER TRENCH MITTES

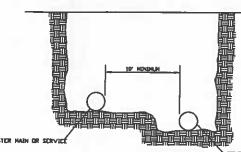
1. DRIERED EXCAVATION OF EMBLITABLE MATERIAL, BELDY GRADE. METALL WITH BEDDING MATERIAL. SEE ALSO MOTE 7. BEDDING FOR EVY-VG7843(G) SAND FILL FREE FROM CLAY, LIDHA, DRIGHNIC MATTER AND METING ASTM CES-GO STONE SIZE MG S.

100X PASSING 90-100X PASSING 20- 35X PASSING 0 -10X PASSING 0 - 5X PASSING 1 INCH SCREEN 3/4 INCH SCREEN 3/8 INCH SCREEN 6 4 SIEVE 6 8 SIEVE WHERE CREEKED BY THE ENGINEER TO STABLIZE THE TRENCH BASE, GRADED CRUSHED STONE 1/R DICH TO 1-1/R DICH SHALL BE USED.

E. SAND BLANCT. Env-No704.11(a) SAND SMAL CONSIST OF DERIT MATURAL SAND CONFERENCE TO THE ASTM STANDARD SPECIFICATIONS FOR CONCERTE OF SHED AGGREGATES, DESIGNATION COST AS FOLIOUS PASSING 378 DICH SCRICK PASSING 95-1002 PASSING 94 SIEVE 96-1022 PASSING 98 SIEVE 916 SIEVE 916

FINENCES HODULUS

3) FILTER FABRIC SHALL BE INSTALLED ABOVE PIPE - MIRAFI 140N OR EQUAL



#### SUITABLE MATERIAL SEE SUITABLE NATERIAL LDEATABLE WARNING LICEATABLE VARNING TAPE VIDID SHEETING r-er r-er BLANCET 12° 1/2 00 1/2 m E" HIR IN EARTH 6" MIN IN EARTH SEE NOTE L CROSS\_COUNTRY CROSS COUNTRY EARTH CONSTRUCTION WITH SHEETING EARTH CONSTRUCTION

SAME BLANCES-

### TYPICAL SANITARY SEVER TRENCH DETAIL

NOT TO SCALE A SUITABLE MATERIAL TREMEN BACCOTEL MATERIAL SHALL CONFIDEN WITH ENVEYOR FAMIL DA. BH REARS, READ SHOULDES, WALK-VAR'S AND TRAVILLE WAYS, SUITABLE MATERIAL FOR TREMEN BACKFEL SHALL BE THE MATERIAL MATERIAL EXCLUSES DY COMPATION, BUT SHALL EXCLUSE DERIES, PIECES OF PAYDERN, BESCHAPER BUTTER, TOP SON, ALL VET DE SUF'S MUCK, PEAT OF CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL RECURS DAYS SENDED SON AND ALL CANADAD LEDGE BROWNERS OF ANY MATERIAL, VAICH, AS SECTIONOPED BY MATERIAL, VEL MET PROVIDED SUFFICIENT SUPPORT OF MANUALNI VEL MET PROVIDED SUFFICIENT SUPPORT CONSISTENCY.

DISCRISS-CERNITY CONSTRUCTION, SUITABLE NATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEEN HAVE PERMIT THE LESS OF TOP SHILL, LOW, MICH. BY PART, BY WE IS SATISFIED THAT THE COMPLETE CONSTRUCTION VALL BE DATBELLY STABLE AND PROVIDED THAT EAST ACCESS TO THE SEVER FOR MAINTOWNER AND POSSIBLY RECONSTRUCTION, WHEN MICESSARY VALL BE PRESCRIVED.

FOR EXCAVATION IN LEGG. EXCAVATION SHALL EXTENDED AT LEAST LEFT SELLOY THE BOTTOM OF THE SEVER PIPE PER ENV-VQ 7044] GA.

S. MASE COREST, IF ORDINED BY THE DISCINETE, SHALL HEET THE REQUIREMENTS OF DIVISION 200 OF THE LATEST ENTEN OF THE STANDARD SPECIFICATIONS FOR READ AND BRIDGE CONSTRUCTION OF THE STATE OF NEV HAMPSURE, DEPARTMENT OF PUBLIC VERICS AND MICHAELS.

6. VOID SHETING, IF REQUIRED, WHERE SHEETING IS PLACES ALDINGSIDE THE PIPE AND EXTENDS BELDWING-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN I FOOT ABOVE THE TOP THE PIPE. WHERE SHEETING IS DEPORTED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELDWINGS GRADE, BUT NOT LESS THAN I FOOT ABOVE THE TOP OF THE PIPE.

COVER PLATE

COVER SECTION

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7. V \* MAXDEM ALIDVABLE TRENCH VIETH TO A PLAME IS INDICES ABOVE THE PIPE. FIR PIPES IS SHORES THAN ADMINISTRATE PROFILE FOR MINES THAN IS MONES ADMINISTRATED AND ADMINISTRATED AND ADMINISTRATED AND ADMINISTRATED PIPE OF ADMINISTRATE PIPE OF ADMINISTRATED AND PIPE OF ADMINISTRATED AND FOR ENDORS DECAYATION BELLIN GRABE.

-SURFACE COURSE AS SPECIFIED

LDCATABLE WARNING TAPE

1/2 DD FAMRIC

KIN ST X

SUITABLE MATERIAL

1"-0"

PORTETION OF METERS AND A MALE MALE

FOR CONSTRUCTION IN ROADS.

ROAD SHOULDER B. FOR PAYENT BEPTH AND MAX PAYENT BEPTH WALK-VAYS.

GV 1801 4 0.0.

B. FOR CROSS COUNTRY CONSTRUCTION, BACKFOLL OF FILL SHALL BE HERINGED TO A HEIGHT OF 6 DICHES ABOVE THE DRIGINAL GROUND SURFACE.

THE DESIGNAL CHEMNO SURFACE.

9. NEV MAMPSHIES REPARTEMENT OF DEVERBMENTAL SERVICES DESIGN STANDARDS REQUIRE IN FIT. SERVICES DESIGN STANDARDS REQUIRE IN FIT. SERVICED REPORT OF DEVELOPMENT OF SERVICE OF SERVIC

A SEVER PIPE SHALL BE CLASS SE DUCTILE IRON PIPE.

A SCORPPE SHALL BE CHASSES DECIDE HERN PIPE.

B. LEINTS DALL BE PRESSURE TESTED WITH SERIO LEMARE AT 25 POLICIES FOR SCHARE BOATFOR GRAVITY SIVERS AND STATE THESE WORKING PRESSURE FOR FORCE MADE. 1/2 THESE WORKING THE WORLD AND STATE LIBES PROBES THEY CROSS AS PERFORMERS AND STATE LIBES ERRORS THEY CROSS AS PERFORMERS AN EXCELLE AND THE WATER HAIN SHALL SHALL CROSS AT LEAST IF DIOCES ANDWE THE SEVER. FURTHER THE SEVER LIBORS SHALL BE LICATED AT LEAST 9 FEET HORIZONTALLY FROM THE WATERWAN SEVER JOINTS SHALL BE PRESSURE TESTED WITH ZERO LEMARE AT 25 POLICIES FOR FORCE OF THE WATERWAN SEVERS, AND AT 1-1/2 TIMES VORKING PRESSURE FOR FORCE MADE.

11. ALL SEVERS AT 8 PERCENT OR GREATER SLOPE SHALL HAVE TROOGS BAIS INSTALLED.

SEWER MANHOLE COVER NOTES:

I. CONTACT SURFACES OF COVERS AND FRANCES SHALL BE
MICHIED AT THE FORMORY TO PREVENT ROCKING OF COVERS
IN ANY ORDERVATATION.

3. WERE MANGLE TOPS ARE TO BE FLOGDED BY VATER THEY VILL HAVE A VATER TIGHT COVER.

4. FRAMES AND COVERS MANGLE FRAMES AND COVERS SHALL BE OF HEAVY BUTY DESIGN AND PROVIDE A 30 INCH CLEAR OPENING A 3 DICH CHINDRY HEIGHT VORE "SEVER" FOR SEVERS OF "BRADE FOR BRANES SHALL BE PLANEY COST WITH THE CENTER OF EACH COVER HAVEDLE COVERS SHALL HAVE NON-PODETRATION PICK MELES.

S. FRANCS AND COVERS SHALL BE MEEHAN MODEL R-1975 OR APPROVED EDUAL.

2. CASTINGS SHALL BE EQUAL TO CLASS 30, CONFORMING TO ASTH A48.

IS. UPLESS CITHERVISE NOTED ALL GRANDLAR MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO YES OF THE MODIFIED PROCEDURE TEST.



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SCALE

AS SHOWN

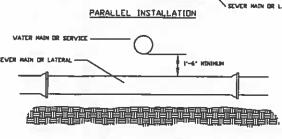
Consultants
SURFING-LIAD PLAND
A VEETER OWNER COMPANY

O 7 C 178 RTIES

DETAILS
12 LOT 35
SUBDIVISION
N. (CONTOCCOOK) NH SEWER DETAIL
TAX MAP 102 LO
SONDOMINIUM SUE
TOEDAR ST. HOPKINTON, (CC
OWNED BY
TAYSTONE PROPER
44 MORTH SHORE ROAD, DERRY,
LOT 35 - BOOK 3681 P

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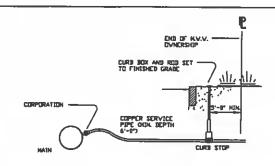


MAIN CRUSSINGS

# WATER MAIN / SEWER MAIN SEPARATION

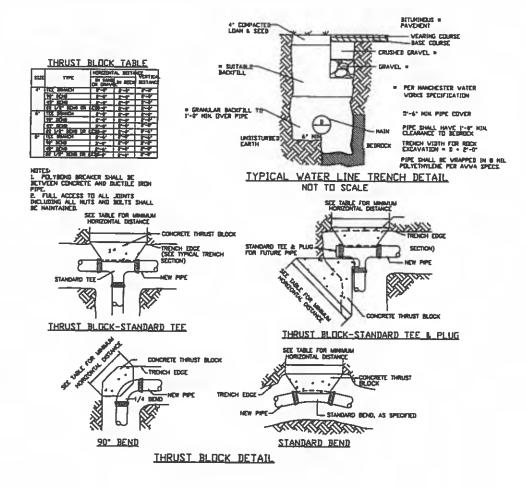


& CASTINGS SHALL CONFORM VITH ASTN A48/48M PER DIV-VQ 784.13 CACED SEWER MANHOLE COVER NOT TO SCALE



CORPORATIONS SHALL BE TAPPED BIRECTLY TO THE HAIN DI SIZES UP TO 1° II CINCLUSIVES. COMPORATIONS 1-1/2" AND GREATER SHALL BE INSTALLED LISTING A TAPPING SADDLE AND SHELL CUTTER

TYPICAL SERVICE CONNECTION



SCALE AS SHOWN

Consultants

CONDOMINIUM SUBDIVISION

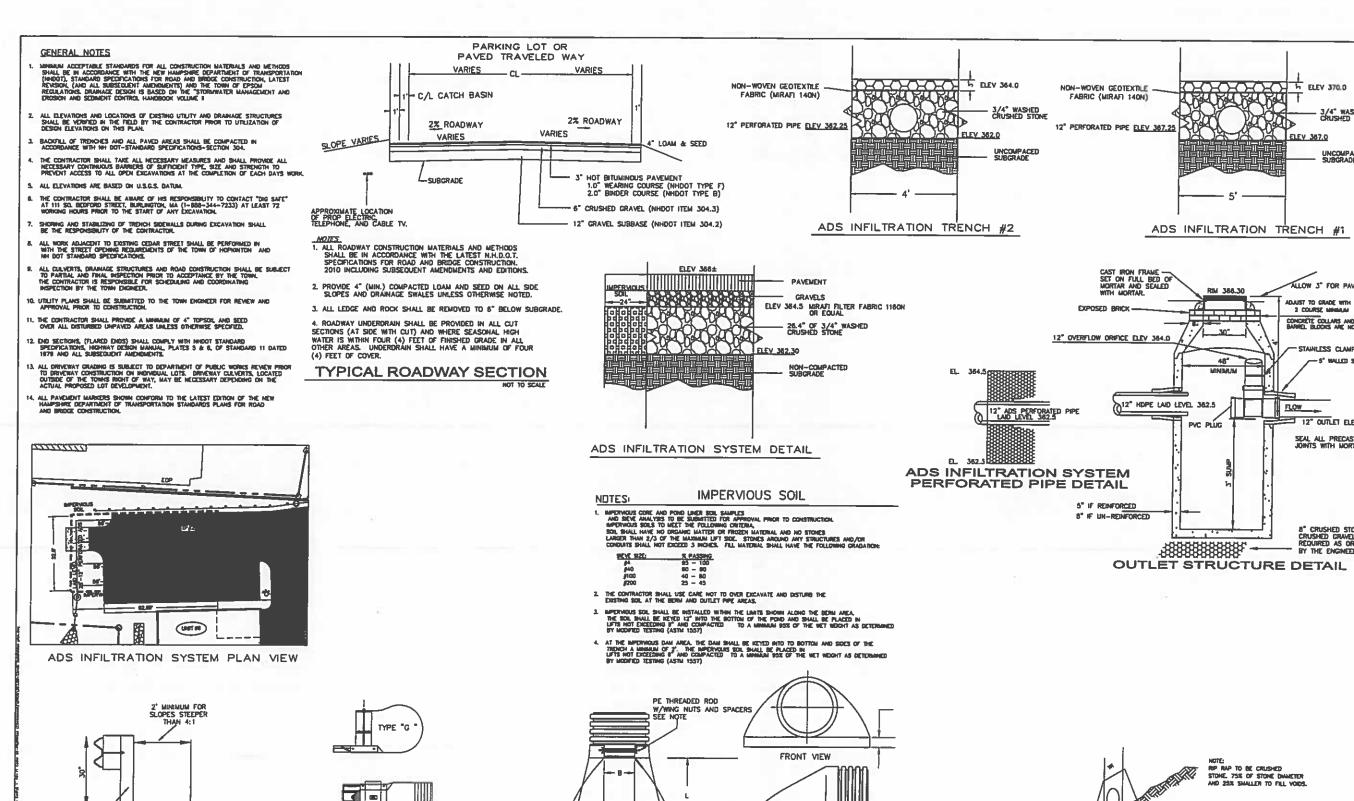
7. CEDAR ST. HOPKINTON, (CONTOCCOCK) NH
OWNED BY
OBAYSTONE PROPERTIES, LLC

44 NORTH SHORE RUAD, DERRY, MH 03038

A NORTH SHORE RUAD, DERRY, MH 03038

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TOP VIEW

NOTE:

PART # PIPE SIZE A B (MAX) H

1210NP 12 IN 6.50 IN 10.00 IN 6.50 IN 25.00 IN

1510NP 15 IN 6.50 IN 10.00 IN 6.50 IN 25.00 IN

1810NP 18 IN 7.50 IN 15.00 IN 6.50 IN 32.00 IN

| 2410NP | 24 IN | 7.50 IN | 18.00 IN | 8.50 IN | 36.00 IN | 3015NP | 30 IN | 7.50 IN | 12.00 IN | 8.60 IN | 58.00 IN | 3615NP | 36 IN | 7.50 IN | 25.00 IN | 8.60 IN | 58.00 IN |

RIGHT SIDE VIEW

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ADVANCED DRAINAGE SYSTEMS, INC.

PE THREADED ROD W/WING NUTS PROVIDED FOR END

TWO (2) THREADED ROOS FOR ASSEMBLE.

SECTIONS 12"-24", 30" & 35" END SECTIONS REQUIRE

-SHOULDER GRADE

JAT FACE OF RAIL

TYPE C END BUFFER

SAMPLE GUARDRAIL INSTALLATION LAYOUT

STEEL POST

12'-6"

RIP RAP TO BE CRUSHED STONE, 75% OF STONE DIAMETER END WIDTH STONE DS0 DEPTH OF STONE- D FES 1

RIP-RAP SPECIFICATIONS

DRAINAGE DETAILS-1
TAX MAP 102 LOT 35
CONDOMINIUM SUBDIVISION
71 CEDAR ST. HOPKINTON, (CONTOOCOOK) NH
OWNED BY
BAYSTONE PROPERTIES, LLC
44 NORTH SHORE ROAD, DERRY, NH 00338
LOT 35 — BOOK 3551 PAGE 1784 SAYSTONE 44 NORTH SHOT LOT 35 - BO ÖF m MERRIMACK CO. JOB NO: 393.00 DATE: JUNE 21, 2021 DET-4

SHT, 12 of 16

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SCALE AS SHOWN

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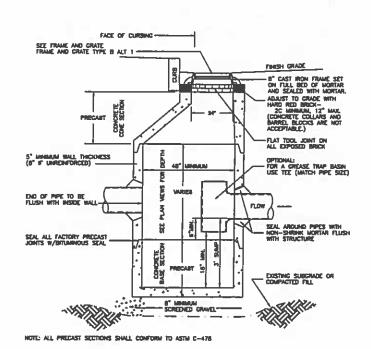
ONS!

STAINLESS CLAMP

12" OUTLET ELEV. 362.4

a" Crushed Stone or Crushed Gravel May be Required as ordered

FLOW



CATCH BASIN WITH HOOD (CB #3)

FLAT TOOL JOINT ON ALL EXPOSED BRICK SEE NOTE 2-SS SEMER BRICK
-BRICKS MAY BE USED FOR CRADE
ADJUSTMENTS.
BRICK / MAX. 12" OF
BRICK DIO OF PIPE TO BE 6" MORAM CRUSHED STONE NOTE:

1. ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478.
CATCH BASIN STRUCTURE SHALL BE CAPABLE OF AASHTO H-20 LOADING WITHOUT FAILURE.

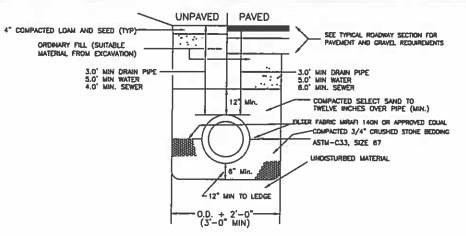
2. USE MOOT TYPE B ALT-1 SICYCLE SAFE IN ALL PAYED AREAS, DITCH GRATES IN ALL SWALES

3. POLYETHYLENE INSERT LINERS ARE TO BE INSTALLED ON ALL NEW CATCH BASINS

**CATCH BASIN** 

SINGLE PIPE SYSTEM

NOT TO SCALE



NOTES :

1. ALL DRAIN PIPE SHALL BE ADS N-12 CORRUGATED PLASTIC PIPE (CPP), HPDE OR APPROVED EQUAL

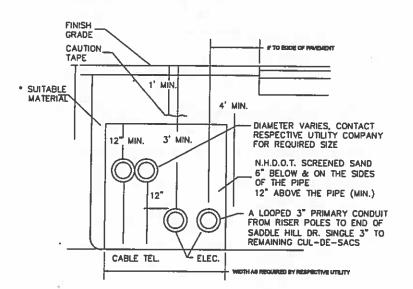
2. SELECT SAND TO 12" ABOVE PIPE SHALL BE AS FOLLOWS: A. 100% PASSING A 1/2 INCH SIEVE B. 13%(MAX) PASSING A NO. 200 SIEVE C. FREE FROM ORGANIC MATERIALS

3. ALL WATER PIPE TO BE CLASS 52 DUCTILE IRON.

4. ALL SEWER TO BE SOR 35 PVC.

#### DRAIN PIPE TRENCH

NOT TO SCALE



SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACK FILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL AND ALL ROCKS OVER SX INCHES IN THE LARGEST DIMENSION, OR ANY MATERIAL, WHICH, AS DETERMINED BY THE TOWN ENGINEERS, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION, SUITABLE MATERIAL SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED.

IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SMALL BE DESCRIBED AS ABOVE, EXCEPT THAT THE TOWN ENGINEERS MAY PERMIT THE USE OF TOP SOIL, LOAM, OR PEAT. IF SATISFIED THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT THE EASY ACCESS TO THE STRUCTURES FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY WILL BE PRESERVED SUITABLE MATERIAL SHALL, BE PLACED IN 12" LIFTS AND THOROUGHLY COMPACTED.

NOTES:

1. UTILITIES SHALL BE INSTALLED ACCORDING TO THE RESPECTIVE UTILITY COMPANY STANDARDS AND SPECIFICATIONS.

2. ALL ABOVE GRADE UTILITIES MUST BE PLACED OUT OF THE R.O.W. AND IN AREAS THAT WILL NOT CONFLICT WITH THE ROADWAY DRAINAGE SYSTEM. PLACEMENT OF TRANSFORMERS CANNOT CONFLICT WITH THE INSTALLATION OF R.O.W. AND PROPERTY CORNER MONUMENTS.

### **UNDERGROUND UTILITIES TRENCH**

NOT TO SCALE

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REVISIONS	DESCRIPTION						
	DATE						
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SCALE AS SHOWN

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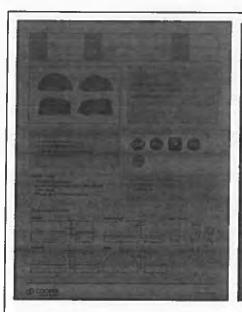
CONDOMINIUM SUBDIVISION

7.1 CEDAR ST. HOPKINTON, (CONTOOCOOK) NH
ONNED BY
O BAYSTONE PROPERTIES, LLC
44 NORTH SHORE ROAD, DERRY, MH 03038

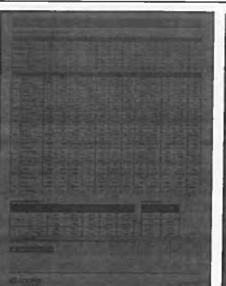
1 OT 35 — BOOK 3691 PAGE 1784 | 88

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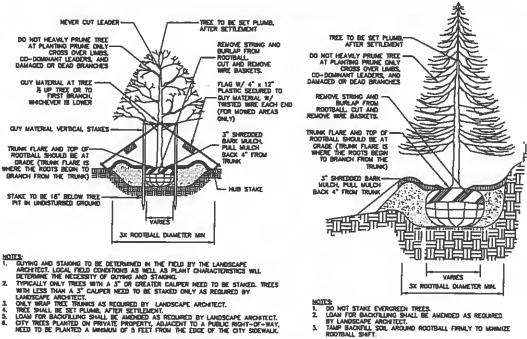








Luminaire Schedule						
Symbol	Qty	Label	Arrangement			
<b>-</b> €	12	W	SINGLE	66411/ WALL MID 10' AFG		
	2	Wl	SINGLE	ISS-SAIB-740-U-SL3/ WALL MID 15' AFG		
				<del></del>		



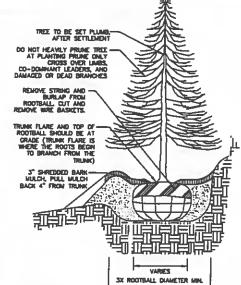
DECIDUOUS TREE PLANTING

#### LANDSCAPING NOTES:

BN = Betulo nigro/HERITAGE RIVER BIRCH @ 8-10' B&B TOTAL = 3

TC = Tsugo Concdensis/CANADIAN HEMLOCK @ 6-7' B&B TOTAL = 19

PR = Pims resinoso/RED PINE @ 7-8' B&B TOTAL = 10



INTES:

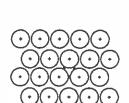
DO NOT STAKE EVERGREEN TREES.

LOAN FOR BACKFELING SHALL BE AMENDED AS REQUIRED

BY LANGSCAPE ARCHITECT.

TAMP BACKFELL SOR, AROUND ROOTBALL FIRMLY TO MINIMIZE
ROOTBALL SHET.

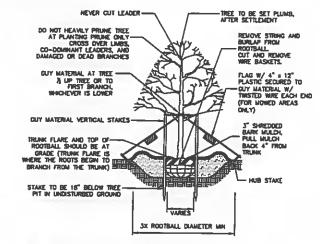
#### EVERGREEN TREE PLANTING



D = DIMENSION OF PLANT SPACING (SHRUB OR GROUNDCOVER AS INDICATED ON PLANS)

12" LOAM BACKFILL (CONTINUOUS THROUGHOUT AREA)

TYPICAL PERENNIAL DETAIL



NOTE:

1. CLYING AND STACING TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT, LOCAL FRELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE THE NECESSITY OF CLYING AND STACING.

1. TYPICALLY ORLY THESE WITH A 5" OR GREATER CALIPER NEED TO BE STACED. TREES WITH LISSS THAN A 5" CALIPER NEED TO BE STACED DRLY AS REQUIRED BY LANDSCAPE ARCHITECT.

2. ONLY WRAP TREE TRUMES AS REQUIRED BY LANDSCAPE ARCHITECT.

3. INCL. SHALL BE SET PLUME, AFTER SETTLEMENT.

5. LOAM FOR BACOFILING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.

8. LITY TREES PLANTED ON PRIVATE PROCEDERY, ASLACENT TO A PUBLIC REQUIRED—WAY, NEED TO BE PLANTED A MINMAM OF 5 FELT FROM THE EDGE OF THE CITY SOURWALK.

### **DECIDUOUS TREE PLANTING DETAIL**

NOT TO SCALE

SHRUB TO BE SET PLIME, AFTER SETTLEMENT TRUNK FLARE AND TOP OF ROOTBALL SHOULD BE AT CRADE (TRUNK FLARE IS WHERE THE ROOTS BEGIN TO BRANCH FROM THE TRUNK) REMOVE STRING AND BURLAP FROM ROOTBALL CUT AND REMOVE WIRE BASKETS. REMOVE CONTAINERSED PLANTS FROM THEIR CONTAINERS. TAMP BACKFILL SOIL AROUND ROOTBALL FRMLY, TO MINIMIZE ROOTBALL SHEFT.

NOTE:
1. DO HOT HEAVILY PRIME SHRUB AT PLANTING, PRIME ONLY CROSSOVER ULBS AND DAMAGED OR DEAD BRANCHES.
2. BACKFILL WITH LOAM, AMEND AS REQUIRED BY LANDSCAPE ARCHITECT, SERVENS & GROUNDCOVER PLANTED ADJACENT TO CITY SOEWALKS NEED TO BE PLACED SO THE PLANTS, AT THER MATURE HEIGHT & WOTH, WILL NOT ENCROACH INTO THE CITY'S SDEWALK.

### TYPICAL SHRUB PLANTING DETAIL

HOT TO SCALE

오 SCALE AS SHOWN

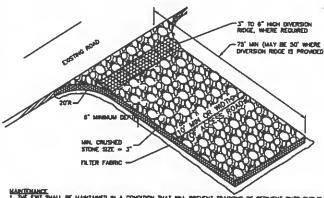
CONSUITANTS
SUMPERIOR CHARGE
A Meteran Company

नाम

LIGHTING / LANDSCAPE DETAILS
TAX MAP 102 LOT 35
CONDOMINIUM SUBDIVISION
TO CEDAR ST. HOPKINTON, (CONTOCCOOK) NH
OWNED BY
OWNED BY
OWNED BY
AND HOME PROPERTIES, LLC
44 HOMEN SHORE ROAD, DETAIL, NH 03038
LOT 35 — BOOK 3681 PAGE 1784

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MANITURANCE.

1. THE DET SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDMENT ONTO PUBLIC ROOTS—OF—BAY, WHO! THE CONTROL PAD SECONES REFFECTIVE, THE STONE SHALL BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL, REGRADED ON SITE, AND STABILIZED. THE ENTRANCE SHALL THEN BE RECONSTRUCTED.

- 2. THE CONTRACTOR SHALL SWEEP THE PAYEMENT AT EXITS WHENEVER SOIL MATERIALS ARE TRACKED ONTO THE ADJACENT PAYEMENT OR TRAVELED WAY,
- WHEN WHEEL WASHING IS REQUIRED, IT SHALL BE CONDUCTED ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS WITO AN APPROVED SEEMENT—TRAPPING DENCE. ALL SEDMENT SHALL BE PREVENTED FROM DITERMIS STORM DRAINS, DITCHES, OR WATERWAYS.

CONSTRUCTION STORPGARMS
4. DRAY CONSTRUCTION TRAFFIC LEAVING THE SITE IS REQUIRED TO USE THE TEMPORARY STABLEDED EST.
CONSIDER PROVIDING A SEPARATE, UMPROTECTED, ENTRANCE FOR TRAFFIC ENTERING THE SITE. THIS WILL
INCREASE THE LEMENTY OF THE STABLED EST BY DISMAKING HEAVY LEAGS ENTERING THE SITE AND
REDUCING THE TOTAL TRAFFIC OVER THE DEVICE.

- THE ENTRANCE SHALL BE MANTAMED IN A CONDITION THAT WILL PREVENT TRACKING OF FLOWING OF SECRECHT ONTO PUBLIC RICHTS-OF-WAY, THIS MAY REQUIRE PERSONS TO DIRESSING WITH ADDITIONAL STOKE AS CONDITIONS DEMAND, AND REPAIR AND/OR MAINTIDIANCE OF ANY MEASURES USED TO TRAP PERSONS TO THE PROPERTY OF THE PERSONS THE PERSONS TO THE PERSONS TO THE PERSONS TO THE PERSONS THE PERSONS TO THE PERSONS T
- 8. STONE FOR A TEMPORARY CONSTRUCTION EIGT SHALL BE 3 INCH STONE, RECLAMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- 7. THE MINIMAN LIDIGITH OF THE PAD SHALL BE 75 FEET, EXCEPT THAT THE LIMINAUM LENGTH MAY BE REDUCTED TO 30 FEET IF A 3-BICH TO 8-BICH HIGH BERM IS RESTALLED AT THE ENTRANCE OF THE PROJECT STE.
- B. THE THOOMESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 8 INCHES.
- 9. THE WORN OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL MOTH OF THE COT OR TO FEET, WHICH EVER IS GREATER.
- 10. GEOTEXTLE FILTER CLOTH SHALL BE PLACED OVER THE ENTINE AREA PRIOR TO PLACING THE STONE.
- 11. ALL SURFACE WAITER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION DET SHALL BE PIPED BENEATH THE DITMANCE IF PIPING IS IMPRACTICAL, A BURN WITH \$1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTRUCTED FOR THE PIPE.

#### TEMPORARY CONSTRUCTION EXIT NOT TO SCALE

#### CONSTRUCTION SEQUENCES:

MITE: - M.L. FRISHIN CONTROLS TO BE INSPECTED WITHOUT AND AFTER EVERY OF RANGAL. MAXIMUM AREA TO BE DISTURBED AT ONE TIME IS IS ACRES.

- PROR TO CONSTRUCTION DISTALL FABRIC SELATION FERCING AS SHOWN ON PLAN
  CONSTRUCT TEMPORARY STABLECTO DOTRINACE, AND DISTALL OTHER APPROPRIET SEDIMENT AND EXISTENCE AND
  CONSTRUCT TEMPORARY SAFELINGS. AND STABLE AND STABLE AREAS.
   MAX DISTING BUREAUS ALL MATERIAL TO BE DISPOSED OF IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REGULATIONS.
- 1. COMPLETE TEMPORARY SERVICE BASHE AT POIN LOCATIONS. BASHS AND SHALES HAST BE STABLIZED PRIOR TO DIRECTING RARGET TO THELL CONSTRUCT BOINES AND SHALES TO DIRECT STORMARIZER TO BASHE. SERVICE BASHES LOCATED WITHIN PROPOSED SPECIMENTON. AREAS ARE TO BE CONSTRUCTED A MINIMAN OF 1" ABOVE THE FINAL BASIN FLOOR ELEVATION.
- AN AREA IS CONSIDERED STARLE F:

  A) BRISE COURSE CONVELS HAVE BEEN RESEALED IN AREAS TO BE PARCE.

  A) BRISE COURSE CONVELS HAVE BEEN RESEALED IN AREAS TO BE PARCE.

  B) A MARIAN OF PEX VOCTATION DEPOYMENT HAS BEEN ESTRAIGHED.

  C) A BRISHAM OF 3' OF NON-DECEMBER MATERIAL SUCH AS STONE, OR REP-RAP HAS BEEN RESTALLED; OR D. FERCISHO CONTROL BLANKERS WAVE BEEN PROPERTY RESEALED.
- S. CUT AND CLEAR ALL VEGETATION AND STUMPS FROM AREAS TO BE DISTURBED FOR THE CONSTRUCTION OF THE
- REMOVE TOPSOR, AND OTHER CACAMIC MATERIALS FROM AREAS TO BE DISTURBED, ALL SUCH TOPSOL REMOVED SHALL BE STEEDER AND MALCHED TOP RATTE ISEE. ALL STOCKPLES SHALL BE SEEDED AND MALCHED TO PROVIDE LOSS DUE TO DISCOUNT, AND DISCREDED HAT FREEDE SELF PICKLE MIGHT DESTRUCTION FORWARDS. AND EXPONENT PROPERTY CASES, OR SHAT DOWN FOR WHITE, THE CONTINUED SHALL LEAVE OR SHATE PROPERTY CASES, OR SHAT DOWN FOR WHITE, THE CONTINUED SHALL LEAVE OR SHATE PROVIDED TO SHALL DEAVE TO SHALL DEAVE THE CONTINUED SHALL DEAVE THE PROPERTY HOW AS IT SHALL DE STRUCTURED WITH RETINANCE PROPERTY.
- CONSTRUCT, DUT, AND FILL SLOPES, ALL CUT AND FILL SLOPES TO BE STARREDD HANDDATELY AFTER CONSTRUCTION, ALL SLOPES CREATER THAN 3:1 TO BE STARREDD WITH ARE HANDING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND CLOSED WITHOU 7:2 FOLDERS OF ADDRESS FINANCIANDS CANDE.
- CONSTRUCT STORM CHARACT, AND OTHER UNDERFORDING UTILITIES, ALL SIMILES TO BE PROTECTED WITH TEMPORARY DISSON CONTRE, MUSICIPES SHOWN, ALL CODES BASIN OPDIBRICS TO BE PROTECTED WITH BLOCK AND GRAWEL, BLUE STEADON TRUTTERS 25 SHOWN, SELENGH THAT'S MAKEN THE SPOLEN BE USED.
- BEDN ROP SCHLIG, SEEDING AND MACHININ AMERICATESY AFTER COMPLETION OF EMBANGERIES, TELEPORARY DISSON CONTINUE, ANY EMISSION COCURRING SHALL BE IMPLIBITED WHERE REQUIRED TO PREVIOUS DISSONORY.
   THESH CRUBING & PRINCE. ALL ROADWAYS AND PARKING LIDTS SHALL BE STANDING TO OF ACHINING & PRINCE.
- 11. ALL PANED AREAS TO BE COMPLETED BY OCTOBER 15. ALL LANDSCOPED AREAS TO BE STABLUZED BY OCTOBER 1540, WITH MAY MALEN AND SETD.
- 12. COMPLETE PERMINENT SEEDING AND MARCHING OF ALL DISTURBED AREAS, ALL TEMPORARY (FIGSION CONTROL MEASURES TO REMAIN IN PLACE UNITL A FULL VESTEATING CONCER INSI BEEN ESTABLISHED ON ALL DISTURBED ANEAS.
- 13. SLT FIXES AND HAT BALE BARRERS TO BE REMOVED DICE THE SITE HAS STABLED IN

- MAINTENANCE RECURREMENTS.

  1. TELEPORARY SEEDING SHALL BE INSPECTED WEDLLY AND AFTER ANY RAINFALL EXCEEDING \$1 INCH IN 24 HOURS ON ACTIVE CONSTRUCTION SITES. TELEPORARY SEEDING SHALL ALSO BE INSPECTED JUST PRIOR TO SCIPTURED 13, TO ASCERTAIN WHETHER ADDITIONAL SEEDING IS RECURRED TO PROVIDE STABILIZATION OVER THE MINITED PERIOD.
- 2. BASED ON INSPECTION, AREAS SHALL BE RESERVED TO ACREVE FULL STABLIZATION OF EXPOSED SOILS. IF IT IS TOO LAKE IN THE PLANTING SEASON TO APPLY ADDITIONAL SEED, THEN OTHER TEMPORARY STABLIZATION MEASURES SHALL BE IMPLEMENTED.
- 3. AT A MINIMUM, BOX OF THE SOIL SURFACE SHALL BE COVERED BY VEGETATION
- 4. IF ANY EVOCINCE OF EROSON OR SEDIMENTATION IS APPARENT, REPARTS SHALL BE MADE AND AREAS SHALL BE RESECTED, WITH OTHER TEMPORARY MEASURES (E.G., MALCH) USED TO PROVIDE EROSION PROTECTION DURBNET THE PERSON OF VECTATION ESTABLISHMENT.

- SPECIDICATIONS
  SITE PROPAGATION
  SITE PRO
- 8. GRADE AS MEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ARCHORING.
- 7. RUNGIT SHALL BE DIVERTED FROM THE SEEDED AREA.
- 8. ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHALL INCLIDE CREATING HORIZONTAL CROOVES PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUMOFF.

SETURED PREPARATION.

8. STONES AND TRASH SHALL BE REMOVED SO AS NOT TO INTERFERE WITH THE SEEDING AREA.

- WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF Z MCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
- IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHALL BE APPLIED DURING THE GROWING

ASPN.

APPLY UNESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS IF SOIL TESTING IS NOT FEASURE ON SMALL OR VARABLE STIES, OR WHERE THING IS CRITICAL FERTILIZER MAY BE APPLIED AT THE RATE OF 1000 POLINGS PER ACRE OR 13.8 POLINGS PER INCIDE OR SOLIMER FEET OF LOW PHOSPHATE FERTILIZER (N-P203-N20) OR EQUIVALENT, APPLY UNDESTONE (EQUIVALENT TO 50 PERCORT CALCIUM PLUS MAGNESSAM CONDE) AT A RATE OF 3 TONS PER ACRE (13.8 LP. PER 1,000 SIGNARE FEET).

SOLIMER FEET).

-FERTILIZER SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE WATER BOOY. HO FERTILIZER EXCEPT LIBERTONE SHALL BE APPLIED WHEN 25 FEET OF A SURFACE WATER BOOY. HO FERTILIZER EXCEPT LIBERTONE SHALL BE APPLIED WHEN 25 FEET OF A SURFACE WATER BOOY. HO SHARLAND OF PROTECTION ACC.

### SEFTIMES. 12. SELECT SEED FROM RECOMMENDATIONS IN TABLE 4-1.

- I.J. APPLY SEED UNFORMLY BY HAND, CYCLOME SEEDER, DRILL, CULTRACKER TYPE SEEDER OR HYDROSEEDER (SLURRY INCLIDING SEED AND FERTILIZER), NORMAL SEEDING DEPTH IS FROM N. TO N. INCH. HYDROSEEDING THAT INCLIDES MULICH MAY BE LEFT ON SCIL SURFACE, SEEDING RATES MUST BE INCREASED TO X WHEN HYDROSETIBLE.
- 14. TEMPORARY SEEDING SHALL TYPICALLY OCCUR PRIOR TO SEPTEMBER 15TH.
- 15. AREAS SEEDED BETWEEN MAY 15TH AND AUGUST 15TH SHALL BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE "TEMPORARY AND PERMAMENT MULCHING" PRACTICE.
- IR. VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHALL BE ACHEVED PRIOR TO DETOBER 15TH, IF THIS CONDITION IS NOT ACHEVED, BIFLEMENT OTHER TEMPORARY STABILIZATION MEASURES FOR OVERWINTER PROTECTION.

TARE 4-1, SETUNG RECOMMEND. PECES PER ACRE BUSHEL (BL) OR POLYMEN	
ONTER RYE	2 BU, OR 112 LIPS. 2.9 LIPS. BEST FOR FALL STEINING. SEED FROM AUGUST 18 TO SEPTEMBER 19 FOR BEST CONCEL SEED TO A DEPTH OF 1 BIGST.
ATS	2 LBS. 2.5 BL. OR BO LBS. SPRING SETZINGS. SETZIN NO LATER THAN MAY 15 FOR SEMBER. PROTECTION. SETZI TO A DEPTH OF 1

40 U.S. 1 LB.
OROWS GUACH, BUT IS
OF SHORT DURATION. U.S. WEDE,
APPLARAMCES ARE IMPORTANT. SEED
LARLY SPRING AND/OR DETINED.
AUGUST 15 AND SEPTEMBER 15. COVER
THE SEED WITH NO MORE THAN 0.25
INCH OF SCR.

30 LBS. 0.7 LB.
DOOD COVER WHICH IS
LONGER LASTING THAN AMBULLA,
RYEGHASS, SEED BETWEEN APPOLIT AND
JAME 1 AND JOHN BETWEEN AMOUST IS
AND SEPTIMBER IS, MALD-MIG BILL
ALLOW SEEDING THROUGHOUT THE
DOOMNO SEASON, SEED TO A DEPTH
OF APPROXIMATILY AS BILL

#### TEMPORARY VEGETATION

- 14. REMOVE ACCUMULATIONS OF SEDMENT FROM DRAWING STRUCTURES, SEDMENT BASINS AND DEEP SUMPS ALL MEAS TO BE LOWED & WATED AS NECESSARY UPON COMPLETION OF PROJECT.

IS. WHITE CONSTRUCTION HOTES:

- INVERT CONSTRUCTION NOTICE

  A) DURING WHITE CONDITIONS, THE MAXIMUM ALLOWARE DISTURBED AREA SHALL BE OS ACRES.

  B) ALL PROPOSED VECTATED AREAS SHACH DO HOT CONSTT A MAXIMUM OF SESS VECTATIVE GROWTH BY OCTOBER 15th, OR WHICH ARE DISTURBED AFTER CONCIDENT 15th AND AREA DISTURBED AFTER CONCIDENT 15th AND AREA DISTURBED AFTER CONCIDENT 15th AND AREA DISTURBED AFTER CONCIDENT AND AREA SECURITY OF THE STATE OF A SECURITY OF THE OCCUPANT OF THE STATE OF A SHAME TO AND A SHALLS SHOWN ON THE OCCUPANT AND ADMINISTER OF A SHAME SHOWN OF THE OCCUPANT AND ADMINISTER OF THE STATE OF THE TENNER OF THE STATE OF THE TOTAL THE STANE.

— 2" − 3" STONE

CONSIDERATIONS

1. THIS PRACTICE IS INTEREST FOR USE IN AREAS OF CONCENTRATED FLOW, BUT MUST NOT BE USED IN STREAM CHARGELS (WHETHER PERSONAL OR INTERMITTENT).

MAINTENAMEZ RECURRENCHIS.
4. CHECK DAMS SHALL BE REPECTED AFTER EACH RAMFALL AND AT LEAST DALLY CURRING PROLONGED RAMFALL AND MECESSARY REPAIRS SHALL BE MADE RAMEDIATELY.

B. EROSION CAUSED BY HIGH FLOWS AROUND THE EDGES OF THE DAM MUST BE CORRECTED IMMEDIATELY.

B. CHECK DAMS SHALL BE CHECKED FOR SEDMENT ACCUMULATION AFTER EACH SIGNFFOANT RANFALL SEDMENT SHALL BE REMOVED WHEN IT REACHES ONE HALF OF THE ORIGINAL HEIGHT OR BEFORE.

STOPICATIONS B. OFFICE DAMS SHALL BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.

13. THE MAXIMUM SPACING BETHEEN THE DAMS SHALL BE SUCH THAT THE TDE OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE OVERFLOW ELEVATION OF THE DOWNSTREAM DAM.

14. STONE CHECK DAMS SHALL BE CONSTRUCTED OF A WELL-GRADED ANGULAR 2—NOH TO 3—NOH STONE, 3/4—NOH STONE ON THE UPGRADEDIT FACE IS RECOMMENDED FOR BETTER FILTERING.

18. TEMPORARY STRUCTURES SHALL BE REMOVED ONCE THE SWALE OR CITICH HAS BEEN STABILIZED:

- BI TEMPORARY DITCHES AND SWALES, CHECK CAMIS SHALL BE REMOVED AND THE DITCH FILLED IN MINCH IT IS NO LONCER MEDIED.

- BI PERMANENT STRUCTURES, CHECK DAMIS SHALL BE REMOVED WHEN A PERMANENT LINING HAS BEEN ESTABLISHED. F THE PERMANENT LINING IS VEGETARION, THEN THE CHECK DAMIS SHALL BE RETAINED LAND, THE CRASS HAS MATURED TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAMI MUST BE SEEDED AND MALCHED BRANDATELY AFTER REMOVAL.

TEMPORARY STONE CHECK DAMS

NOT TO SCALE

12. THE CENTER OF THE DAM SHALL BE AT LEAST 6 INCHES LONGR THAN THE DUTTER EDGES.

15. IF PROVIDED BY DESIGN AND CONSTRUCTION PLANS, LEAVE THE DAM IN PLACE PERMANENTLY.

5. INSPECTIONS SHALL VERBY THAT THE CENTER OF THE DAM IS LOWER THAN THE EDGES.

THE CHECK DAM MAY BE LEFT IN PLACE PERMANENTLY TO AVOID UNDECESSARY DISTURBANCE OF THE SOIL OH REMOVAL, BUT ONLY IF THE PROJECT DESIGN HAS ACCOUNTED FOR THEM HYDRAULIC PERFORMANCE AND CONSTRUCTION PLANS CALL FOR THEM TO BE RETAINED.

ANDARO STONE CHECK DAM DESIGN

SEEDENT TRAPS AND SEEDENT BASINS VILL BE DISPECTED FOR BEPTH OF SEEDENT, AT A HONDRIM SEEDENT VOLLD BE REMOVED AND TRAP RESTORED TO ITS DREEDINL SIZE. WHEN SEEDENT REACHES 1/2 OF THE ORIGINAL SIZE. DEPTH MARKER

REP-RAP STONE B" MIN. DIMENSION SEDIMENT TRAP

WIRE SCREEN THE STONE AND CAU BLOCK TO PREVONT THE STONE FROM BEING WASHED INTO THE STRUCTU (STONE REMOVE FOR GRAPH CLARITY ONLY, STONE BUT BE IN PLACE WHEN

- MANITHANCE RECURREMENTS.

  1. SHE'T BARRIERS SHALL BE INSPECTED BEFORE AND AFTER EACH RAIN EVENT AND REPAIRED AS NEEDED. . Sediment shall be removed and the storm drain sediment barrier restored to its original dimonsions when the sediment has accumulated to 1/2 the design depth of the barrer removed sediment shall be deposited in a satable area and in such a manner that it will not erode.
- 3. THE BARRIERS SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- C. ALL CATCH BASINS AND STORM DRAIN INLETS MUST BE CLEANED AT THE END OF CONSTRUCTION AND AFTER THE SITE HAS BEEN FULLY STABILIZED.

SPECIFICATIONS

A THE MAXIMUM CONTRIBUTING DRAMAGE AREA TO THE TRAP SHALL BE LESS THAN ONE ACRE.

- 8. THE INLET PROTECTION DEVICE SHALL BE CONSTRUCTED IN A MANNER THAT WILL FACILITATE CLEAN-OUT AND DISPOSAL OF TRAPPED SEDIMENTS AND IMPRIZE INTERFERENCE WITH CONSTRUCTION ACTIVITIES.
- ANY RESILITANT PONDING OF STORMHATER HUST NOT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT AREAS OR STRUCTURES.
- B. THE BLOCKS SHALL BE PLACED LENGTHNISE IN A SHIGLE HOW AROUND THE PERMETER OF THE INLET.
- I. THE HEIGHT OF THE BARRIER CAM BE VARIED, DEPONOING ON DESIGN MEEDS, BY STACKING COMBINATIONS OF 4-MOLI, B-MOLI AND 12-MOLI MODE BLOCKS, THE BARRIER OF BLOCKS AND GRAVEL FILTER SHALL BE A MERIBAUN OF 12 MOCIES HOME AND NO MODE THAN 74 MICES HOM.
- 11. A HARDWARE CLOTH OR WIRE MESH SHALL BE PLACED OVER THE OPENINGS OF THE CONCRETE BLOCKS AND EXTEND AT LLAST 12 INCRES AROUND THE OPENING TO PREVENT ACCREGATE FROM BEING TRANSPORTED THROUGH THE OPENINGS IN THE BLOCKS. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-MOH OPENINGS SHALL BE USED.
- 12. THE GRAVEL FILTER SHALL BE CLEAN COARSE ACCRECATE.
- 13. THE GRAVEL SHALL BE PLACED AGAINST THE WIRE AND ALONG THE DUTSIDE EDGES OF THE BLOCKS TO THE TOP OF THE BLOCK BARRIER.

MANUFACTURED SEDMENT BARNERS
15. MANUFACTURED SEDMENT BARNERS ARE NOW AVAILABLE THAT COULD BE FUNCTIONALLY EQUIVALENT TO
THE BANNERS LISTED ABOVE. THESE MEASURES ARE ACCEPTABLE AS LONG AS THEY ARE INSTALLED, USED,
AND MANUFAMED AS SPECIFED BY THE VENORS OF MANUFACTURES, AND PREVENT SEDMENT FROM
DITERING THE STORM BOARM SYSTEM, IF SUCH PRODUCTS FAR TO PREFIXE REQUIRED SEDMENT
TRAPPING FUNCTION, THEY SHALL BE REMOVED AND REPLACED WITH AN EFFECTIVE ALTERNATIVE BARRIER.

### TEMPORARY STORM DRAIN INLET PROTECTION

NOT TO SCALE

PERSONAL PROPERTY. ROOM DAM STONE 1.0 CARS C

FLDW HEIGHT OF PLUTCH FENCE STETION

1. WICH THE SECTIONS OF FEXER CLOTH ASSEM EACH OTHER, THEY SHILL BE ENGILLIPPED BY B RICHER, FOLDED AND STATUED. 2. MARTHAGE SHALL HE PENTONIED AS RESEED AND MATERIAL REMOVED WHEN "BLACES" DEVE IN THE SELF FEBRUE.

TEMPROARY FABRIC SILTATION FENCE

SCALE AS SHOWN

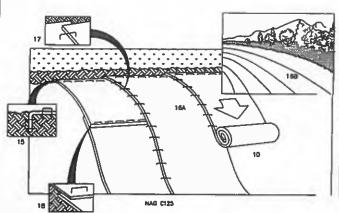
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CONDOMINIUM SUBDIVISION
71 CEDAR ST. HOPKINTON, (CONTOOCOOK) NH
OWNED BY
BAYSTONE PROPERTIES, LLC
44 NORTH STONE RADD, DERRY, NH OLD TOT 35 - BOOK 3681

ÖE 0

MERRIMACK CO. JOB NO: 393.00 DATE: JUNE 21, 2021

> DET-7 SHT. 15 of 18



CONSIDERATIONS
1. DURBOR THE CROWING SEASON (APRIL 15 - SEPTEMBER 15) USE MATS OR MILCH AND NETTING ON SLOPES
1. DESCRIPTION OF CREATER AND ANY DISTURBED SOIL WITHIN 100 FEET OF LAKES, STREAMS AND CONCTLANDS.

DURING THE LATE FALL AND WINTER (SEPTEMBER 15 - APPRL 15) LISE HEAVY GRADE MATS ON ALL AREAS MOTED ABOVE PLUS USE LIGHTER GRADE MATS OR MALCH AND NETTING ON SLOPES GREATER THAN 8%. THERE MATS BE CASES WHERE MATS WILL BE NEEDED ON SLOPES FLATTER THAN 8%, DEPENDING ON SITE CONDITIONS AND THE LENGTH OF THE SLOPE.

3. INSTALL MATS AND STAPLE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

MAINTENANCE RECURREMENTS
4. ALL BLANKET AND MATS SHOULD BE INSPECTED WEDLY DURING THE CONSTRUCTION PERIOD, AND AFTER ANY RAINFALL EVENT EXCEEDING % BICH IN A 24-HOUR PERIOD.

ANY FAILIRE SHOULD BE REPAIRED BAMEDIATELY. IF WASHOUT OF THE SLOPE, DISPLACIABNT OF THE M OR DAMAGE TO THE MAY OCCURS. THE AFFECTED SLOPE SHALL BE REPAIRED AND RESEIDED, AND THE AFFECTED AND ADEA OF MAY SHALL BE RE-RESTALLED ON REPLACED.

SPECERATIONS SITE PREPARATION: 8. GRADE AND SHAPE AREA OF INSTALLATION.

7. REMOVE ALL ROCKS, CLODS, TRASH, VEGETATIVE OR OTHER DESTRUCTIONS SO THAT THE INSTALLED BLANKETS WILL HAVE DIRECT CONTACT WITH THE SOIL.

1. PREPARE SEEDBED BY LOOSENING 2-3 INCHES OF TOPSOIL ABOVE FINAL GRADE.

R. INCOMPORATE AMENOMENTS, SUCH AS LIME AND FERTILIZER, INTO SOIL ACCORDING TO SOIL TEST AND THE SECONG PLAN.

SETUNO.

10. SEED AREA BEFORE BLANKET INSTALLATION FOR EROSION CONTROL AND RE-VEGETATION. SEEDING AFTER
MAT INSTALLATION IS OFTEN SPECIFED FOR THE REMFORCEMENT APPLICATION. WHEN SEEDING PROOF TO
BLANKET INSTALLATION, ALL CHECK SLOTS AND OTHER AREAS DISTURBED DURING INSTALLATION MUST BE
RESELECT.

it. Where soil filling is specified, seed the Matting and the entire disturbed area after installation and prior to filling the Mat With soil

RISTALLING AND ANCHORNIG IR ANKETS.

12. BLANKETS SHALL BE INSTALLED AND ANCHORED PER THE MANUFACTURER'S SPECIFICATIONS. 13. DISURE COMPLETE CONTACT OF THE PROTECTION MATTING WITH THE SOIL.

INSTALLATION ON SLOPES.

14. BLANCETS SHALL BE INSTALLED ON SLOPES PER THE MANUFACTURER'S SPECIFICATIONS. IF THE MANUFACTURER'S INSTRUCTIONS DIFFER FROM THOSE LISTED BELOW, THE MANUFACTURER'S INSTRUCTIONS SHOULD BE POLLDWED.

15. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6° DEEP X 6° WIDE TRENCH.

BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

IS. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE

17. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 8" OVERLAP.

8. WHEN BLANKETS MUST BE SPUCED DOWN THE SLOPE, PLACE BLANKETS DID OVER DID (SHINGLE STYLE) WITH APPROXIMATELY 6" CHURLAP, STAPLE THROUGH DVERLAPPED AREA, APPROXIMATELY 12" APART.

#### TEMPORARY EROSION CONTROL BLANKET ON SLOPES

NOT TO SCALE

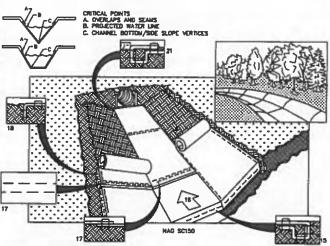
#### TEMPORARY EROSION CONTROL BLANKETS NHFG WILDLIFE FRIENDLY REQUIREMENTS

CEMSDEBATIONS

1. THE EDARMATION OF PLASTIC OR " BIODEGRADABLE PLASTIC" CROSION CONTROL NETTING IS RECURRED AS THESE ARE KNOWN SOURCE OF ENTRAPMENT AND MORFALITY TO PROTECTED SMAKES AND TURTLES.

2. SEVERAL "MILDUFE FRENDLY OPTIONS SUCH AS WOVEN ORGANIC MATERIAL (E.G., COCO MATTING) OR THE USE OF EROSION CONTROL BERM DICAY

3. ACCEPTABLE MATERIALS INCLUDE NORTH AMERICAN GREEN C125BN OR EAST COAST EROSION CONTROL BLANGET ECC-28 BOTH ARE BIODEGRADABLE WITH A COCONUT FIBER MATRIX AND JUTE NETTING.



CONSIDERATIONS

1. DURING THE CROWING SEASON (APRIL 15 - SEPTEMBER 15) USE MATS OR MULCH AND NETTING ON THE BASE OF GRASSED WATERWAYS.

2. DURING THE LATE FALL AND WINTER (SEPTEMBER 15 - APRIL 15) LISE HEAVY GRADE MATS ON SIDE SLOPES OF GRASSED WATERWAYS.

1 INSTALL MATS AND STAPLE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

MANITURANCE PETURENTHUS

4. ALL BLANGET AND MATS SHOULD BE INSPECTED WEEKLY DURING THE CONSTRUCTION PETHOD, AND AFTER ANY RAWFALL EVENT EXCLUDING % INCH IN A 24-HOUR PETHOD.

ANY FARLINE SHOULD BE REPARED NAMEDIATELY. IF WASHOUT OF THE SLOPE, DISPLACEMENT OF THE MAT, OR DAMAGE TO THE MAT OCCURS, THE AFFECTED SLOPE SHALL BE REPARED AND RESERVED, AND THE AFFECTED AREA OF MAT SHALL BE RE-MISTALED ON REPLACED.

SPECIFICATIONS
SIT PREPARATION:
6. GRADE AND SHAPE AREA OF INSTALLATION.

7. REMOVE ALL ROCKS, CLOCS, TRASH, VEGETATIVE OR OTHER OBSTRUCTIONS SO THAT THE INSTALLED BLANKETS WILL HAVE DIRECT CONTACT WITH THE SCIL.

8. PREPARE SEEDBED BY LOOSENING 2-3 INCHES OF TOPSOIL ABOVE FINAL GRADE.

9. INCORPORATE AMENDMENTS, SUCH AS LIME AND FERTILIZER, INTO SOIL ACCORDING TO SOIL TEST AND THE SEEDING PLAN.

STETING.

TO RETO AREA BEFORE BLANKET INSTALLATION FOR ENGIGION CONTROL AND RE-VEGETATION, SELDING AFTER
MAT INSTALLATION IS OFTEN SPECIFED FOR TUNF REINFORCEMENT APPLICATION, MICH SELDING PROOR TO
BLANKET INSTALLATION, ALL CHECK SLOTS AND OTHER AREAS DISTURGED DURING INSTALLATION MUST BE
RESELDED.

11. WHERE SOIL FILING IS SPECIFIED, SEED THE MATTING AND THE ENTIRE DISTURBED AREA AFTER INSTALLATION AND PRIOR TO FILLING THE MAT WITH SOIL.

<u>RISTALLING AND ANCHORING REAMETS.</u>
12. REAMETS SHALL BE INSTALLED AND ANCHORED PER THE MANUFACTURER'S SPECIFICATIONS.

13. DISLIRE COMPLETE CONTACT OF THE PROTECTION MATTING WITH THE SOIL.

RETAILATION IN CHANNELS.

14. BLANKETS SHALL BE INSTALLED IN CHANNELS PER THE MANUFACTURER'S SPECIFICATIONS. IF THE MANUFACTURER'S RESTRUCTIONS DIFFER FROM THOSE LISTED BELOW, THE MANUFACTURER'S INSTRUCTIONS SHOULD BE FOLLOWED.

15. BEGIN AT THE OUTLET OF THE CHANNEL BY ANCHORING THE BLANKET IN A  $6^{\circ}$  DEEP  $\times$   $6^{\circ}$  WIDE TREMONL BACKFULL AND COMPACT THE TREMON AFTER STAPLING.

16. ROLL CENTER BLANKET IN DIRECTION OF THE INLET END OF THE CHANNEL

17. PLACE BLANKETS DID OVER DID (SHINGLE STYLE) WITH A 6° OVERLAP, USE A DOUBLE ROW OF STACGERED STAPLES 4° APART TO SECURE BLANKETS.

18. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED IN 6° DEEP X 6° MIDE TRENCH, BACKFRL AND COMPACT THE TRENCH AFTER STAPLING,

IB. BLANKETS ON SIDE SLOPES MUST BE OVERLAPPED 4" OVER THE CENTER BLANKET AND STAPLED. 20. IN HOM FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT WITEVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL PLACE A SECOND ROW 4" BELOW THE PRIST ROW IN A STAGGERED PARTERN.

21. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH, BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

#### TEMPORARY EROSION CONTROL BLANKET FOR CHANNELS

NOT TO SCALE

### TEMPORARY & PERMANENT MULCHING

<u>CONSORTATIONS</u>

1. WITHIN 100 FIET OF STREAMS, NETLANGS AND IN EACE MATCHENEDS, TEMPORARY MULCH SHOULD BE APPLIED WITHIN 7
BAYS OF EXPOSING SOIL, OR PRIOR TO ANY STURM ENDIT,

2. AREAS THAT HAVE BEEN TEMPORARLY OR PERMANENTLY SEEDED SHOULD BY MILEDED SAMEDATELY POLLOWING SEEDING. A AREAS THAT CANNOT BE SCEDED WITHIN THE GROWING SEASON SHOULD BE MULCHED FOR OVER-WHITER PROTECTION. THE AREA SHOULD BE SEEDED AT THE SEGMENT OF THE NEXT ORDING SEASON.

L MALOH ANCHONING SHOULD BE USED ON SLOPES WITH GRADIENTS GREATER THAN SE IN LATE FALL (PAST SEPTEMBER 15).
AND OVER-WHER (SEPTEMBER 15 - MAT 15).

S. PERMANENT MALCH CAN BE USED IN CONJUNCTION WITH TREET, SHOUR, WHE, AND GROUND COVER PLANTINGS.

ENGISON CONTROL MIX MALLON USED FOR TEMPORARY STABLIZATION SHOULD BE LEFT IN PLACE, VEIETATION ADDS STABLITY AND SHOULD BE PROMOTED.

8. WHITE PERMANENT MARCH IS USED IN CONLANCION WITH ORNAMENTAL PLANTINGS, INSPECT PERIODICALLY THROUGHOUTHE YEAR TO DETERMINE IF MALCH IS MAINTAINING EXPERACE OF THE SOIL SURFACE, REPAIR AS NEEDED.

R. PUMMENT MUCHED AREAS SHOULD BE REPECTED AT LEAST ANNUALLY, AND AFTER EACH LARGE RAMFALL (2.9 INCIDENT ON THE READ PARTY RECURSION OF THE REPORT REPORTS OF THE READ OF THE REPORT REPORTS OF THE READ TO NAME AND THE RECOMMENDED INCIDENTS. INCIDENT REPORTS OF THE READ TO NAME AND THE RECOMMENDED INCIDENTS. INCIDENT REPORTS OF THE READ TO REPORT THE REPORTS OF THE READ TO THE

10. IF THE MACH MEEDS TO BE REMOVED, SPREAD IT OUT INTO THE LANDSCAPE.

STOPICATIONS
GENERALLY SENSITIVE AREAS SUCH AS WITHIN 100
FILT OF LAKES, POWER, STREAMS, AND WITHIN 100
FILT OF LAKES, POWER, STREAMS, AND WITHIN 100
FILT OF LAKES, POWER, STREAMS, AND WITHINGS IT WALL BY RECESSARY TO CLOSELY MONITOR WEATHER
PREDICTIONS TO MAKE ADDITION WARRING OF SEGMENT STORMS.

12. MALDING SHOULD BE COMPLETED WITHIN THE FOLLOWING SPECIFED THE PERSON FROM DIMENAL SUL EXPOSURE:

- WITHIN TO PELL OF RIVERS AND STREAMS, WELLANDS, AND IN LAME AND POING WATCHINGS. THE THAT PERSON
SHOULD BE MO OTALIED THAN 7 DAYS. THIS 7-DAY LIMIT SHOULD BE RESULCED FURTHER DURING WET WEATHER
PERSON.

- HI OTHER AREAS, THE THEE PERSON CAN RANCE FROM 14 TO 30 DATABRANCE, PROSMETY TO SENSITIVE RESIDENCESS. AND
THE POTENTIAL MEAST OF ENGINEENT AND ADJACENT AREAS, OTHER STATE ON LOCAL RESTRICTIONS MAY ALSO APPLY.

13. THE DIRECT OF MATERIALS FOR MALCHING SHOULD BE BASED ON SITE CONDITIONS, SIGLE, BLOFF, FLOW COMMITTIONS, AND THAT OF YEAR,

HAY OR STRAW MECHES. 14. ORGANIC MECHES RICLIONIC MAY AND STRAW SHOULD BE AREDRED, FREE OF UNDESHABLE SELDS AND COARSE MANTHEMER.

15. APPLICATION RATE SHOULD BE 7 BALES (70-80 POLINGS) PER 1000 SQUARE PEET OR 1.5 TQ 2 TOHS (90-100 BALES) PER ACRE TO CONCR 75 TO 80 X OF THE CRICING SURFACE.

FOLLOWIS METHODS:
METHOD STATE OF STRUCK OF BEDCEMARABLE PLASTIC INTITUDE CHIEF HAT DE STRUKT TO ANGIGIT TO THE STRUKT TO ANGIGIT TO THE STRUKT STRUKT STRUKT ANGIGIT TO THE STRUKT STRU

17. WHO! HALD! IS APPLED TO PROVIDE PROTECTION OVER WAYER (PAST THE GROWING SEASON), IT SHOULD BE APPLED TO A DEPIN OF FOUR BYOCKS (180-200 PROMISE OF MAY OR STRAW PER YOUR SEALANE FEET, OR BOURLE STANDARD APPLICATION AREE. SEEDING COMMOT GODERALLY BE EXPECTED TO GROW UP PROGUED THESE OPEN OF MALCH AND WILL BE SUSTRICTOR. IF VIGITATION IS DESIRED, THE MALCH WILL MEED TO BE RELIGIOUD IN THE SPRINGING AND THE AREA SEEDING AND MALCHES.

MODEL CHIES ON BARK. 16. HOUD CHIES ON DROUND BARK SHOULD ME APPLIED TO A THICONESS OF 2 TO 4 HICHES.

18 HOLD CHPS OR CROUND BANK SHOULD BE APPLIED AT A RATE OF 10 TO 20 TOKS PER ACRE OR 480 TO 920 POLNOS PER 1,000 SCHAME FEST.

21. COMPOSTICH OF THE EROSICH CONTROL MIX SHOULD SE AS FOLLOWS

- DIOSON CONTROL MEN SHOULD CONTROL MIX SHOULD SET AS FOLLOWS

- DIOSON CONTROL MEN SHOULD CONTROL ME MIST ME FIRST OF PARTICLE SETES AND MAY CONTAINMENTS, AND MATERIAL TERMS OF PLANT GROWN, THE MEX COMPOSTION SHOULD MEET THE PILLOWING STANDARDS.

- PACE OF THE PARTICLE SET OF THE MEX COMPOSTION SHOULD MEET THE PILLOWING STANDARDS.

- PARTICLE SET SET WICH SHOULD SE STREET AS AND SET, DRY WICHOFT BEASS.

- PARTICLE SET SET WICH SHOULD SE TONE PASSING A 3" SETEDIA, SOUT TO TOSE, PASSING A 1-600M SCREEDA, TOE TO TOMPACE POSTION MEDIS TO SE THE CONTROL AND ELEMAND OF JOST TO TOSE, PASSING A 1-600M SCREEDA.

- THE OPENANCE POSTION MEDIS TO SE FRENCH AND ELEMAND OF JOST TO TOSE, PASSING A 1.23-900M SCREEDA.

- THE OPENANCE POSTION MEDIS TO SE FRENCH AND ELEMANDED.

22. THE SHAMER MUST BE PLACED ALONG A RELATIVELY LEVEL CONTOUR. IT MAY BE RECESSARY TO CUIT TALL GRASSES OF SECON VESTIATION TO ALONG CHEATING VIDES AND BROOCS THAT WOULD EMAILE FINES TO MAIN LANDER THE SAMMER THROUGH THE CHASSE BLUESE OF PLANT STEED.

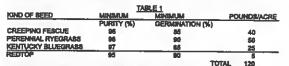
### WINTER CONSTRUCTION NOTES

- ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT.. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABRIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MILCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCT. 15TH, OR WHICH ARE DISTURBED AFTER OCT. 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

### **GN-4: VEGETATION STABILIZATION NOTES**

ALL VEGETATION STABILIZATION SHALL BE IN ACCORDANCE WITH USDA NRCS "VEGETATING NEW HAMPSHIRE SAND and GRAVEL PITS", IN ADDITION TOO "BEST MANAGEMENT PRACTICES FOR ROUTINE ROADWAY MAINTENANCE ACTIVITIES IN NEW HAMPSHIRE", LATEST EDITIONS.

PARK SEED TYPE 16 SHALL NORMALLY BE USED ON LOAM AREAS. THIS SEED MIXTURE SHALL CONFORM TO TABLE 1 UNLESS AMENDED BY THE PROJECT ENGINEER TO SURT ACTUAL FIELD CONDITIONS.



SLOPE SEED TYPE 44 SHALL NORMALLY BE USED FOR ALL SLOPE WORK, and SHALL CONFORM TO TABLE 2 UNLESS AMENDED BY THE DESIGN ENGINEER TO BUIT ACTUAL

KIND OF SEED	MINIMUM PURITY (%)	MINIMUM GERMINATION (%)	POUNDMACRE
CREEPING RED FESCUL	90	85	35
PERENNIAL RYEGRASS	98	90	30
REDTOP	96	80	5
ALSIKE CLOVER	97	90	6
BIRDSFOOT TREFOIL	00	00	6
SE	EDING SEA	SON:	TAL 80

A. ALL AREAS TO BE SEEDED SHALL BE A REASONABLY FIRM, BUT FRIABLE

SURFACE and SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING.

C. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM and SMOOTH CONDITION, FOLLOWING

ALLAREAS TO BE SEEDED SHALL MEET THE SPECIFIED GRADES, AS SPECIFIED ON THE APPROVED PLAN.

ALL VEGETATION BHALL BE INSPECTED ANNUALLY FOR UNHEALTHY or DEAD AREAS. ANY and ALL SUCH AREAS ARE TO BE REPAIRED or REPLACED IN KIND.

2. ESTABLISHING A STAND

A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL, IGNOS AND ANOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED.

-ARRICULTURAL LIMESTONE: 2 TONS PER ACRE OR 1.00 LBS, PER SQ. FT.
-NITROGEN (9): 50 LBS, PER ACRE OR 1.1 LBS, PER 1005 SQ. FT.
-PHOSPHATE (PAC): 100 LBS, PER ACRE OR 2.2 LBS, PER 1005 SQ. FT.
-POTASH (IGO): 100 LBS, PER ACRE OR 2.2 LBS, PER 1005 SQ. FT.

SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE.
METHODS INCLUDE BROADCASTING, ORILLING, AND HYDROSEEDING. WHERE BROADCASTING
IS USED, COVER SEED WITH 0.25 INCH O SOIL, OR LESS, BY CULTIFIACIONG OR RAKING.

(NOTE: THIS IS THE EQUIVALENT OF 800 LISS, PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LISS, PER

3. MULCH

HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, BHOULD BE APPLIED IMMEDIATELY AFTER

MULCH WILL BE HELD IN PLACE USING TECHNIQUES FROM THE "BEST MANAGEMENT PRACTICE FOR MULCHING", AS SHOWN IN, "STORMWATER MANAGEMENT AND SEDMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE

4. MAINTENANCE TO ESTABLISH A STAND

PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.

ALL VEGETATION BHOULD BE INSPECTED REGULARLY and AFTER EVERY MAJOR RAIN EVENT (2 5°24 hr). DAMAGED AREAS SHOULD BE REPAIRED AND RE-VEGETATED BAJEDIATELY.

8. FERTILIZATION WILL BE PERFORMED ANNUALLY IN ACCORDANCE WITH NOTE ZA...

IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICRATED, OCCASIONAL MOWING OF TRIMMING WILL BE PERFORMED ANNUALLY TO

lol

SCALE AS SHOWN

LAND ultants S On

CONDOMINIUM SUBDIVISION
TO CEDAR ST. HOPKINTON, (CONTOOCOOK) NH
OWNED BY

BAYSTONE PROPERTIES, LLC
44 NORTH SHORE RAW, DERRY, MH 02028
LOT 35 - BOOK 3691 PAGE 12-

MERRIMACK CO. JOB NO: 393.00 DATE: JUNE 21, 2021

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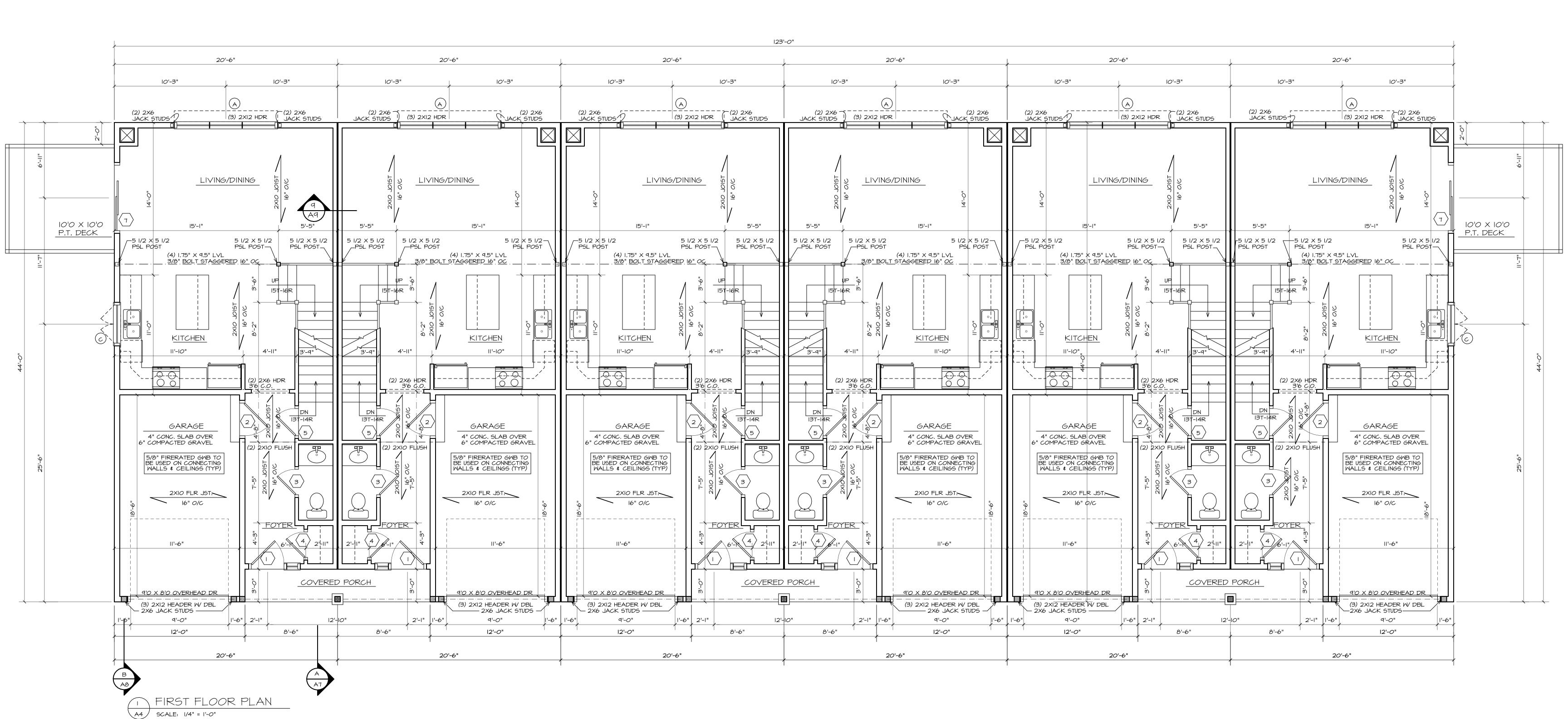


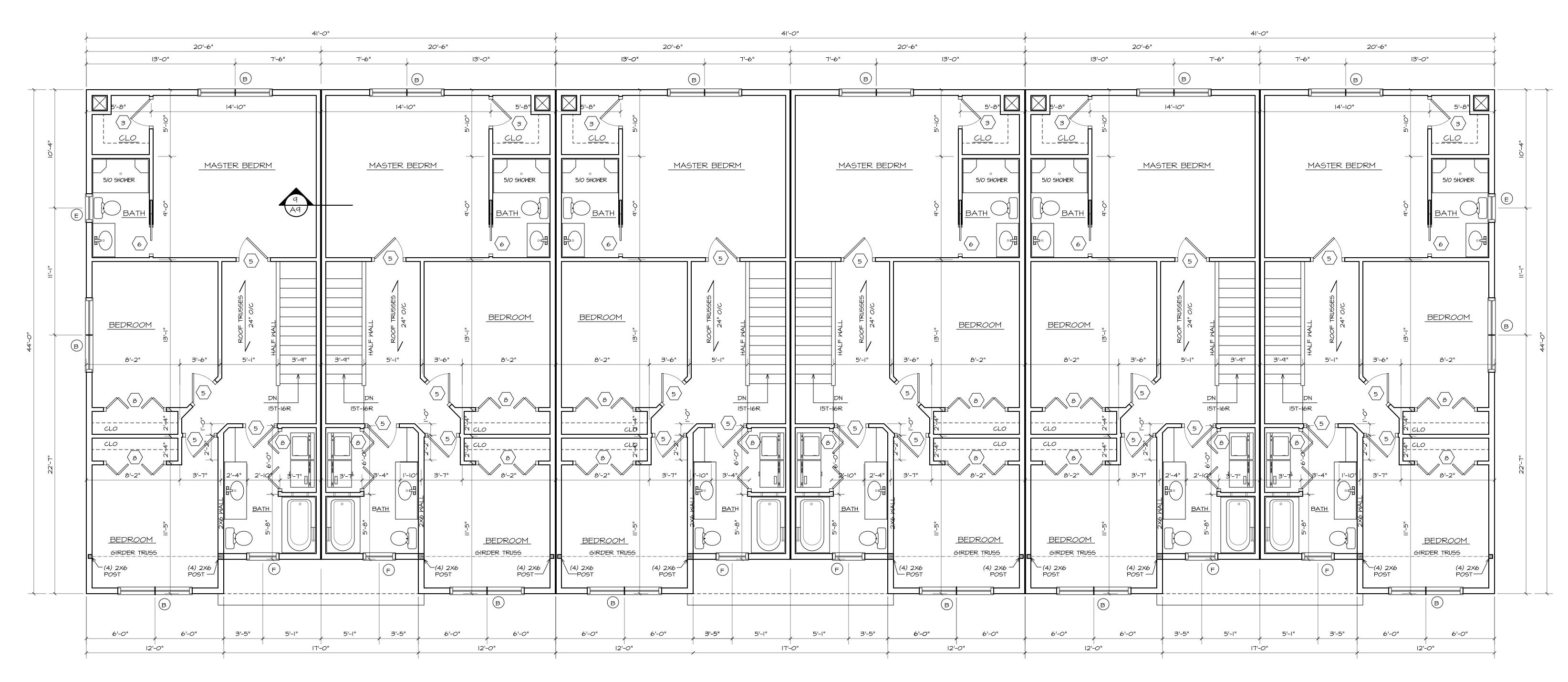
RIGHT UNIT		LEFT UNIT	
FIRST FLOOR	656 S.F.	FIRST FLOOR	656 S.F.
SECOND FLOOR	876 S.F.	SECOND FLOOR	876 S.F.
TOTAL	1532 S.F.	TOTAL	1532 S.F.



T FRONT ELEVATION

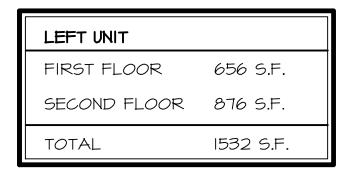
AI SCALE: 1/4" = 1'-0

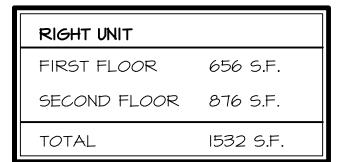




SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"









-RIDGE VENT

FRONT ELEVATION

AI SCALE: 1/4" = 1'-0"

# CODE:

- I. ALL CONSTRUCTION SHALL FOLLOW LOCAL STATE BUILDING CODE, MANUFACTURES'

  SPECIFICATIONS, AND WELL KNOWN INDUSTRY STANDARDS. IF ANY QUESTIONS SHALL ARISE, THE

  DESIGNER OR ENGINEER ON RECORD SHALL BE CONTACTED.
- 2. INTERNATIONAL RESIDENTIAL CODE 2015 (IRC 2015) AND THE REFERENCED STANDARDS INCLUDED THEREIN. AHJ = AUTHORITY HAVING JURISDICTION.

A. NUMBER OF UNITS:

\_X\_ (1 OR 2) \_X\_ (MAX. 3)

B. NUMBER OF STORIES:

B. NUMBER OF STOR

# DESIGN LOADS:

- I. UNIFORM FLOOR LIVE LOAD (NON-BEDROOM):
  - A. NON -BEDROOM 40PSF
    B. BEDROOM 30PSF
- C. ATTIC 20PSF

  2. UNIFORM FLOOR DEAD LOAD: 10PSF
- 3. ROOF SNOW LOAD (AHJ):
  - A. GROUND SNOW LOAD: X PSF (TOWN, STATE SPECIFIC)
  - B. DEAD LOAD: 10 PSF
- 4. WIND DESIGN:
  - A. EXPOSURE CATEGORY  $\underline{B}$  (A-D,  $\overline{R3}$ 01.2.1.4) (B IS NORMAL)
  - B. WIND SPEED ZONE (AHJ) 120 (90 120, MOST OF NORTHERN AND WESTERN NH AND WESTERN MA=90, CENTRAL AND SOUTH NH AND MA = 100, NH COAST, BOSTON AND SOUTH = 110, CAPE COD AND ISLANDS = 120, R301.2.4)
  - C. TOPOGRAPHIC EFFECTS (AHJ): NO (YES/NO)

# 5. SEISMIC

A. DESIGN CATEGORY (AHJ) (A-E, R301.2.2), (C FOR MOST OF SOUTH AND CENTRAL NH AND B FOR MA)

# 6. DAMAGE:

- A. WEATHERING: SEVERE (CONCRETE) (R301.2(3))
- B. TERMITE INFESTATION PROBABILITY: SLIGHT (NORTHERN NH),
- MODERATE (SOUTHERN NH), HEAVY (MA)

  7. DESIGN FROST DEPTH OF \_\_4\_FEET BELOW FINISHED GRADE (4' IS TYPICAL; VERIFY AS NEEDED WITH AH.I)
- 8. WINTER DESIGN TEMP: NH: O DEG. F., MA IO DEG. F. (PER 301.2(1))
- 9. FLOOD HAZARD (AHJ): \_\_NO\_

# GENERAL NOTES:

- I. THESE DRAWINGS REPRESENT AN OVERALL DESIGN CONCEPT. THEY ARE PREPARED WITH THE INTENT TO DEMONSTRATE THE OVERALL DESIGN ARRANGEMENT AND METHODS OF ASSEMBLY TO THE VARIOUS COMPONENTS. THE DRAWINGS DO NOT INDICATE EXTENSIVE DETAILS. THE CONTRACTOR SHALL HAVE REVIEWED THESE PLANS, SEEN THE SUBJECT PROPERTY, AND BE CAPABLE OF EXECUTING THE DETAIL WORK AS NECESSARY TO ACHIEVE THE INTENDED RESULT, IN A MANNER CONSISTENT WITH QUALITY WORKMANSHIP WITHIN THE REGION.
- 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND FHA/VA MPS.
- 3. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ALTERNATIVE DESIGNS INC. FOR JUSTIFICATION AND OR CORRECTION BEFORE PROCEEDING WITH WORK.

4. THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE DESIGNER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES (INCLUDING LEGAL FEES) ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.

2015 INTERNATIONAL RESIDENTIAL CODE

- 5. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
- 6. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR.

  ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR STRUCTURAL ENGINEER BEFORE PROCEEDING.
- 7. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE DESIGNER OR STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CONSULTATION. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN, THE DESIGNER OR STRUCTURAL ENGINEER SHALL BE NOTIFIED BEFORE ANY WORK IS PROCEEDED WITH.
- 8. ALTERNATIVE DESIGN ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE DESIGNER OR ENGINEER ON RECORD.
- 9. ALTERNATIVE DESIGN ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER ON RECORD.
- IO.REPRODUCTION OF DESIGNER PLANS AND STRUCTURAL DRAWINGS FOR SHOP DRAWINGS IS NOT PERMITTED
- II. SECTIONS, DETAILS, NOTES, METHODS, OR MATERIALS SHOWN AND/OR NOTED ON ANY PLAN, SECTION, OR ELEVATION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS NOTED OTHERWISE.
- 12.THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED DURING CONSTRUCTION. TEMPORARY SUPPORTS REQUIRED FOR STABILITY DURING ALL INTERMEDIATE STAGES OF CONSTRUCTION SHALL BE REMOVED AFTER CONSTRUCTION AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.



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R IDGEVIEW CONSTRUCTION

Contractor to check & verify all dimensions & structural members before construction.

All construction shall be in strict compliance with The State of New Hamoshire or Massachusetts

REVISIONS

20-4|2 DEC 2020 SHEET | OF 9

**A1** 

- I. FOUNDATIONS CONSIST OF CONTINUOUS FOOTINGS ASSUMED TO BEAR ON COMPACTED STRUCTURAL FILL PLACED ON UNDISTURBED NATURAL SOIL HAVING AN ASSUMED ALLOWABLE BEARING PRESSURE OF 2,500 PSF (TO BE VERIFIED BY BUILDER). IF THE SOIL AT BEARING DEPTH IS DISTURBED OR THE ACTUAL ALLOWABLE BEARING PRESSURE IS LESS THAN 2,500 PSF, THEN A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE CONSULTED.
- 2. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED UNDER SUPPORTED MEMBERS.
- 3. THE BOTTOM PERIMETER FOUNDATIONS SHALL BE DESIGN FROST DEPTH BELOW FINISHED
- 4. THE BOTTOM 3 INCHES OF FOOTING EXCAVATIONS SHALL BE FINISHED BY HAND SHOVEL.
- 5. FINISH EXTERIOR GRADE SHALL BE AT LEAST 8" BELOW TOP OF FOUNDATION WALL.
- 6. PLACE BACK FILL SIMULTANEOUSLY ON BOTH SIDES OF WALLS TO THE GRADES INDICATED.
- 7. UNBRACED/UNBALANCED FOUNDATION WALLS: MAXIMUM UNBALANCED FILL: 24" WITHOUT DESIGN/ENGINEER INPUT/APPROVAL. (EXAMPLE GARAGE SLAB ON GRADE WHERE BACKFILL WILL BE MORE THAN 24" BELOW TOP OF SLAB) (SEE R404.1.3) (ENGINEER DESIGN REQUIRED WHEN >48")
- 8. WE RECOMMEND THAT WALKOUT AND KNEEWALL STYLE BASEMENTS BE REVIEWED. (IE. WHENEVER PERIMETER FOUNDATION WALLS ARE NOT FULL HEIGHT).
- PROVIDE FORMWORK FOR ALL FOOTINGS, WALLS, AND PIERS. EARTH FORMED FOUNDATIONS ARE NOT ALLOWED.
- IO.SUB -SOIL SHALL HAVE 3/4 " MAXIMUM AGGREGATE WITHIN 12" OF SLAB ON GRADE
- II. ANCHOR BOLTS: 1/2" X 9" (MIN. 7" EMBEDMENT) @ 4' OC AND BETWEEN 6-12" OF EACH
- 12.DAMP PROOFING ALWAYS REQUIRED BELOW GRADE WHEN INTERIOR SPACE IS CREATED (PER
- 13.WATERPROOFING REQUIRED WHEN INTERIOR SPACE CREATED AND HIGH WATER TABLE OR OTHER CONDITIONS. (PER R406)

### CONCRETE:

- 1. CONCRETE SHALL BE A MIX DESIGNED FOR ULTIMATE STRENGTH IN ACCORDANCE WITH ACI 211.1 TO ACHIEVE THE DESIRED COMPRESSIVE STRENGTH. STANDARD MINIMUM 3,000 PSI FOR FOOTINGS AND INTERIOR FLOOR, 3,500 PSI FOR WALLS AND GARAGE SLAB. (R402.2)
- 2. CONCRETE SHALL NOT BE CAST IN WATER OR ON FROZEN GROUND, CONCRETE SHALL NOT BE EXPOSED TO WATER (I.E. RAIN) DURING SETTING PERIOD.
- 3. CONCRETE FLOORS SHALL BE PLACED OVER MIN. 4" THICK POROUS LAYER (SUCH AS CRUSHED STONE) WITH DRAINAGE AND APPROVED VAPOR BARRIER, (R405,2,2)
- 4. TOP OF FOUNDATION WALLS AND SLABS SHALL BE SMOOTH AND LEVEL.
- 5. NO PIPE GREATER THAN 4" DIAMETER WITH APPROPRIATE SLEEVE SHALL PASS THROUGH CONCRETE WITHOUT ENGINEER APPROVAL. PIPE SLEEVES SHALL BE PROVIDED AND SPACED A MINIMUM THREE DIAMETERS APART.
- 6. KEYS SHALL BE 2"X4", WITH BEVELED SIDES, UNLESS OTHERWISE NOTED
- 7. CONSTRUCTION JOINTS SHALL BE FORMED WITH A KEY, AND REINFORCING SHALL BE LAPPED TO DEVELOP THE FULL TENSION CAPACITY OF THE (SMALLER) BAR.
- 8. EXPOSED CONCRETE SHALL BE RUBBED IMMEDIATELY AFTER REMOVAL OF FORMS AND SNAP
- 9. OPENINGS IN CONCRETE WALLS SHALL BE LOCATED, SIZED, AND REINFORCED (WITH THE EXCEPTION OF SMALL OPENINGS AND/OR SLEEVES OF A SIZE THAT WILL NOT DISPLACE OR INTERRUPT THE CONTINUITY OF THE REINFORCING) AS SHOWN ON RESPECTIVE DETAILS. ANY ALTERATIONS REQUIRE APPROVAL OF THE STRUCTURAL ENGINEER.
- IO.DO NOT BACKFILL FOUNDATION WALLS UNTIL THE CONCRETE HAS BEEN IN PLACE FOR SEVEN (7) DAYS AND ATTAINED 75% OF ITS DESIGN COMPRESSIVE STRENGTH, AND FLOOR DIAPHRAGMS ARE IN PLACE. (R404.1.7)

# REINFORCING STEEL:

- I. REINFORCING STEEL SHALL BE NEW STEEL BAR, FREE FROM LOOSE RUST AND SCALE, AND CONFORMING TO ASTM A615, GR 60.
- 2. STANDARD MINIMUM FOUNDATION FOOTING: 16" WIDE X 8" HIGH WITH NO REINFORCING.
- 3. STANDARD MINIMUM VERTICAL FOUNDATION WALL REINFORCING FOR COMMON CONDITIONS:

WALL	MAX.	WALL	HORIZONTAL	VERTICAL *
HEIGHT	BACKFILL	THICKNESS	REINFORCING (R404.1.2)	REINFORCING
හ'	7'	8"	I #4 WITHIN I2" OF TOP AND I #4 AT	#6 @ 36"
			MID -HEIGHT	OC *
9'	8'	10"	I #4 WITHIN I2" OF TOP AND #4 BARS	#6 @ 30"
			AT THIRD HEIGHTS	OC *
10'	9'	10"	I #4 WITHIN I2" OF TOP AND #4 BARS	#6 @ 30"
			AT THIRD HEIGHTS	OC **

- TABLE ABOVE ASSUMES BEST SOIL CLASS GW, GP, SW AND SP.
- \* AT 8' AND 9' WALLS, VERTICAL REINFORCING NOT REQUIRED IF 15% DESIGN COMPRESSIVE STRENGTH AND 7 DAYS BEFORE BACKFILL IS ATTAINED
- \*\* AT IO' WALLS, ADDITIONAL ENGINEERING REQUIRED IF BACKFILLED BEFORE 75% DESIGN COMPRESSIVE STRENGTH IS ATTAINED
- 4. FLATWORK: WELDED WIRE FABRIC (WWF 6"X6" X NO. 10) RECOMMENDED IN ALL FLATWORK. IT SHALL CONFORM TO ASTM AIB5. LAP TWO SQUARES AT JOINTS AND TIE AT 3'-O" O.C. FURNISH WWF IN FLAT SHEETS.
- 5. PLAN CONTROL JOINTS AT 10-12' OC BOTH DIRECTIONS. WWF MUST NOT CROSS CONTROL JOINTS.
- 6. DECOUPLE FLATWORK FROM WALLS.
- 7. WELDED WIRE FABRIC SHALL BE SUPPORTED ON CONCRETE BRICKS SP. AT 24" OC EACH DIRECTION ON GRADE. WELDED WIRE FABRIC SHALL BE SUPPORTED ON ELEVATED DECK WITH CONTINUOUS BOLSTERS LOCATED OVER JOISTS AND BEAMS.
- 8. CLEAR CONCRETE COVER OVER BARS SHALL BE IN ACCORDANCE WITH ACI 318.
- 9. ACCESSORIES SHALL HAVE UPTURNED LEGS AND BE PLASTIG DIPPED AFTER FABRICATION. ACCESSORIES FOR REINFORCING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT ACI
- IO.LAP REINFORCING TO DEVELOP THE FULL TENSION CAPACITY OF THE (SMALLER) BAR.

- II. NO BARS SHALL BE CUT OR OMITTED IN THE FIELD BECAUSE OF SLEEVES, DUCT OPENINGS, OR RECESSES. BARS MAY BE MOVED ASIDE WITHOUT CHANGE IN LEVEL WITH THE PRIOR APPROVAL OF STRUCTURAL ENGINEER.
- 12. ANCHOR BOLT MATERIAL SHALL CONFORM TO ASTM A36, A301, OR BETTER, AND MEET IRC 2015 CODE.

- I. WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN WOOD COUNCIL, ANSI/AF&PA, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION 2012 (NDS)" INCLUDING "DESIGN VALUES FOR WOOD CONSTRUCTION", NATIONAL FOREST PROTECTION ASSOCIATION.
- 2. ALL LUMBER SHALL BE NEW AND STRAIGHT AS DESCRIBED IN "STANDARD GRADING RULES FOR NORTHEASTERN LUMBER" BY NORTHEASTERN LUMBER MANUFACTURERS ASSOCIATION.
- 3. NEW WOOD FOR STRUCTURAL USE SHALL HAVE A MOISTURE CONTENT AS SPECIFIED IN THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION."
- 4. FRAMING FOR WALLS AND JOISTS SHALL BE SPRUCEPINE -FIR NO. I/NO. 2 OR BETTER. UNLESS NOTED OTHERWISE, DIMENSIONAL LUMBER REPRESENTS NOMINAL SIZES.
- 5. SHEATHING PANELS SHALL BE MARKED WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) TRADEMARK AND SHALL MEET THE LATEST US PRODUCT STANDARD PS I OR APA PRP - 108 PERFORMANCE STANDARDS.
- 6. ALL WALL SHEATHING PANELS SHALL BE NOMINAL 1/2" THICK APA RATED, UNLESS OTHERWISE NOTED, FASTEN WITH 8D COMMON NAIL SPACED AT 6" OC AT PANEL PERIMETER SUPPORTED EDGES AND 12" OC AT INTERIOR INTERMEDIATE SUPPORTS (FIELD). I -3/8" MIN. FASTENER PENETRATION. LAY WALL WITH REQUIREMENTS OF IRC 604.
- 7. ALL ROOF SHEATHING PANELS SHALL BE 5/6" THICK UNLESS NOTED OTHERWISE, C -D EXTERIOR GRADE, APA RATED EXPOSURE I MEETING DOC PSI OR PS2. FASTEN WITH 8D COMMON NAILS SPACED AT 6" OC AT PANEL PERIMETER SUPPORTED EDGES AND 6" OC AT INTERIOR INTERMEDIATE SUPPORTS (FIELD). I 3/8" MIN. FASTENER PENETRATION. LAY ROOF SHEATHING WITH LONG DIMENSION PERPENDICULAR TO SUPPORT MEMBERS.
- 8. WOOD TO STEEL AND WOOD TO WOOD BOLTED CONNECTORS SHALL BE MADE WITH ASTM A307 BOLTS WITH FLAT WASHERS. BOLT HOLES IN WOOD SHALL BE 1/32" LARGER THAN THE BOLT. WOOD NAILERS SHALL BE FASTENED WITH 3/8" DIA. BOLTS STAGGERED AT 20" OC UNLESS OTHERWISE NOTED.
- 9. FASTENING SCHEDULE (SEE ALSO R602.3(1):

I. PLATE TO STUD, DIRECT: 2 - 16D

- II. STUD TO PLATE, TOENAIL: 4 8D
- 10. WOOD IN CONTACT WITH SOIL, MOISTURE, WEATHER, CONCRETE, OR MASONRY SHALL BE PRESSURE TREATED SOUTHERN PINE NO. 2, OR BETTER AND APPROVED FOR THE APPLICATION.
- II. BRACING: THE PERMANENT LATERAL BRACING SYSTEM INCLUDES PLYWOOD, WALL AND ROOF SHEATHING WITH FASTENING AND LAYOUT AS DEFINED BY: SECTION 602. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED TO LATERALLY SUPPORT THE STRUCTURE DURING CONSTRUCTION.
- 12. ENGINEERED LUMBER (LVL, ETC.) SHALL MATCH MANUFACTURER AND SERIES LISTED OR APPROVED EQUIVALENT. PROVIDE LATERAL SUPPORT AT ALL BEARING POINTS AND ALONG COMPRESSION EDGES AT INTERVALS OF 24" OC, OR CLOSER.
- 13. MINIMUM SECTION WIDTH = 1-3/4", 3-1/2", 5-1/4" AND 7" MEMBERS MAY BE COMBINATIONS OF I-3/4"MEMBERS. FOLLOW MANUFACTURER'S GUIDELINES FOR MULTIPLE MEMBER CONNECTIONS AND FOR SIDE LOADED BEAMS.
- 14. WOOD CONSTRUCTION CONNECTORS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE CO., INC., OR APPROVED EQUAL, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, INCLUDING FASTENERS.
- 15. ALL FLUSH FRAMING TO HAVE APPROPRIATELY SIZED METAL JOIST HANGERS.
- 16. LATERAL RESTRAINT REQUIRED AT ENDS OF FLOOR FRAMING SOLID BLOCK OF SAME MATERIAL
- 17. BRIDGING OR CONT. IX3 BRACE NAILED TO UNDERSIDE OF FLOOR FRAMING REQUIRED AT 8' INTERVALS (R502.7.1)
- 18. HEADERS: DEFAULT (MAX. 48" SPAN UNLESS POINT LOAD FROM ABOVE OR LATERAL BRACING REQUIREMENTS. SEE R.502.5):
  - 1. INTERIOR: (2) 2X8
  - 2. EXTERIOR: (2) 2XIO (WITH 2-I/2" RIGID FOAM INSULATION).
- HEADERS: DEFAULT (MAX. 72" SPAN) 3-2XI2 FOR 2 FLOORS CEILING AND ROOF
- 19. WIND BRACING: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 48" OF PANEL WALL. USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH R602.10.6.2. (GENERAL REFERENCE: R602)
- 20. RAFTER/CEILIMG JOIST HEEL CONNECTIONS (VAULTED CLGS @ 1/3) TABLE R802.5.I(9)

# PRE -ENGINEERED WOOD TRUSSES:

- I. ALL PRE-ENGINEERED WOOD TRUSSES SHALL CONFORM TO ANSI/TPII -2002 "NATIONAL DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION."
- 2. THE MANUFACTURER OF THE PRE -ENGINEERED TRUSSES SHALL BE A TRUSS PLATE INSTITUTE (TPI) CERTIFIED PLANT. PROOF OF CERTIFICATION SHALL BE SUBMITTED TO THE DESIGNER/ENGINEER PRIOR TO FABRICATION OF THE WOOD TRUSSES.
- 3. THE CONTRACTOR SHALL ENSURE PROPER HANDLING, BRACING, AND LATERAL RESTRAINT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TEMPORARY AND PERMANENT TRUSS BRACING (INDIVIDUAL AND OVERALL) SHALL BE DESIGNED BY THE TRUSS MANUFACTURER AND INSTALLED BY THE CONTRACTOR. ALL PERMANENT TRUSS BRACING/LATERAL RESTRAINT REQUIREMENTS AND LOCATIONS SHALL BE DETAILED AND SUBMITTED PRIOR TO CONSTRUCTION TO THE ENGINEER OF RECORD BY THE TRUSS MANUFACTURER. ALTERNATIVELY, THE TRUSS DESIGNER MAY DESIGN ALL TRUSSES SUCH THAT NO PERMANENT LATERAL RESTRAINT IS REQUIRED.

- 4. ALL ROOF TRUSSES SHALL BE DESIGN FOR THE FOLLOWING UNIFORM LOADS WITH 51/2"OR 31/2"MAX BEARING. COORDINATE TRUSS BEARING WITH BEARING WALL FRAMING WIDTH:
  - A. SNOW LIVE LOAD: GROUND SNOW LOAD X 0.7=\_XX\_ PSF
  - B. BOTTOM CHORD LIVE LOAD (ATTIC): 20 PSF

C. TOP CHORD DEAD LOAD: 10 PSF

D. BOTTOM CHORD DEAD LOAD:

5. TRUSS SHALL BE DESIGNED FOR AN UNBALANCED UNIFORM SNOW LOADING AS WELL AS ANY DRIFTED VALLEY SNOW LOADING CONDITIONS, AND WIND LOADING AS SPECIFIED IN THE PROJECT BUILDING CODE.

10 PSF

- 6. PRE-ENGINEERED ROOF TRUSSES TO BE APPROVED BY THE STRUCTURAL ENGINEER. TRUSS SHOP DRAWINGS SHALL BE DESIGNED, STAMPED, AND SUBMITTED BY A LICENSED PROFESSIONAL ENGINEER QUALIFIED TO PERFORM THE WORK IN THE STATE WHERE THE PROJECT IS LOCATED. SUBMITTAL SHALL INCLUDE ALL LOADING COMBINATIONS, A FULL REPORT FOR EACH TRUSS, AND TEMPORARY AND PERMANENT LATERAL TRUSS RESTRAINT LAYOUT AND DETAILS.
- 7. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL VENTS, STACKS, RISERS, DRAINS, ETC. BEFORE TRUSSES ARE FIXED IN PLACE.
- 8. ALL TRUSSES SHALL HAVE HURRICANE CLIPS INSTALLED AT EACH END OF EACH TRUSS IN ORDER TO
- 9. ALL TRUSS TO TRUSS CONNECTION DESIGNS ARE RESPONSIBILITY OF THE TRUSS MANUFACTURER.
- IO.ALL TEMPORARY AND PERMANENT TRUSS BRACING (INDIVIDUAL AND OVERALL) IS THE RESPONSIBILITY OF THE TRUSS DESIGNER, BRACING AND LATERAL TRUSS RESTRAINT (INCLUDING DETAILS) SHALL BE SHOWN ON TRUSS DESIGN DRAWINGS AND TRUSS ERECTION DRAWINGS.

- I. CONCRETE MASONRY UNITS (CMU) SHALL BE NOMINAL THICKNESS UNLESS NOTED OTHERWISE.
- MASONRY CONSTRUCTION SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE 5/TMS 402)
- 3. SPECIFIED MASONRY COMPRESSIVE STRENGTH, F'M = 1500PSI.
- 4. HOLLOW LOAD BEARING CMU SHALL HAVE THE FOLLOWING PROPERTIES: ASTM C90, TYPE I, GRADE N-I (NORMAL WEIGHT) WITH A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI ACCORDING TO ASTM CI4O, OVEN DRY WEIGHT OVER 125PCF AND MAXIMUM MOISTURE ABSORPTION OF ISPCF.
- 5. MORTAR SHALL BE ASTM C2TO, TYPE S WITH 28 DAY COMPRESSIVE STRENGTH OF 2000PSI. MIX MORTAR MATERIALS TO PRODUCE MORTAR CUBES HAVING A 2000PSI COMPRESSIVE STRENGTH WHEN TESTED IN ACCORDANCE WITH COMPRESSIVE STRENGTH TEST ASTM C780.
- 6. GROUT SHALL BE ASTM C476, FINE GROUT WITH MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2000PSI.
- 7. VERTICAL AND HORIZONTAL DEFORMED REINFORCEMENT SHALL BE ASTM A615 GR 60 AND HORIZONTAL JOINT REINFORCEMENT SHALL BE ASTM A82, GALVANIZED ACCORDING TO ASTM A641 CLASS I AS SPECIFIED.
- 8. PRISM TESTS ACCORDING TO ASTM E446 ARE REQUIRED PRIOR TO WORK.
- 9. GROUT CMU SOLID AT EXPANSION ANCHOR LOCATIONS.
- IO. CORES AND BOND BEAMS WITH REINFORCING SHALL BE FILLED SOLIDLY WITH GROUT. FILLING SUCH CORES AND BOND BEAMS WITH MORTAR IS STRICTLY PROHIBITED. IN ADDITION, CARE SHALL BE EXERCISED IN KEEPING CORES FREE FROM MORTAR DROPPINGS.
- II. MINIMUM REINFORCING REQUIREMENTS FOR REINFORCED CMU WALLS SHALL CONFORM TO THE SCHEDULE SHOWN ON THE CONTRACT DRAWINGS AND THE APPLICABLE BUILDING CODE
- 12. GROUT SHALL BE PLACED USING LOW OR HIGH LIFT GROUTING PROCEDURES CONFORMING TO ACI/ASCE. TERMINATE GROUT POURS I-I/2" BELOW TOP COURSE OF PLACEMENT. REINFORCING SHALL BE SPLICED A MINIMUM OF 40 BAR DIAMETERS.
- 13. VERTICAL REINFORCING SHALL BE SECURELY HELD IN PROPER ALIGNMENT AND POSITION DURING GROUTING OPERATIONS BY USING "REBAR POSITIONERS," AS MANUFACTURED BY WIRE BOND OR APPROVED EQUIVALENT. THE PRODUCT, IN ADDITION, SHALL ALLOW FOR GUIDING THE SPLICED REINFORCING DROPPED FROM THE TOP OF THE LIFT.
- 14. MASONRY SHALL BE BRACED DURING CONSTRUCTION, BRACE SPACING SHALL NOT EXCEED TEN TIMES THE WALL THICKNESS BUT NOT LESS THAN THE PROCEDURES LISTED UNDER NOMA-TEK 72
- 15. PROVIDE FULL HEIGHT VERTICAL REINFORCEMENT AT EACH SIDE OF CONTROL JOINTS, WINDOWS, DOORS, AND WALL OPENINGS, AT ALL ENDS OF WALLS AND CORNERS. REINFORCING SHALL BE GROUTED SOLID AND MATCH THE DIAMETER OF THE TYPICAL WALL REINFORCING.

# FIRE RESISTANT CONSTRUCTION

- I. FOLLOW SECTION 302. A FEW COMMON CRITICAL LOCATIONS FOLLOW:
  - A. GARAGE/RESIDENCE OR GARAGE/ATTIC SEPARATION 5/8" TYPE X GYPSM DRYWALL AT GARAGE SIDE WHEN ADJACENT TO LIVING SPACE. 5/8" TYPE X DRYWALL REQUIRED AT CEILING WHEN LIVING SPACE ABOVE. (TABLE R302.6)
  - B. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS REQUIRES MIN. 1/2" GYPSUM (R302.7)
  - C. FIREBLOCKING IS REQUIRED TO ISOLATE EACH FLOOR LEVEL. 2X BLOCKING AND " GYPSUM AND FIBERGLASS/MINERAL WOOL IF SECURE ARE ALL ACCEPTABLE
- 2. DUPLEX/2 FAMILY STANDARD SEPARATION IS 5/8" TYPE X BOTH SIDES. (R302.3)



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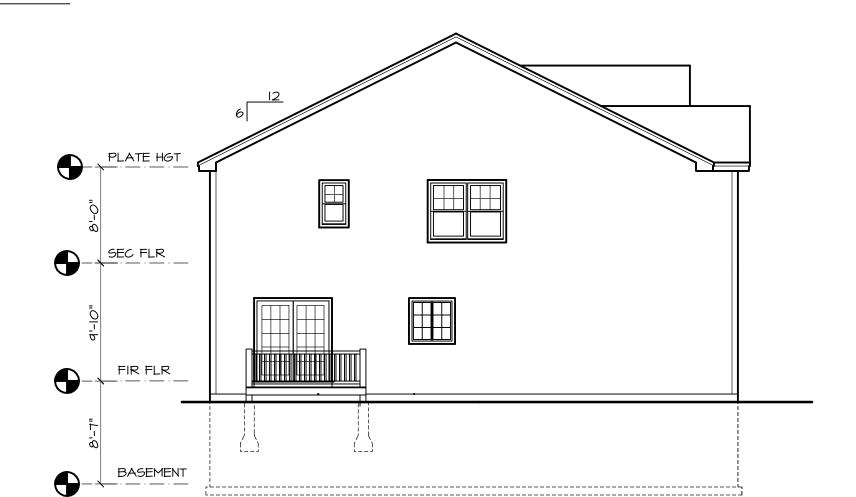
SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE						
MARK	QTY	MODEL NUMBER	R50	NOTES		
А		(3)244DH3049		MULLED DH W/ TRANSOM		
В		(2)244DH3049		MULLION		
С		CN235		DBL. CSMT		
D		(3)244DH3049		MULLED DBL HUNG		
E		244DH2036		DBL. HUNG		
F		244DH2436		DBL. HUNG		

- I. RSO TO BE DETERMINED BY WINDOW MANUFACTURER.
- 2. BEDROOM WINDOWS TO MEET EGRESS
- 3. IN ACCORDANCE WITH I.R.C.(2015)-R312.2, WHERE THE OPENING OF AN OPERABLE WINDOW IS MORE THAN 72" ABOVE THE EXT. FINISHED GRADE OR EXT. DECK BELOW, THE LOWEST PART OF THE CLEAR OPENING IS TO BE A MIN. OF 24" ABV. THE FIN. FLR.
- 4. WINDOWS ARE BASED ON ANDERSEN 200 SERIES TILT-WASH MODEL NUMBERS

	DOOR SCHEDULE						
MARK	QTY	SIZE	RSO .	NOTES			
1		3'0 X 6'8		EXT. DOOR W/ SINGLE SDLT			
2		3'0 × 6'8		FIRE RATED			
3		2'4 × 6'8		INTERIOR			
4		3"O X 6'8		BIFOLD			
5		2'6 X 6'8		INTERIOR			
6		2'4 × 6'8		POCKET DR			
7		6'0 × 6'8		SLIDING PATIO DR			
8		5'0 X 6'8		BIFOLD			
9		2'0 X 6'6		INTERIOR			
10		3'0 X 6'8		9-LITE			
П		2'8 × 6'8		STL INSUL.			

RSO TO BE DETERMINED BY DOOR MANUFACTURER.





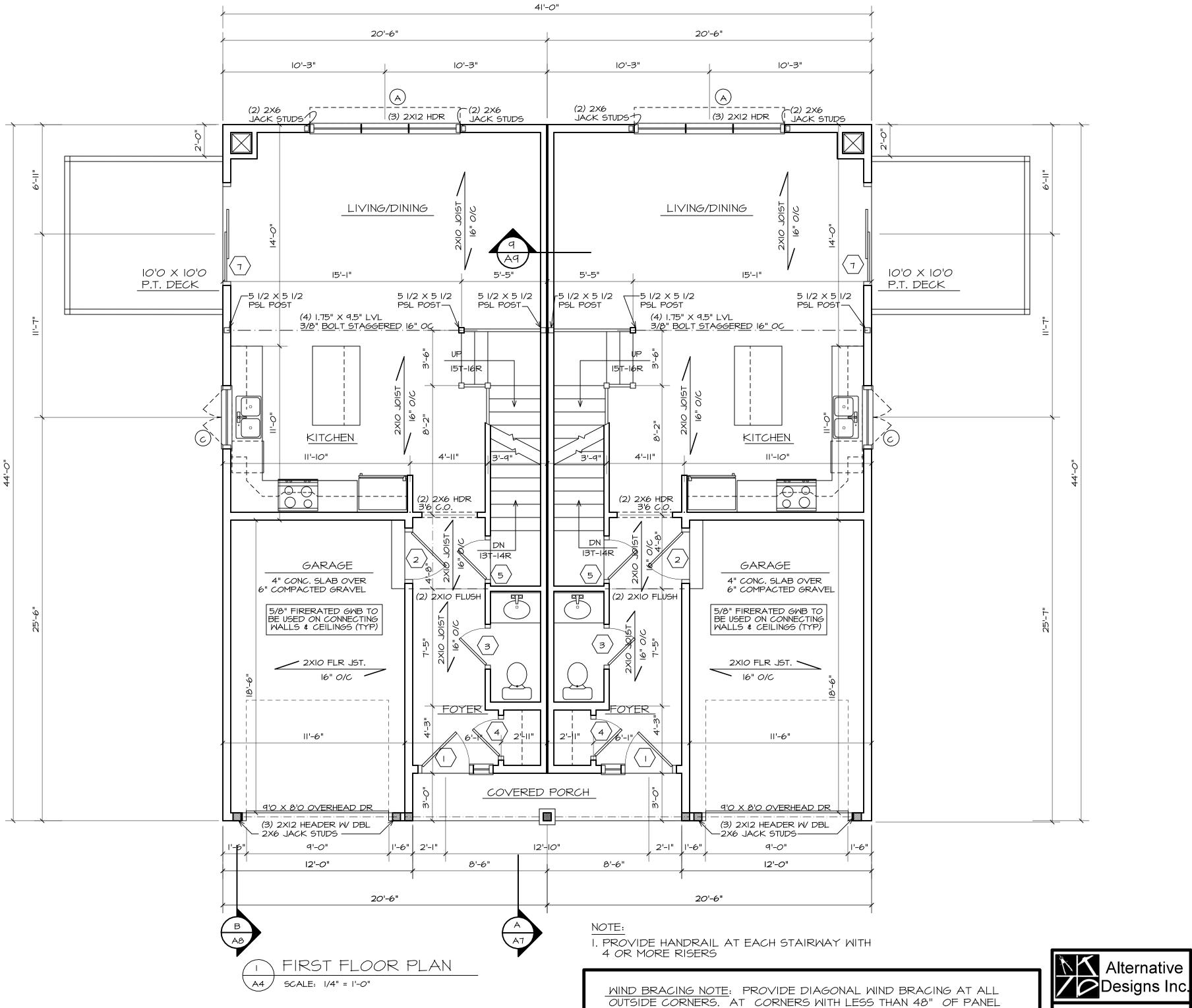


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WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH

INTERNATIONAL BUILDING CODE FIGURE R602.10.6.2



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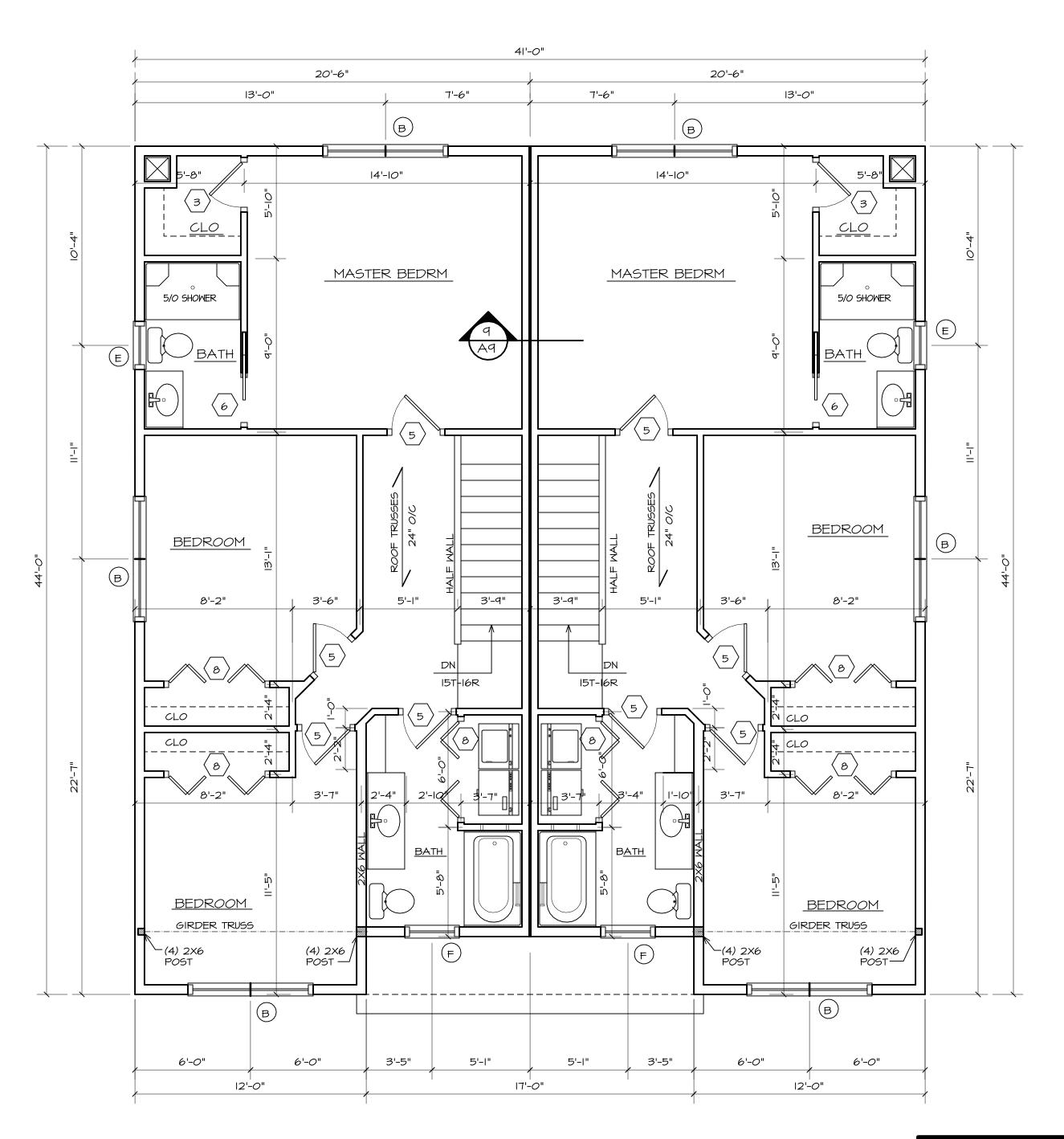
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NOTE: USE TRIPLE 2X6 TOP PLATE ON SECOND FLOOR BEARING WALLS FOR ROOF TRUSSES

NOTE:

I. PROVIDE HANDRAIL AT EACH STAIRWAY WITH 4 OR MORE RISERS

<u>WIND BRACING NOTE</u>: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 48" OF PANEL WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE FIGURE R602.10.6.2





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dimensions & st before construc All construction compliance with New Hampshire Building Codes,

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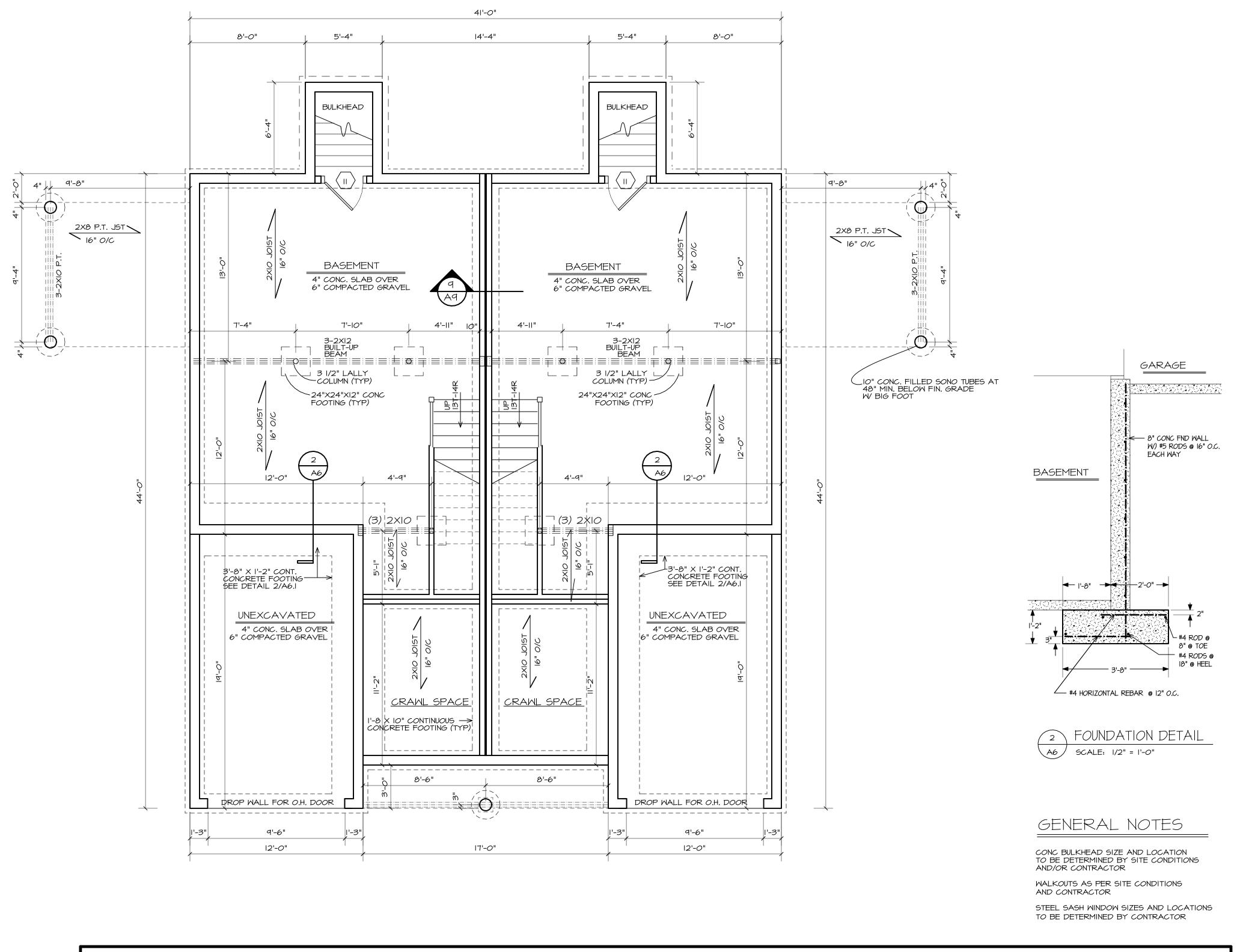
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**A5** 

SECOND FLOOR PLAN

A5 SCALE: 1/4" = 1'-0"





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ensions & structural members ore construction. construction shall be in strict npliance with The State of n Hampshire or Massachusetts idina Codes, whichever applicable.

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**A6** 

NOTE: SEE DRAWING A2 FOR CONCRETE NOTES AND ADDITIONAL INFORMATION

# GENERAL NOTES

- A. R-38 FIBERGLASS BATT INUSLATION (TYPICAL)
- B. ROOF TRUSS (AS DESIGNED BY OTHERS); PLYWOOD SHEATHING, 15# BUILDING PAPER, & 235# ASPHALT SHINGLES W/ ICE SHIELD AT RAFTER TAILS AND VALLEYS.
- C. 2X6 COLLAR TIES AT 32" O/C (TYPICAL)
- D. 2X6 CEILING JOISTS AT 16" O/C
- E. METAL DRIP EDGE AND FASCIA VENTED VINYL SOFFIT
- F. 2X6 STUDS I6" O/C, R-2I FIBERGLASS BATT INSULATION IN BETWEEN, 7/16" OSB SHEATHING & EXTERIOR SIDING W/ "TYVEK" OR EQUAL (OPTIONAL) AND 1/2" GYP. BD. ON THE INTERIOR.
- G. 2-2X6 TOP PLATES AND I-2X6 SHOE (BOTTOM PLATE) PRESSURE TREATED USED AT CONTACT WITH CONCRETE
- H. 2XIO FLOOR JOISTS 12/16" O/C (UNLESS OTHERWISE NOTED ON PLANS) WITH 3/4" T&G SUBFLOOR (GLUED & NAILED) R-30 FIBERGLASS BATT INSULATION AT FIRST FLOOR ONLY.

- J. 8" CONCRETE FOUNDATION WALL WITH I-2X6 PRESSURE TREATED SILL PLATE W/ SILL SEALER; ANCHOR BOLTS @ 4'-0" O.C. (TYPICAL)
- K. 4" CONCRETE SLAB FLOOR W/ W.W.F. OVER (MIN. 6") COMPACTED GRAVEL
- L. 8 " CONCRETE FROST WALL TO BE 60" MIN. BELOW FINISHED GRADE
- M. I'-4" X 8" CONTINUOUS CONCRETE FOOTING (TYPICAL)
- N. 3-2XI2 BUILT-UP BEAM OVER 3 I/2" DIAM. STEEL LALLY COLUMN WITH TOP AND BOTTOM END PLATES, OVER 24"X24"X12" CONCRETE FOOTINGS.
- O. IX3 STRAPPING AT 16" O/C & 1/2" GYP. BD. (TYPICAL)
- P. 3-2XI2 STAIR STRINGERS
- Q. CONTINUOUS RIDGE VENT
- R. 2X6 STUD WALL @ 16" O.C.
- S. HURRICANE CLIPS AND FRAMING ANCHORS AS REQ'D.
- T. 2" RIGID INSULATION INSIDE FACE OF CONCRETE WALL TO TOP OF SLAB

### DESIGN LOADS

LIVE LOAD AT LIVING SPACES: 40 PSF LIVE LOAD AT SLEEPING SPACES: 30 PSF GROUND SNOW LOAD: 60 PSF

FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER ALL PARALLEL BEARING WALLS

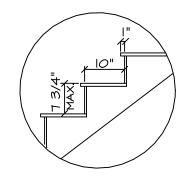
PROVIDE IX4 CROSS BRIDGING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.

WHERE PREENGINEERED FLOOR OR ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.

ALL LUMBER MUST BE NO. 2 OR BETTER, SPRUCE - PINE - FIR.

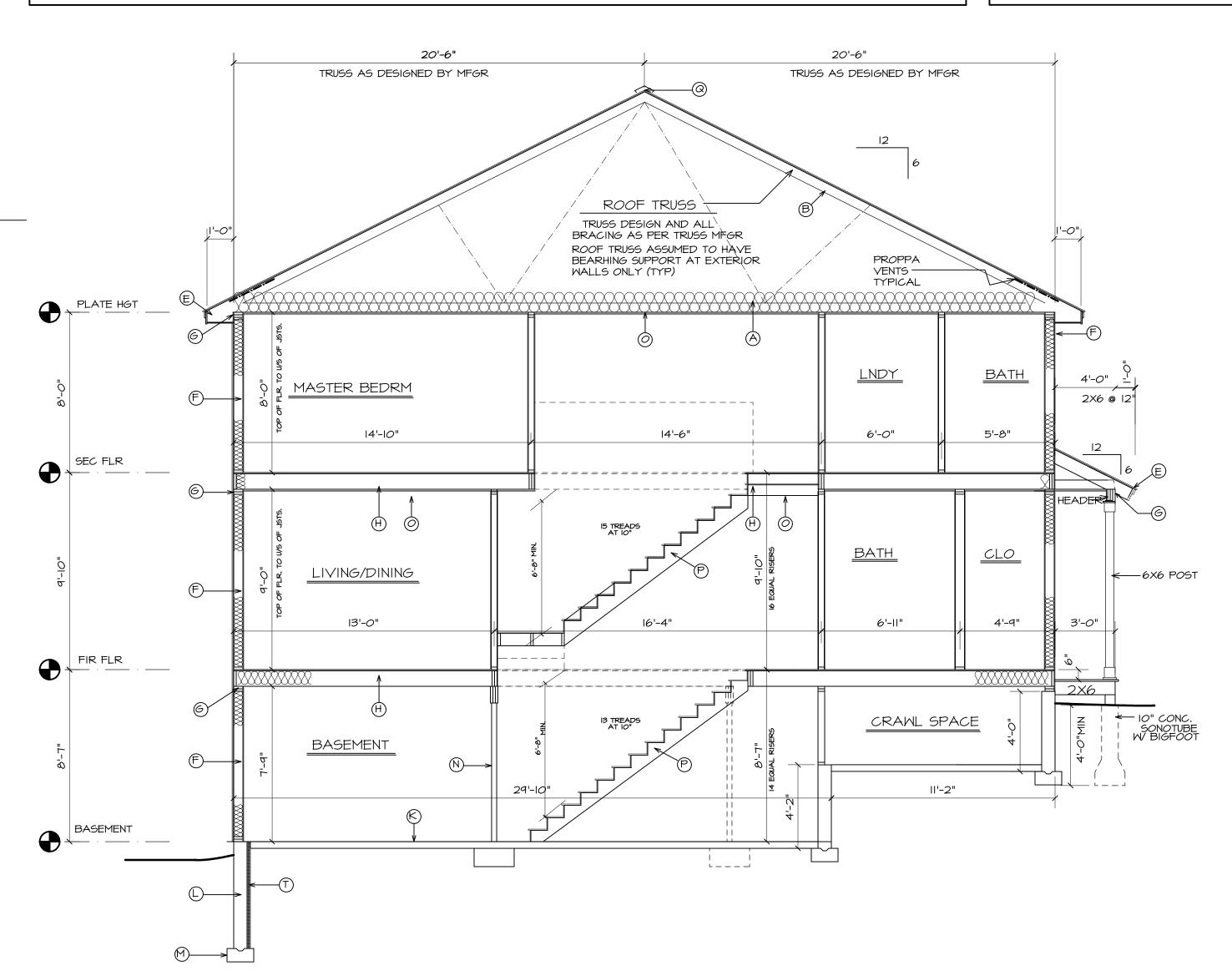
PROVIDE MOISTURE VAPOR RETARDERS IN ALL FRAMED WALLS, FLOORS AND ROOF/CEILINGS IN ACCORDANCE WITH I.R.C. SECTIONS R-506.2.3 AND R702.7

ATTIC ACCESS (MIN 22" X 30") LOCATION TO BE DETERMINED BY CONTRACTOR



STAIR CODE

NOT TO SCALE





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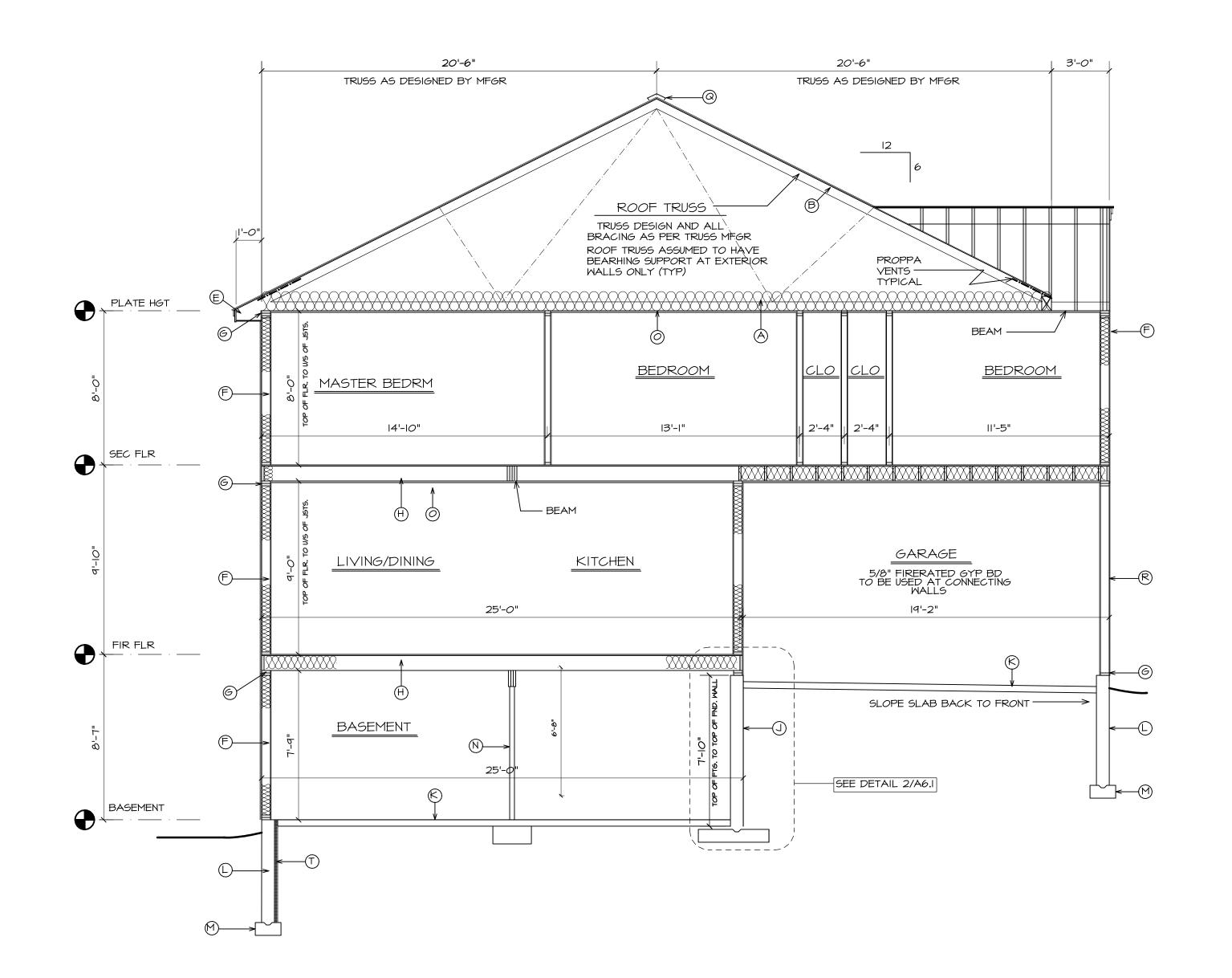
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# NOTE: SEE DRAWING A7 FOR GENERAL NOTES AND ADDITIONAL INFORMATION





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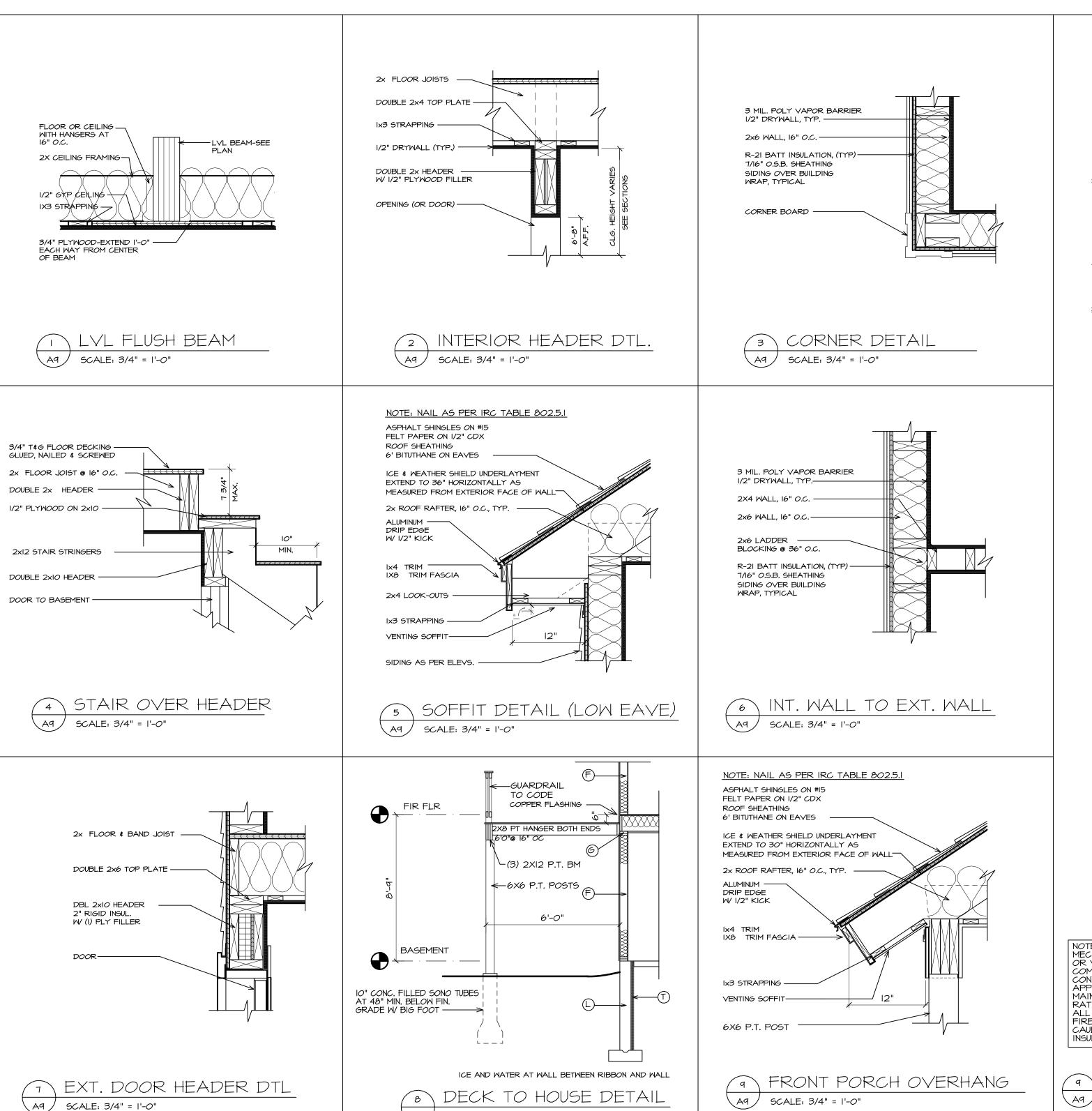
> ons & structural members
> construction.
> struction shall be in strict
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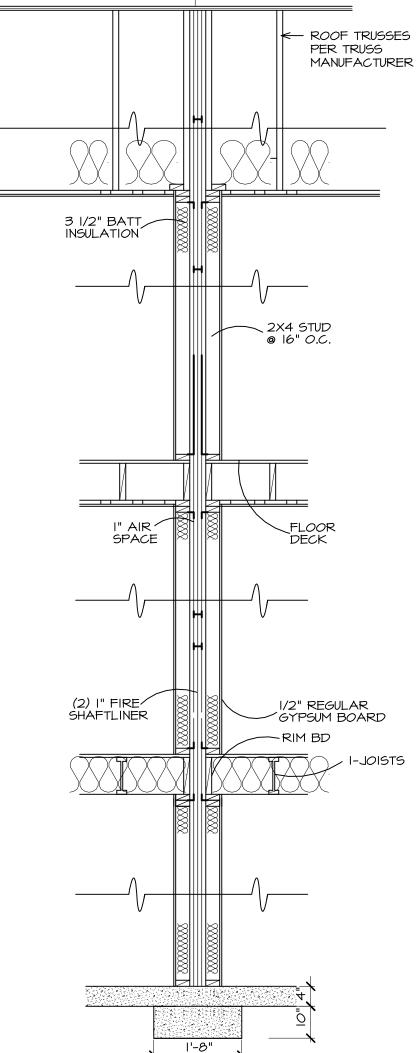


SCALE: 3/4" = 1'-0"

# PARTY WALL SPECIFICATIONS

GA FILE NO. ASM 1002 FIRE RATED - 2 HR STC RATING 60 TO 64 UL DESIGN U373





NOTE: NO PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS IN CAVITIES OF COMMON WALLS. ELECTRICAL CONNECTIONS SHALL BE THROUGH APPROVED METHODS FOR MAINTAINING FIRE RESISTANCE RATINGS OF COMMON WALLS. ALL PENETRATIONS TO BE FIRE-STOPPED WITH FIRERATED CAULKING OR FIRERATED INSULATION

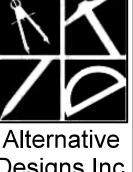
NOTE: COMMON WALL TO BE CONTINUOUS FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING

NOTES:

4'-0" FIRERATED SHEATHING TO BE USED ON BOTH SIDES OF ROOF JOINTS

9 TYPICAL PARTY WALL DETAIL

A9 /SCALE: 1/2" = 1'-0"



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