



Town of Hopkinton

330 Main Street • Hopkinton, New Hampshire 03229 • www.hopkinton-nh.gov
Tel: 603-746-3170 Fax: 603-746-3049

HOPKINTON PLANNING BOARD PUBLIC NOTICE - AGENDA SEPTEMBER 11, 2018

Notice is hereby given that the Hopkinton Planning Board will meet on Tuesday, September 11, 2018, at 6:30 PM in the Hopkinton Town Hall, 330 Main Street, Hopkinton, NH, to review and take action on the following:

- I. Call to Order
- II. Approval of Meeting Minutes of August 14, 2018
- III. Conceptual Consultations
- IV. Applications.

#2018-8 Dave Barkie requesting Site Plan Review for retail, closed storage and associated outside storage on property owned by Lisa Thorne, located off Maple Street in the M-1 district, Tax Map 227 Lot 40.

- a) Determination Completeness
- b) Public Hearing
- c) Deliberation and Action on Application

#2018-9 Deborah Allen requesting Site Plan Review to operate a year-round farm-stand and to engage in agritourism activities, located at 258 Dustin Road, owned by Deborah and Mark Allen, in the R-3 district, Tax Map 224 Lot 39.

- a) Determination Completeness
- b) Public Hearing
- c) Deliberation and Action on Application

- V. Other Business
- VI. Adjournment.

The Planning Board reserves the right to adjourn the meeting/public hearing at 9:30 PM. All remaining agenda items will be rescheduled for review at the Planning Board's next scheduled meeting/public hearing.



Town of Hopkinton

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HOPKINTON PLANNING BOARD

MINUTES

August 14, 2018

The Hopkinton Planning Board met on Tuesday, August 14, 2018 at 6:30 PM in the Town Hall. Members present: Chairman Bruce Ellsworth, Vice-Chairman Michael Wilkey, Celeste Hemingson, Richard Steele, and James Fredyma. Members absent: Ex-Officio Sabrina Dunlap, Jane Bradstreet, Alternate Timothy Britain, and Alternate Clarke Kidder. Planning Director Karen Robertson was absent.

Chairman Ellsworth declared a quorum present and all members would be voting.

I. Review of the Minutes and Notice of Decision of June 12, 2018, and Minutes of July 10, 2018

Michael Wilkey, seconded by Celeste Hemingson, moved to APPROVE the Minutes of June 12, 2018, as presented. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

James Fredyma, seconded by Richard Steele, moved to APPROVE the Notice of Decision of June 12, 2018 as presented. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

James Fredyma, seconded by Celeste Hemingson, moved to APPROVE the Minutes of July 10, 2018, as presented. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

II. Conceptual Consultations.

Keith Livermore sought guidance on a lot line adjustment for property that he, his wife, Peter Smith and his wife own jointly in Webster and Hopkinton. They own two adjoining lots with frontage on Dustin Road, Webster and back acreage in Hopkinton. One lot of approximately 5 acres and the second lot of approximately 23 acres will be combined and a new lot line will result in two approximately 14 acre lots. Both existing lots meet Webster's residential house lot size and road frontage requirements. Webster has approved building permits on both existing lots and the Smiths have begun construction. The Livermores and Smiths described this plan as they retirement homes. The Livermores and Smiths will be requesting approval of the lot line adjustment from the Webster Planning Board on Thursday, August 16, 2018. Chairman Ellsworth recommended they seek similar approval from the Hopkinton Planning Board at its next regular meeting, presuming Webster approves their request.

Subject to review and approval.

III. Applications.

#2018-6, Higginson Land Services on behalf of Loren Clement and Shawn McCluskey, requesting a lot line adjustment of properties owned by Loren and Holly Clement and Shawn McClusky, 76 and 86 Maple Street in the VR-1 district, Tax Map 102, Lots 42 and 43.

Dan Higginson of Higginson Land Services, 76 Patterson Hill Road, Henniker, presented on behalf of the owners. This request is similar to a previous request approved by the Hopkinton Planning Board at the June 12, 2018 meeting for a lot line adjustment on the southern property boundary. This request is for the northern property boundary. If approved, it will enable further approval of a building permit for an addition to the Clement residence.

After a brief discussion, and upon a motion by Michael Wilkey, seconded by Celeste Hemingson, move to **ACCEPT** Application #2018-06 as complete and for consideration. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

Chairman Ellsworth asked if there was any Public Comment about the proposal. There was none.

There being no further discussion, Michael Wilkey, seconded by Celeste Hemingson, moved to **APPROVE** Application #2018-06, the lot line adjustment, as presented. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

#2018-7 River House Properties, LLC, requesting Site Plan Review for the five (5) residential units on property at 1966 Maple Street in the M-1 district, Tax Map 210 Lots 18 and 26.

Michael J. Hammer, Meridian Land Services, Inc., PO Box 118, Milford, NH appeared on behalf of River House Properties, LLC. Peter Grenier, a principal of River House Properties, LLC, was present.

Mr. Hammer reviewed the proposal for the Board. Most of the discussion focused on the access to and egress from the property from Maple Street and West Hopkinton Bridge Road, and whether it should be clockwise or counterclockwise around the building, with some board members expressing concern about one option or the other. Mr. Hammer indicated the access to Maple Street met sight distance requirements, while the egress to West Hopkinton Bridge Road/un-named paved road directly in front of the building did not. The egress point is limited to a ten mile-an-hour speed limit and minimal traffic, making it a more desirable egress, and closer to the parking area. The Town Director of Public Works, by e-mail, expressed concern about the egress, calling it dangerous and suggesting an alternative be suggested. He did not, however offer any suggestions to the owner's representative. Mr. Hammer described access from Maple Street and egress to West Hopkinton Bridge Road/un-named paved road directly in front of the building as a better choice than the reverse access and egress option.

Some Board members commented about follow-up with the Road Agent and Fire Department about access and egress to the building.

Mr. Hammer was asked about exterior lighting. Mr. Hammer and Mr. Grenier responded they did not plan any additional changes to present lighting, only a replacement of the existing fixtures. Mr. Hammer was reminded to review the Town ordinance to ensure compliance.

After a brief discussion, and upon a motion by James Fredyma, seconded by Richard Steele, move to **ACCEPT** Application #2018-07 as complete and for consideration. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

Chairman Ellsworth asked if there was any Public Comment about the proposal. Mr. Mark Dell'Orfano, representing The Bedford Corporation, an abutter, spoke. He referred to the Zoning Board approval and the Town's master plan. Mr. Dell'Orfano described the proposal as a "good project" and urged favorable consideration.

There being no further discussion, James Fredyma, seconded by Richard Steele, moved to **APPROVE** Application #2018-07, site plan review, conditioned upon a final determination as to whether the driveway access and egress shall be counterclockwise or clockwise to the building. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

IV. Other business.

There was no other business.

V. Adjournment.

Chairman Ellsworth declared the meeting **ADJOURNED** at 7:30 PM. The next regularly scheduled meeting of the Hopkinton Planning Board is at 6:30 PM on Tuesday, September 11, 2018 Hopkinton Town Hall.

James Fredyma

(Acting Secretary)



Town of Hopkinton

330 Main Street • Hopkinton, New Hampshire 03229 • www.hopkinton-nh.gov

Tel: 603 746-3170

Fax: 603 746-2952

HOPKINTON PLANNING BOARD NOTICE OF DECISION AUGUST 14, 2018

Notice is hereby given that the Hopkinton Planning Board met on Tuesday, August 14, 2018, at 6:30 PM in the Hopkinton Town Hall, 330 Main Street, Hopkinton, and made the following decision(s):

I. Review of the Minutes and Notice of Decision of May 8, 2018.

Michael Wilkey, seconded by Celeste Hemingson, moved to **APPROVE** the Minutes of June 12, 2018, as presented. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

James Fredyma, seconded by Richard Steele, moved to **APPROVE** the Notice of Decision of June 12, 2018 as presented. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

James Fredyma, seconded by Celeste Hemingson, moved to **APPROVE** the Minutes of July 10, 2018, as presented. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

II. Applications.

#2018-6 Higginson Land Services on behalf of Loren Clement and Shawn McCluskey, requested a lot line adjustment of properties owned by Loren & Holly Clement and Shawn McCluskey, at 76 and 86 Maple Street in the VR-1 district, Tax Map 102 Lots 42 & 43.

Motion by Michael Wilkey, seconded by Celeste Hemingson, to **ACCEPT** Application #2018-06 as complete and for consideration. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

Motion by Michael Wilkey, seconded by Celeste Hemingson, to **APPROVE** Application #2018-06, the lot line adjustment, as presented. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

#2018-7 River House Properties, LLC requested Site Plan Review for five (5) residential units on property at 1966 Maple Street in the M-1 district, Tax Map 210 Lots 18 & 26.

Motion by James Fredyma, seconded by Richard Steele, to **ACCEPT** Application #2018-07 as complete and for consideration. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

Motion by James Fredyma, seconded by Richard Steele, to **APPROVE** Application #2018-07, site plan review, conditioned upon a final determination as to whether the driveway access and egress shall be counterclockwise or clockwise to the building. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

Subject to review and approval.

- III. Adjournment. Chairman Ellsworth declared the meeting **ADJOURNED** at 7:30 PM. The next regularly scheduled meeting of the Hopkinton Planning Board is at 6:30 PM on Tuesday, September 11, 2018 Hopkinton Town Hall.

Karen Robertson
Planning Director



Town of Hopkinton
 Planning Department
 330 Main Street
 Hopkinton, NH 03229

Phone: (603) 746-4487
 Fax: (603) 746-2952
 E-mail: planzone@tds.net
 Web: www.hopkinton-nh.gov

**TOWN OF HOPKINTON, NH
 APPLICATION TO PLANNING BOARD**

This application is for: Subdivision Lot Line Adjustment/Annexation/Merger Site Plan Review
 Conditional Use Permit (ZO Section III) Architectural Design Review (ZO Section IV-A)
 Special Use Permit (ZO Section VIII) Preliminary Review (SD Section II)

Name, mailing address and telephone number of Applicant: Dave Barkie, 1681 Valley Road,
Washington, N.H. 03280, (603) 495-3229

Name, mailing address and telephone number of property owner: Lisa Thorne, 519 Maple Street,
Contoocook, N.H. 03229, (603) 746-1086

Name, mailing address and telephone number of engineer, architect, soil scientist, wetland scientist and land surveyor: _____

Name and mailing addresses of holders of conservation preservation, or agricultural preservation restrictions or easements: N/A

Location of Site: 519 Maple Street Zone: M-1 Tax Map(s): 227 Lot(s): 40

Number of lots and/or units proposed: 2

Type of use of Unit(s) and/or Lot(s):

Residential Temporary Residential Recreational Agricultural Institutional
 Commercial Industrial Accessory

Type of Sewage (check one): Town Septic System Other

Type of Water Supply (check one): Town Dug Well Artesian

Please submit the following with the completed application:

- Narrative description of proposal.
- Copies of any Planning Board meeting minutes from Conceptual Consultation or Preliminary Review.
- Copy of property deed, easements and covenants and restrictions, if any, for subject property.
- Copy of the property tax map showing subject parcel and abutting properties.
- Copies of any ZBA Notices of Decision for project.

**TOWN OF HOPKINTON, NH
APPLICATION TO PLANNING BOARD**

- Site Plan Regulations/Subdivision Regulations/Zoning Ordinance — Read carefully to insure that all applicable requirements in the Site Review Regulations and/or Subdivision Regulations have been addressed. **If requesting waiver(s) from any of the provisions, please submit request in writing at the time of submittal of application/plans.** Plans must be complete at the time of submittal.
- Abutters List as defined by RSA 672:3—Include Tax Map, Lot Number, Name and Mailing Address of all abutters, including those across a street, brook or stream. Names should be those of current owners.
- One (1) set of addressed mailing labels of abutters, applicant, engineer, architect, soil scientist, wetland scientist, land surveyor, and of holders of conservation preservation, or agricultural preservation restrictions or easements.
- Four (4) paper prints of the final plan(s) at full scale.
- Eleven (11) copies of the application, along with all supporting document(s), including reductions of the final plan(s) reduced to no more than 11 x 17 inches.
- Appropriate filing fee: *(Non-refundable) Made payable to Town of Hopkinton*

Major Subdivision	\$500.00 Application Fee, \$100.00 per Lot/Unit
Minor Subdivision	\$250.00 Application Fee, \$100.00 per Lot/Unit
Lot Line Adjustment/Annexation/Merger	\$100.00 Application Fee
Voluntary Merger	\$50.00 Application Fee
Site Plan Review	\$300.00 Application Fee, \$100.00 per Unit (Res./Non-Res.)
	\$150.00 Change of Use
Condition Use Permit	\$500.00 Application Fee (Wireless Telecommunications)
	\$150.00 Application Fee (Co-Location)
Owner/Applicant/Agent Notice.....	\$10.00 Fee per Address
Abutter Notice	\$10.00 Fee per Address
Newspaper Notice.....	Actual Cost

- Recording Fees: *Separate Checks Payable to Merrimack County Registry of Deeds*

Recording Fee	\$26.00 per Page (22" x 34")
LCHIP Fee	\$25.00 per Document

- Conditional Use Permit: If application is for Conditional Use Permit, please attach a detail explanation of compliance with Section 3.10 of the Hopkinton Zoning Ordinance along with explanation of compliance with the Site Plan Review Regulations of the Town of Hopkinton.

The undersigned Applicant is familiar with the Subdivision Regulations, Site Plan Review Regulations, and the Hopkinton Zoning Ordinance and agrees that the proposed actions will be performed in accordance with this application, the attached plans and specifications, the Ordinance, By-Laws and Regulations of the Town. The Applicant also certifies that any plot plan submitted is accurate.

Incomplete and/or vague answers constitute an incomplete application, as does omission of the application fees, and therefore, the application will not be scheduled for a Public Hearing.

Date: 8/20/18 Signature of Applicant: D. Blum Member Summit Holdings LLC
 Date: 8/20/18 Signature of Owner: Rosa A. Thorne

For Planning Board Use:	
Completed Application Filed: _____	Approved or Denied: _____
Amount of Fees Paid: _____	Plan Filed At MCRD: _____
Notice Advertised & Posted: _____	Plan Number: _____
Certified Notices Mailed: _____	
Accepted for Consideration: _____	

Town of Hopkinton, NH
Site Plan Review Checklist

In cases where not all items are applicable, draw a line through the items that are not applicable. All requests for waivers must be in writing with the application.

ALL APPLICATIONS

1. Ten (10) copies of completed application, all associated documentation and checklist;
2. List of names and addresses of abutters and use of abutting properties, identified with location of the structures and access roads;
3. One (1) set of address mailing labels of abutters, applicant, engineer, architect, soil scientist, wetland scientist, land surveyor, and any holders of conservation preservation, or agricultural preservation restrictions or easements;
4. The appropriate fee;
5. Site plan: 24" by 36" sheet size maximum, scale not less than 1" = 100', match lines where needed, date, title, graphic scale, north arrow, location map, legend, name & address of developer/applicant, designer/engineer, and owner of record;
6. Four (4) prints of each plan sheet at full scale and one (1) reduction of each plan reduced to no more than 11" x 17";
7. All existing and proposed easements;
8. Site plan showing boundaries, existing natural features including watercourses & water bodies, trees & other vegetation, topographical features, and other pertinent features that should be considered in the site design process;
9. Plan of all buildings depicting their type, size, and location (setbacks);
10. Location of off-street parking and loading spaces with a layout or the parking indicated;
11. The location, width, curbing and type of access ways and egress ways (driveways), plus streets and sidewalks within and around site;
- NA* 12. Location, size, and design of proposed signs and advertising or instructional devices;
13. Location and type of lighting for all outdoor facilities, including direction and area of illumination;
14. Right-of-way lines of all existing adjoining streets;
15. Location and type of Water supply & sewage disposal facilities;
16. Zoning districts and boundaries for site and within 1000 feet of site;
17. 100 year flood elevation line, where applicable;
18. An elevation view or photograph of all buildings indicating their height, width and surface treatment;
19. Landscaping plan showing required details described within the Site Plan Review Regulations, and
20. Other required exhibits or data in order to adequately evaluate the proposal.

Town of Hopkinton, NH
Site Plan Review Checklist

PROJECTS REQUIRING NEW OR ADDITIONAL BUILDINGS OR CHANGES TO THE EXTERIOR DIMENSIONS OF EXISTING OR CHANGES TO EXISTING CONTOURS AND FINISHED GRADE ELEVATIONS, INCLUDING TYPE, EXTENT, AND LOCATION OF LANDSCAPING, PARKING AND OPEN SPACE AREAS SHALL SUBMIT THE FOLLOWING IN ADDITION TO ABOVE:

- 1. Reproducible mylar, to be retained by the Planning Board at its option;
- 2. Plan of all buildings with their type, size, location (setbacks) and elevation of first floor indicated: (assume permanent onsite elevation);
- 3. The size and proposed location of water supply and sewage facilities and provision for future expansion of sewage and water facilities, and all distances from existing water and sewage facilities on the site and on abutting properties to a distance of 200 feet;
- 4. The location, elevation and layout of catch basins and other surface drainage features;
- 5. Existing and proposed contours and finished grade elevations – all contours shall be a minimum of 2-foot intervals;
- 6. The type, extent and location of existing and proposed landscaping and open space areas indicating what existing landscaping and open space areas will be retained;
- 7. The size and location of all public service connections – gas, power, telephone, fire alarm, (overhead or underground);
- 8. Surveyed property lines showing their angles, distances, radius, lengths of arcs, control angles, along property lines and monument locations and names of all abutters;
- 9. If a subdivision, the lines and names of all proposed streets, lanes, ways, or easements intended to be dedicated for public use shall be indicated and all Subdivision Regulations shall apply, and
- 10. Erosion and sedimentation control plan.

TOWN OF HOPKINTON, NH
ARCHITECTURAL DESIGN REVIEW CHECKLIST

Planning Board approval of an Application for Architectural Design Review shall be required prior to the issuance of a building permit for the following activities (check as applicable):

- New building construction to be used for non-residential or multi-family purposes; or
- Additions or alterations to buildings used for non-residential or multi-family purposes which increase or decrease the square footage of the building; or
- Renovation, rehabilitation or reconfiguration of building exteriors where such buildings are used for non-residential or multi-family purposes.

The **Performance Criteria** is intended to encourage building architecture that is complementary to the community. It is intended that the criteria be administered with flexibility and consistency in order to allow for responsive, creative and innovative architectural designs. The criteria is not intended to dictate specific building styles, or to mandate historical preservation, restoration or replication.

In order to approve an Application for Architectural Design Review, the Planning Board shall find that the application demonstrates substantial conformity with the following Performance Criteria:

- (a) The proposed building design is consistent with the purposes of the Architectural Design Review Ordinance.
- (b) The proposed building design demonstrates sensitivity towards and is complementary to, the architectural heritage of Hopkinton.

Building Orientation: How a building is positioned or located on a site can complement or detract from the site and/or the architectural character of the surrounding area. The orientation of proposed buildings should take into consideration building setbacks, spacing between buildings, alignment of building(s), open spaces, access and circulation areas, as may be evidenced in the development pattern of the surrounding area or as determined to be appropriate by the Planning Board; and

Building Scale and Proportion: Building elevations, scale, massing and the proportional relationship between structures can complement or detract from the architectural character of the surrounding area. Building designs should be compatible with or provide a harmonious transition from adjacent sites. The scale and proportion of proposed buildings should take into consideration the scale and proportion of surrounding buildings, as evidenced in the development pattern of the surrounding area, and should also take into consideration natural features, historically significant buildings or features and surrounding land uses. Visual conflicts between properties should be minimized; and

Roofline: Rooflines can provide visual interest and help to reduce the mass of a building. Traditional roofline types such as gabled, hipped, and gambrel that are evidenced in Hopkinton's architectural heritage are strongly encouraged. Type, shape, pitch and direction of roofs should be considered in the design. Flat roofs are strongly discouraged; and

Massing: The physical bulk or mass of buildings, particularly larger or elongated ones, can either enhance or detract from the architectural character of the community. Structures should be carefully designed to break up their mass into smaller visual components providing human scale, variation and depth; and

Architectural Features and Details: Architectural features and details such as cornices, columns, corner trim, doorways, entrances, windows/trim, awnings, dormers, porches, etc., can provide or enhance visual interest, provide a pedestrian scale and help mitigate negative effects of building mass. Architectural features and details should be considered in every building design. Traditional features should be considered in every building design. Traditional features and details associated with Hopkinton's architectural heritage are strongly encouraged; and

Materials, Texture and Color: Exterior building materials, texture and colors should be treated as significant design elements that help define the appearance of a structure and create visual interest. The use of

TOWN OF HOPKINTON, NH
ARCHITECTURAL DESIGN REVIEW CHECKLIST

traditional materials that are consistent with Hopkinton's vernacular or indigenous architecture, or materials having the same visual effect, are strongly encouraged. Consideration should be given to the materials, textures and colors used in the neighborhood; and

- Building Facade:** Facades for new or renovated structures should provide visual interest from all visually accessible sides. Windows, doorways and architectural detailing and patterns should complement the building form and historical context. Facades should be designed to establish a complementary relationship with other site considerations such as pedestrian scale and orientation, signage, landscaping and lighting; and
- Building Renovation or Addition:** Where an existing building has features that are consistent with the Performance Criteria, proposed renovations or additions should be designed to respect the proportions, patterns, detailing, materials, etc., of the original building. Where the existing building does not have features that are consistent with the Performance Criteria, the owner/applicant is encouraged to upgrade the structure to meet the Performance Criteria; and
- Signs:** Signs should be designed to meet the needs of individual uses while complementing the building, the site and its surroundings. The design of building-mounted signs should complement, not detract from the architectural features of the building. Signs should be scaled to the architectural elements that surround it. Consideration should be given to sign form, color, lighting and materials that are compatible with the building and its surroundings; and
- Gateways and Scenic Resources:** Some places in Hopkinton contribute to the landscape character of the community because of their location and scenic qualities. Many such properties and approaches acts as gateways, providing first impressions and reinforcing Hopkinton's sense of place. Consideration should be given towards complementing these resources through the careful citing of new buildings, and the application of the Performance Criteria; and
- Design Continuity:** Each building design, from the simple to the complex, requires the coordination of multiple design elements such as architectural style, form, massing, materials, detailing, etc. The proposed building design shall demonstrate coordination of design elements and an overall design continuity.

WAIVER PROVISION

The Planning Board may grant waivers to the requirements of this Architectural Design Review Ordinance provided that a majority of the Planning Board finds that the criteria set forth in Section 15.8.3 of the Hopkinton Zoning Ordinance regarding "variances" have been satisfied.

In approving waivers, the Planning Board may impose such conditions, as it deems appropriate to substantially secure the objectives of the standards or requirements of the Architectural Design Review Ordinance.

A letter for any such waiver shall be submitted in writing by the applicant for Planning Board review. The letter shall state fully the grounds for the waiver and all of the facts relied upon by the applicant in support thereof.

TOWN OF HOPKINTON, NH
ARCHITECTURAL DESIGN REVIEW CHECKLIST

traditional materials that are consistent with Hopkinton's vernacular or indigenous architecture, or materials having the same visual effect, are strongly encouraged. Consideration should be given to the materials, textures and colors used in the neighborhood; and

- Building Facade:** Facades for new or renovated structures should provide visual interest from all visually accessible sides. Windows, doorways and architectural detailing and patterns should complement the building form and historical context. Facades should be designed to establish a complementary relationship with other site considerations such as pedestrian scale and orientation, signage, landscaping and lighting; and
- Building Renovation or Addition:** Where an existing building has features that are consistent with the Performance Criteria, proposed renovations or additions should be designed to respect the proportions, patterns, detailing, materials, etc., of the original building. Where the existing building does not have features that are consistent with the Performance Criteria, the owner/applicant is encouraged to upgrade the structure to meet the Performance Criteria; and
- Signs:** Signs should be designed to meet the needs of individual uses while complementing the building, the site and its surroundings. The design of building-mounted signs should complement, not detract from the architectural features of the building. Signs should be scaled to the architectural elements that surround it. Consideration should be given to sign form, color, lighting and materials that are compatible with the building

**TOWN OF HOPKINTON, NH
APPLICATION TO PLANNING BOARD**

List of Abutters					
Map	Lot(s)	Property Owner(s) Name	Mailing Address	Office Use Only	
227	4	Southworth-Milton, Inc.	100 Quarry Drive Milford, MA 01757		
227	6	Brenda J. Bailey	512 Maple Street Contoocook, N.H. 03229		
227	7	Dorothy & Gary Graziano, Sr. and Gary Graziano, Jr.	496 Maple Street Contoocook, N.H. 03229		
227	39	Helen L. Barnard Revocable Trust c/o Robert W. Barnard	3675 Amberly Circle, Unit C301 Naples, FL 34112		
227	41	Virginia & Woodbury Roberts	575 Maple Street Contoocook, N.H. 03229		
Professionals					
Applicant		David Barkie	1681 Valley Road Washington, N.H. 03280		
Surveyor		Arthur Siciliano, Jr.	52A Hall Avenue Henniker, N.H. 03229		
Wetland Scientist		Thomas Carr Meridian Land Services, Inc.	P.O. Box 118 Milford, N.H. 03055		
Engineer		Anthony Costello A.C. Engineering & Consulting	43 Bear Hill Road Washington, N.H. 03280		

MERRIMACK COUNTY RECORDS *Kathi L. Guay*, CPO, Register

Return to: Lisa A. Thorne

1449
2-
25-

519 Maple St.

Hopkinton, NH 03229

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS, That We, Thomas K. Thorne, married, of 189 Carter Hill Road, Concord, NH 03303 and Lisa A. Thorne, Married, of 519 Maple Street, Hopkinton, NH 03229, for consideration paid, grant to Lisa A. Thorne, Married, of 519 Maple Street, Hopkinton, NH 03229, with QUITCLAIM covenants,

A certain tract or parcel of land, with the improvements thereon, in the Town of HOPKINTON, County of MERRIMACK, and State of New Hampshire, bounded and described as follows:

Beginning at the east side of the highway known as Highway 127 at the northeast corner of these granted premises;

Thence in a general easterly direction along a stone wall about thirty-seven (37) rods to an iron pin at the end of the wall;

Thence in a general southerly direction along a wire fence about thirty-four (34) rods to an iron post;

Thence in a general westerly line along a fence about thirty-seven (37) rods to an iron pin at the end of a stone wall at the highway;

Thence in a general northerly direction along the stone wall on the easterly side of the highway about thirty-four (34) rods to the point begun at.

Meaning and Intending to describe and convey the same premises conveyed to Thomas K. Thorne and Lisa A. Thorne by deed dated October 8, 2010 and recorded at Book 3219, Page 195 of the Merrimack County Registry of Deed.

This conveyance is made pursuant to the Final Decree of Divorce in the matter of Lisa A. Thorne and Thomas K. Thorne, 6th Circuit Court, Concord Family Division, Case Number 629-2013-DM-00469, dated April 18, 2014, and is exempt from transfer tax pursuant to New Hampshire RSA 78-B:2, XIII.

I, Thomas K. Thorne, ^{spouse of Lisa A. Thorne} hereby release to said Grantee all rights of homestead and all other interests therein.

Signed May, 20, 2014

Thomas K. Thorne

Thomas K. Thorne

Signed May, 22, 2014

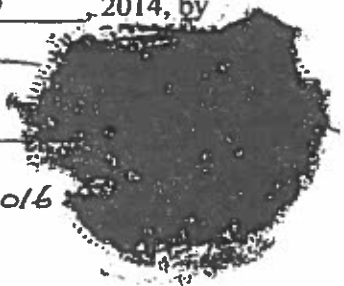
Lisa A. Thorne

Lisa A. Thorne

STATE OF NEW HAMPSHIRE
MERRIMACK, SS.

This instrument was acknowledged before me on May, 20, 2014, by Thomas K. Thorne.

[Signature]
Notary Public / Justice of the Peace
My Commission Expires: August 23, 2016



STATE OF NEW HAMPSHIRE
MERRIMACK, SS.

This instrument was acknowledged before me on May, 22, 2014, by Lisa A. Thorne.

[Signature]
Notary Public / Justice of the Peace
My Commission Expires:





Thorne Property

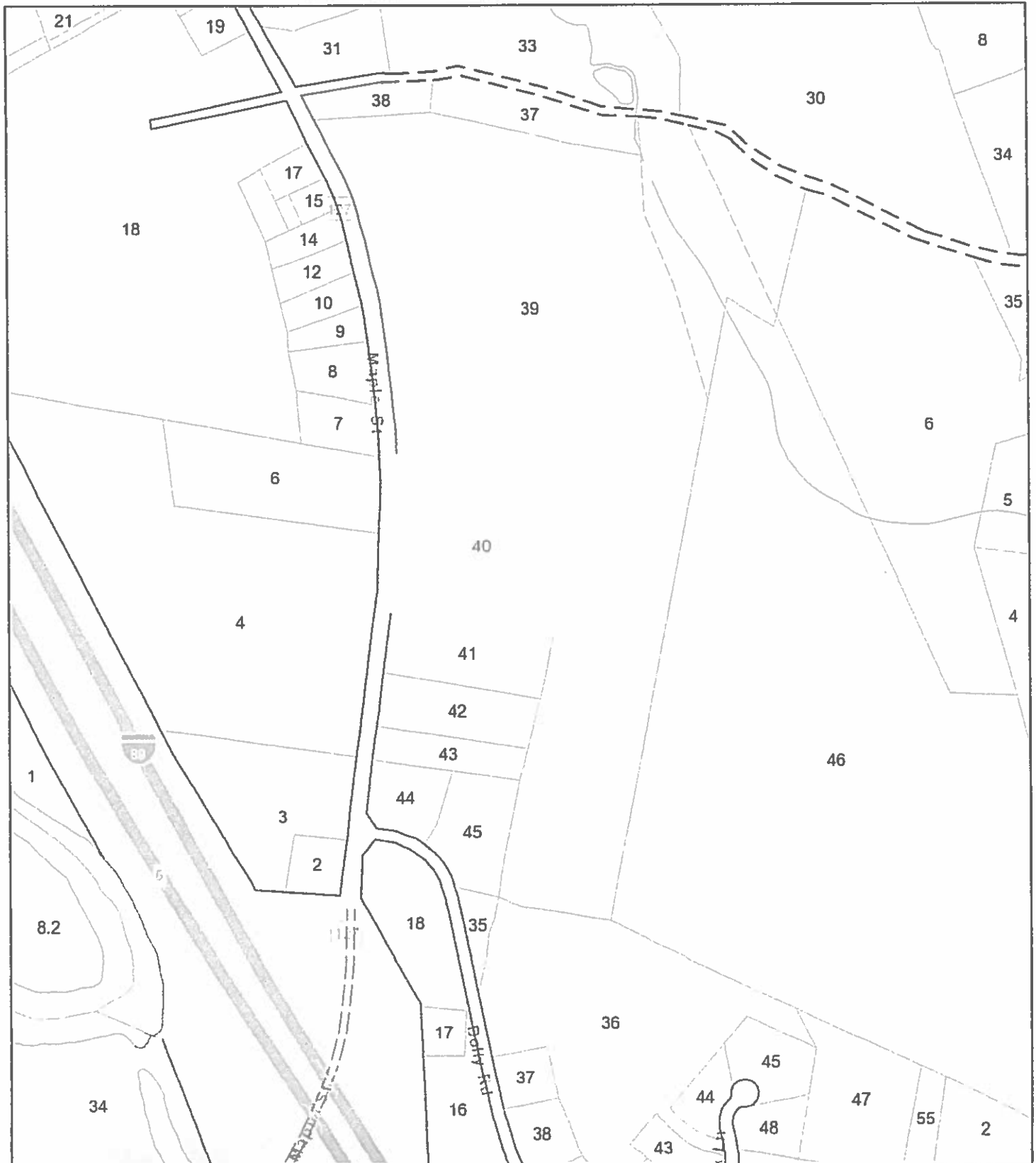
Hopkinton, NH



December 13, 2017

1 inch = 500 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Drainage Summary for

~ Commercial Site Development ~

Tax Map 227 / Lot 40-1

519 Maple Street
Contoocook, New Hampshire

Prepared for:

Summit Holdings, LLC

August 27, 2018



Prepared by:

A.C.Engineering & Consulting
43 Bear Hill Road
East Washington, N.H. 03280

1. Project Description

This project will consist of the clearing and re-grading of land for the construction of a 3,600 s.f. metal framed building with associated paved parking and access. Disturbance activities will include clearing and grubbing within the limits of the work area, the installation of sediment and erosion controls, removal and stockpile of topsoil, excavation to parking sub grade and preparation for final planting and seeding. Approximately 39,000 s.f. (0.9 acres) of land will be disturbed by construction activities. There are no proposed wetland impacts for this project.

2. Site Conditions

The existing site is located on Maple Street in Contoocook, N.H. The property is mostly meadow with trees located across the front, right side and rear property lines as well as small trees around a wetland swale running through the property. This parcel is part of a conditionally approved subdivision with the abutting property to the north. There are three out buildings on the property and a gravel drive is used to access to them from the northerly property. Soils on the property are classified by NRCS as a Metacomet fine sandy loam with slopes ranging from 3 to 15%. Runoff from the site flows on to the southerly abutting property through a wetland running north-south through the property, and to an existing 18" culvert near the southwest corner of the property and passing under Maple Street.

3. Methodology

Runoff computations have been estimated using the SCS TR-55/TR-20 methodology as implemented by HydroCAD 10.00 computer software. The site has been designed to decrease peak flows and volumes for the 10-year storm event. Summaries for the 2 and 50 year storm events have also been provided.

4. Results

Site Runoff 18" Culvert (1S, 10S)	Peak Flow		Volume	
	Pre- Development	Post Development	Pre- Development	Post Development
2 Year Storm	0.90 cfs	1.00 cfs	0.108 af	0.114 af
10 Year Storm	2.04 cfs	2.04 cfs	0.228 af	0.224 af
50 Year Storm	3.96 cfs	3.72 cfs	0.433 af	0.406 af

Site Runoff Through Wetland (2P, 21P)	Peak Flow		Volume	
	Pre-Development	Post Development	Pre-Development	Post Development
2 Year Storm	2.12 cfs	2.09 cfs	0.472 af	0.466 af
10 Year Storm	3.94 cfs	3.85 cfs	1.019 af	1.008 af
50 Year Storm	7.11 cfs	7.40 cfs	1.971 af	1.968 af

5. Erosion Control

Control Measures: Install hay bales, check dams, silt fence and stump grindings in locations shown on Grading Plan. Sediment and erosion control measures shall be in place prior to any excavation operations including the removal of stumps and the removal and stockpile of topsoil. It is recommended that all stumps be ground into mulch and that the mulch be used for erosion control.

Construct additional temporary berms, ditches, traps and basins as may be required during the various phases of construction. Inspect and maintain sediment and erosion control measures on a weekly basis and after every rainfall of 0.5" or greater.

Existing Vegetation & Topsoil: Existing vegetation is to remain undisturbed wherever possible. Stripped topsoil shall be stockpiled, without compaction, and stabilized against erosion. Topsoil stockpiles and disturbed areas where construction activity will temporarily cease for at least 21 days shall be stabilized with temporary seed and straw mulch or stump grindings.

Drainage Structures: Install dry wells and incorporate appropriate sedimentation control measures. The installation of all underground utilities should coincide with that of the drainage structures.

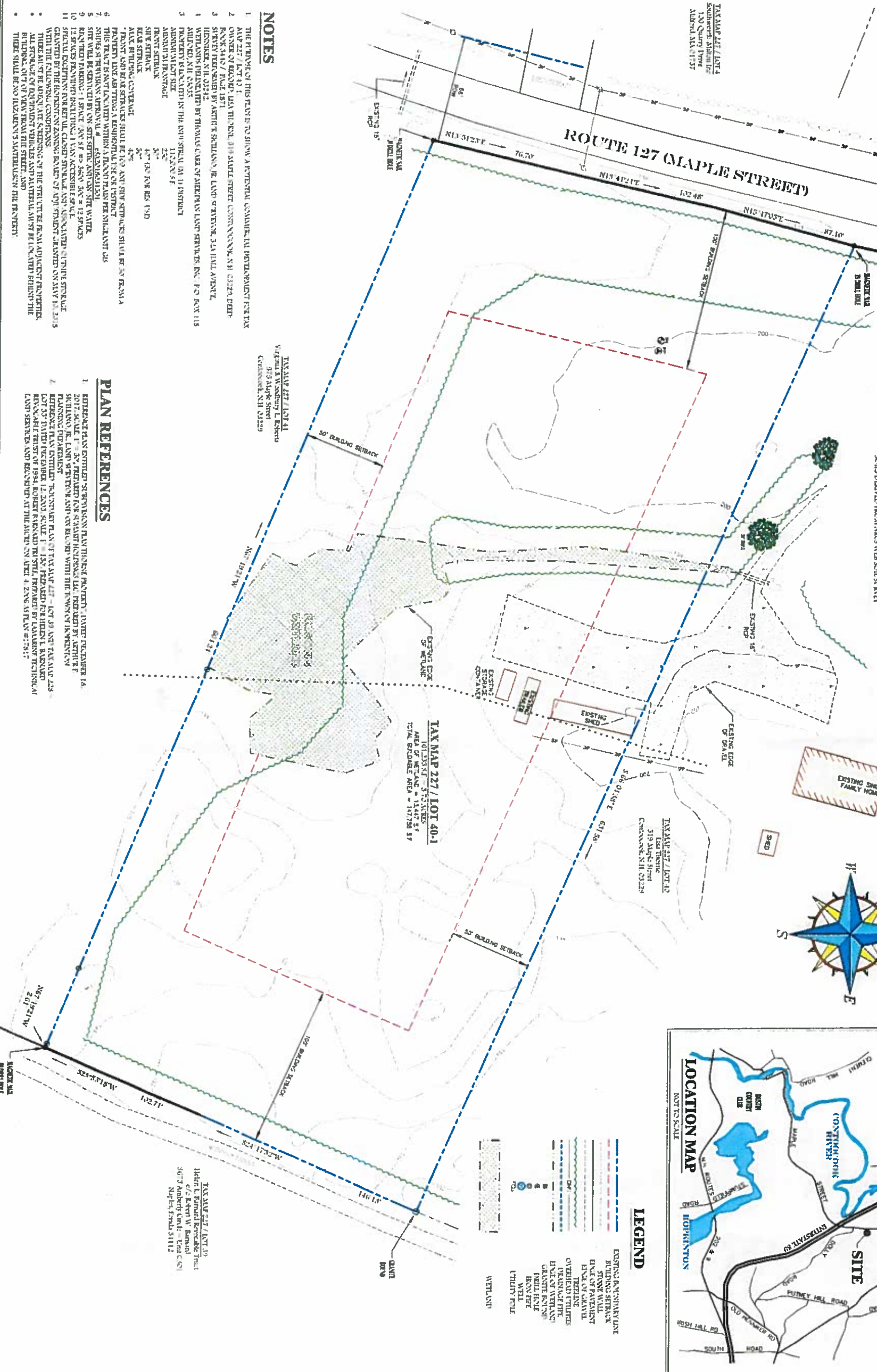
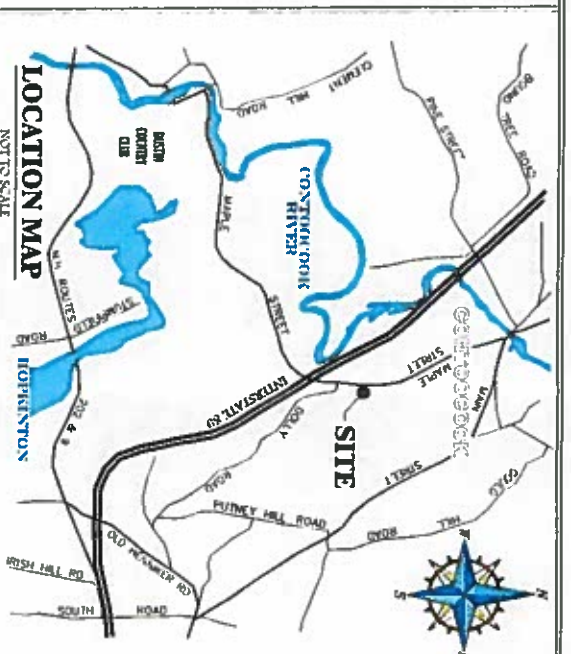
6. Storm Water Control

Roof runoff from the front of the building will be collected in drip line trenches and infiltrated into the ground.

Roof and parking runoff for the back of the building will be collected in a small grass swale/detention area located between the parking area and existing wetland swale. Runoff will be infiltrated up to a depth of 6" after which the additional runoff will exit the swale through an emergency spillway and be directed into the existing wetland swale.

TAX MAP 227 / LOT 6
 313 Maple Street
 Contoocook, NH 03229

SOIL LEGEND
 4503 4506
 ATTACHMENT FOR SANDY LOAM - 3-8% SLATES
 ATTACHMENT FOR SANDY LOAM - 4-13% SILTS, VERY STONY
 SOILS DERIVED FROM BEDS WITH SLATE



LEGEND

- EXISTING W/CONTIGUOUS LINE
- BUILDING SETBACK
- STONE WALL
- EDGE OF PAVEMENT
- END OF CULVERT
- OVERHEAD UTILITIES
- END OF WETLAND
- GRANITE FENCES
- IRON PIPE
- W/TL
- UTILITY POLE
- WETLAND

NOTES

1. THE OWNER OF THIS PLAN IS TO SHOW A POTENTIAL COMMERCIAL DEVELOPMENT FOR TAX MAP 227 / LOT 40-1.
2. OWNER OF RECORD: LISA THORNE, 519 MAPLE STREET, CONTOOCOOK, NH 03229, EBETP, BOOK 3440 / PAGE 1871
3. SURVEY PREPARED BY: ARTIST SKILLMAN, JR. LAND SURVEYOR, 34 HILL AVENUE, HENRIKES, NH 03242.
4. WITHIN THE BOUNDARIES BY THOMAS CURR OF AERIALMAP LAND SERVICES, INC., P.O. BOX 115, ANDOVER, NH 03025.
5. PROPERTY IS LOCATED IN THE ENH STREET (A1) DISTRICT.
6. ADJACENT LOT SIZE: 112,235 SF.
7. FRONT SETBACK: 25'
8. SIDE SETBACK: 40' 00" FOR RD. 19D.
9. REAR SETBACK: 35'
10. ALAK WITHIN CENTERLINE: 45'
11. FRONT CORNER SETBACKS SHALL BE 10' AND SIDE SETBACKS SHALL BE 20' FROM A PROPERTY LINE TO PROPERTY LINE.
12. THIS TRACT IS SUBJECT TO A 10' SETBACK FROM THE WETLANDS.
13. MINIMUM SETBACKS FROM WETLANDS: 10' (A1), 20' (A2), 30' (A3), 40' (A4).
14. THIS TRACT IS SUBJECT TO A 10' SETBACK FROM THE WETLANDS.
15. SITE WILL BE DEMONSTRATED BY ONE SITE SETBACK AND ONE SETBACK.
16. FRONT CORNER SETBACK: 10' (A1), 20' (A2), 30' (A3), 40' (A4).
17. SPACES PROVIDED INCLUDING 1 VEHICLE STORAGE AND UNOCCUPIED STORAGE ARE PROVIDED BY THE HOISTING ZONING BOARD OF NOT FINISHED. UNOCCUPIED STORAGE PROVIDED BY THE HOISTING ZONING BOARD OF NOT FINISHED. UNOCCUPIED STORAGE PROVIDED BY THE HOISTING ZONING BOARD OF NOT FINISHED.
18. ALL STRUCTURES AND UTILITIES SHALL BE LOCATED WITHIN THE BOUNDARIES OF THE TRACT.
19. ALL UTILITIES SHALL BE LOCATED WITHIN THE BOUNDARIES OF THE TRACT.
20. THERE SHALL BE NO HOISTING MATERIALS IN THE PROPERTY.

PLAN REFERENCES

1. EVIDENCE PLAN ENTITLED "SERVING PLAN THROUGH PROPERTY" DATED FEBRUARY 14, 2017, SCALE 1" = 20', PREPARED FOR SQUARE HOLDINGS, L.L.C. PROVIDED BY ARTIST SKILLMAN, JR. LAND SURVEYOR AND ON BEHALF WITH THE TOWN OF HENRIKES.
2. EVIDENCE PLAN ENTITLED "SERVING PLAN THROUGH PROPERTY" DATED FEBRUARY 14, 2017, SCALE 1" = 20', PREPARED FOR SQUARE HOLDINGS, L.L.C. PROVIDED BY ARTIST SKILLMAN, JR. LAND SURVEYOR AND ON BEHALF WITH THE TOWN OF HENRIKES.
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4. EVIDENCE PLAN ENTITLED "SERVING PLAN THROUGH PROPERTY" DATED FEBRUARY 14, 2017, SCALE 1" = 20', PREPARED FOR SQUARE HOLDINGS, L.L.C. PROVIDED BY ARTIST SKILLMAN, JR. LAND SURVEYOR AND ON BEHALF WITH THE TOWN OF HENRIKES.

TAX MAP 227 / LOT 41
 519 Maple Street
 Contoocook, NH 03229

TAX MAP 227 / LOT 40-1
 101,235 SF
 AREA OF WETLAND = 13,447 SF
 TOTAL BUILDABLE AREA = 147,758 SF

TAX MAP 227 / LOT 40
 Lisa A. Thorne
 519 Maple Street
 Contoocook, NH 03229

EXISTING CONDITIONS
Thorne Property
 Tax Map 227 / Lot 40
 519 Maple Street
 Contoocook, N.H.

OWNER:
 Lisa A. Thorne
 519 Maple Street
 Contoocook, N.H. 03229
 Book 3440 / Page 1871

PREPARED FOR:
 David Burke
 1681 Valley Road
 Washington, N.H. 03280

NO.	DATE	DESCRIPTION	BY

A.C.Engineering & Consulting
Civil Engineering & Land Planning
 43 Bear Hill Road
 East Washington, N.H. 03280
 Phone: (603) 325-5114
 acengineer@gmail.net

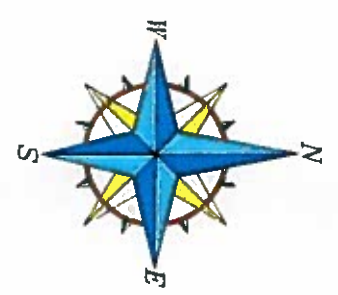
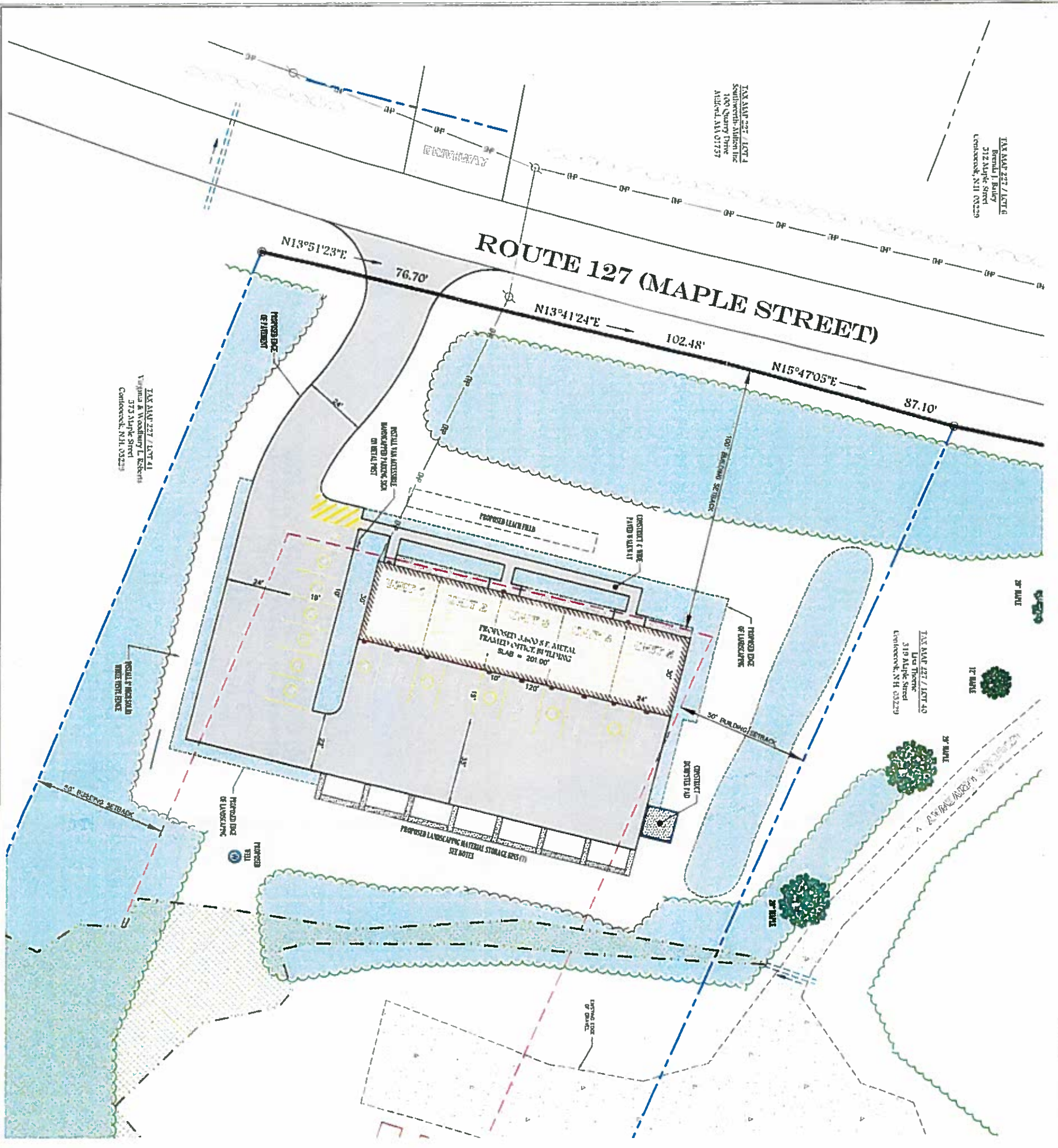
SCALE 1" = 20' 0"
 DATE: 8-20-18
 SHEET: C-1
 SHEET 1 OF 3

TAX MAP 227 / LOT 6
 Brenda J. Bailey
 512 Maple Street
 Contoocook, N.H. 03229

TAX MAP 227 / LOT 4
 Southwest Station Inc
 100 Quarry Drive
 Milford, MA 01757

TAX MAP 227 / LOT 41
 Virginia & Woodbury L. Eskerich
 373 Maple Street
 Contoocook, N.H. 03229

TAX MAP 227 / LOT 43
 Lisa Thorne
 519 Maple Street
 Contoocook, N.H. 03229



LEGEND

	BOUNDARY LINE		BUILDING FOOTPRINT
	STONE WALL		END OF PAVEMENT
	END OF GRAVEL		END OF WETLAND
	END OF LESTER A.P.S.		GRANITE BORING
	WELL HOLE		IRON PIPE WELL
	UTILITY POLE		WETLAND

NOTES

1. THE REVERSE OF THIS PLAN IS TO SHOW A VENTILATOR COMMERCIAL PER HOPLINGTON PLAN TAX MAP 227 / LOT 40-1.
2. OWNER OF RECORD, LISA THORNE, 519 MAPLE STREET, CONTOOCCOOK, N.H. 03229. DEED BOOK 3440 / PAGE 1871.
3. SURVEY PREPARED BY ARTHUR S. SCHMIDT, JR., LAND SURVEYOR, 725 A HALL AVENUE, HENRIEVILLE, N.H. 03442.
4. METERS SHALL BE MEASURED BY THOMAS CAMPBELL OF SHERMAN LAND SERVICES, INC., P.O. BOX 118, AMHERST, N.H. 03824.
5. PROPERTY IS LOCATED IN THE INTERSTATE (04-01) DISTRICT.
6. APPROXIMATE LOT SIZE: 225' X 110' X 110' X 110'.
7. APPROXIMATE FRONT SETBACK: 40' (SEE PLAN).
8. APPROXIMATE SIDE SETBACK: 40' (SEE PLAN).
9. APPROXIMATE REAR SETBACK: 40' (SEE PLAN).
10. MAXIMUM BUILDING COVERAGE: 40%.
11. FRONT AND REAR SETBACKS SHALL BE 100' AND SIDE SETBACKS SHALL BE 50' FROM A PROPERTY LINE ADJACENT TO A RESIDENTIAL USE OR DISTRICT. THIS TRACT IS NOT LOCATED WITHIN A PROPOSED PLANS FOR SUBDIVISION GIS SURVEY DIVISION APPROVAL # 20180001001.
12. SITE WILL BE SERVICED BY ON-SITE SEWER AND ON-SITE WATER.
13. SPECIAL EXCEPTION # 1994-0001-0001-0001-0001-0001.
14. SPECIAL EXCEPTION FOR RETAIL CLOSING STORAGE AND ASSOCIATED OFFICE SPACE GRANTED BY THE HOPLINGTON ZONING BOARD OF ADJUDICATION GRANTED ON MAY 13, 2018 WITH THE FOLLOWING CONDITIONS:
15. THERE SHALL BE ADEQUATE SCREENING OF THE STRUCTURE FROM ADJACENT PROPERTIES.
16. ALL STRUCTURE OF EQUIPMENT VEHICLES AND MATERIALS SHALL BE LOCATED BEHIND THE BUILDING, OUT OF VIEW FROM THE STREET, AND THERE SHALL BE NO HAZARDOUS MATERIALS ON THE PROPERTY.

PLAN REFERENCES

1. SUBMITTANT PLAN DATED 12/20/18, SUBDIVISION PLAN THORNE PROPERTY, DATED DECEMBER 18, 2017, SCALE 1" = 50' PREPARED BY SOUTHWEST STATION INC., PREPARED BY ARTHUR S. SCHMIDT, JR., LAND SURVEYOR AND ON RECORD WITH THE TOWN OF HOPLINGTON PLANNING DEPARTMENT.
2. HOPLINGTON PLAN DATED 10/20/18, SUBDIVISION PLAN THORNE PROPERTY, DATED OCTOBER 20, 2018, SCALE 1" = 50' PREPARED BY SOUTHWEST STATION INC., PREPARED BY ARTHUR S. SCHMIDT, JR., LAND SURVEYOR AND ON RECORD WITH THE TOWN OF HOPLINGTON PLANNING DEPARTMENT.

APPROVED TOWN OF HOPLINGTON PLANNING BOARD

CHAIRPERSON: [Signature] DATE: [Blank]



A.C. Engineering & Consulting
 Civil Engineering & Land Planning
 43 Bear Hill Road
 East Washington, N.H. 03280
 Phone: (603) 325-5114
 acengineering@csinet.net

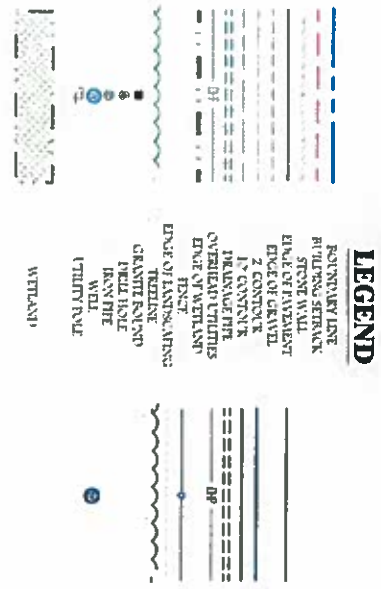
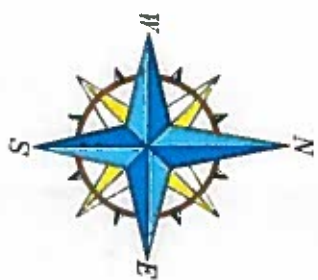
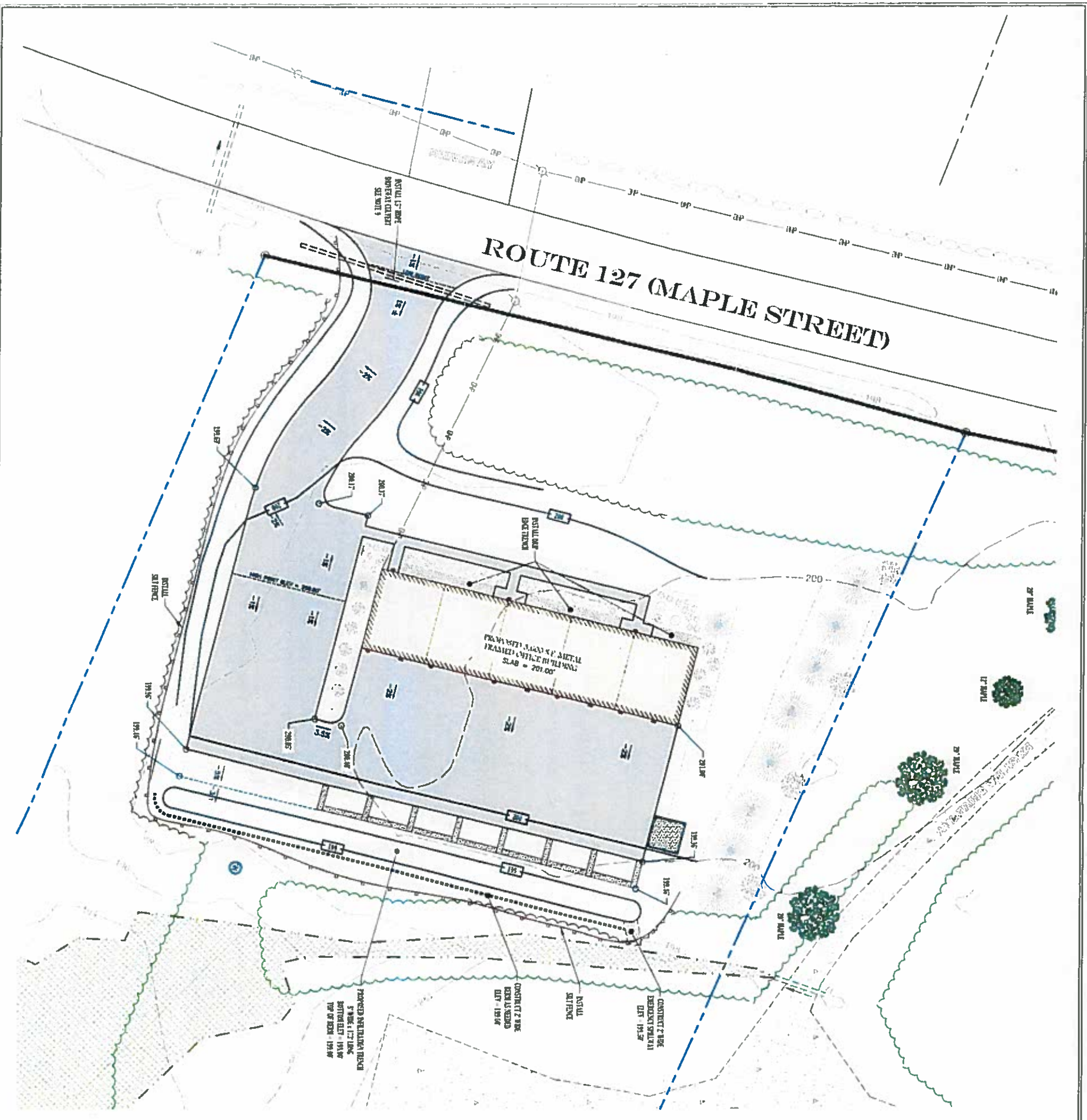
NO.	DATE	DESCRIPTION	BY

OWNER: Lisa A. Thorne
 519 Maple Street
 Contoocook, N.H. 03229
 Book 3440 / Page 1871

PREPARED FOR: Summit Holdings LLC
 43 Bear Hill Road
 Washington, N.H. 03280

SITE PLAN
 Thorne Property
 Tax Map 227 / Lot 40-1
 519 Maple Street
 Contoocook, N.H.

SCALE 1" = 50' FT.
 DATE: 8-20-18
 DWG: C-2



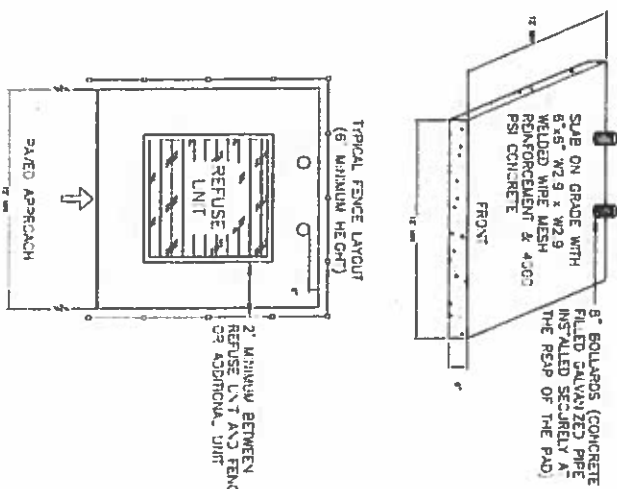
NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW A PRELIMINARY COMMERCIAL DEVELOPMENT FOR TAX MAP 227 / LOT 40-1.
2. OWNER OF RECORD: LISA THORNE, 519 MAPLE STREET, CONTOOCOOK, N.H. 03229 (0287).
3. BOOK 440 - PAGE 1871.
4. SURVEY PREPARED BY: ARTHUR BUCHLAND, JR. LAND SURVEYOR, 324 HILL AVENUE, HENSHAM, N.H. 03242.
5. WITH AND WITHOUT PRELIMINARY BY THOMAS CARBON AMERICAN LAND SERVICES, INC., P.O. BOX 118, MILFORD, N.H. 03055.
6. PROPERTY IS LOCATED IN THE INDUSTRIAL (O-1) DISTRICT.
7. MINIMUM LOT SIZE: 110,000 SF.
8. MINIMUM AREA: 2.50 AC.
9. MINIMUM SETBACK: 40' (10' FOR DE. 150).
10. MAX. BLDG. COVERAGE: 45%.
11. FRONT AND REAR SETBACKS SHALL BE 10' AND SIDE SETBACKS SHALL BE 5' FROM A PROPERTY LINE AND 10' FROM A RESIDENTIAL USE OR DISTRICT BOUNDARY.
12. THIS TRACT IS NOT LOCATED WITHIN A PLANNED PLAN FOR SINGLE-FAMILY RESIDENTIAL DEVELOPMENT.
13. SHEDS SHALL BE SITUATED BY ON-SITE SEPTIC AND/OR ON-SITE WATER TREATMENT SYSTEM APPROVAL # 654210001201.
14. REQUIRED PARKING: 1 SPACE / 300 SF +/- 25% (300/300 = 12 SPACES).
15. SPECIAL EXCEPT FOR RETAIL, CLOSET STORAGE AND ASSOCIATED ON-TRODE STORAGE AS PERMITTED BY THE HIGHWAY DEPARTMENT.
16. WITH THE REQUIREMENTS, CONDITIONS, AND ASSOCIATED ON-TRODE STORAGE AS PERMITTED BY THE HIGHWAY DEPARTMENT.
17. ALL UTILITIES SHALL BE DEEPER THAN THE STREET AND SHALL BE DEEPER THAN THE RETURN OF TOP OF CURB FROM THE STREET AND SHALL BE DEEPER THAN THE RETURN OF TOP OF CURB FROM THE STREET AND SHALL BE DEEPER THAN THE RETURN OF TOP OF CURB FROM THE STREET AND SHALL BE DEEPER THAN THE RETURN OF TOP OF CURB FROM THE STREET.

<p>SCALE: 1" = 20' ±</p> <p>DATE: 8-20-18</p> <p>BY: C-3</p>	<p>GRADING & UTILITY PLAN</p> <p>Thorne Property Tax Map 227/Lot 40-1 519 Maple Street Contoocook, N.H.</p>	<p>OWNER: Lisa A. Thorne 519 Maple Street Contoocook, N.H. 03229 Book 440 Page 1871</p> <p>PREPARED FOR: Sturmont Holdings LLC 43 Bear Hill Road Washington, N.H. 03280</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	BY													<p>A.C. Engineering & Consulting Civil Engineering & Land Planning</p> <p>43 Bear Hill Road East Washington, N.H. 03280</p> <p>Phone: (603) 325-5114 acengineer@psnet.net</p>	<p>PRELIMINARY</p> <p>NOT FOR CONSTRUCTION</p>
NO.	DATE	DESCRIPTION	BY																		

DUMPSTER PAD DETAIL

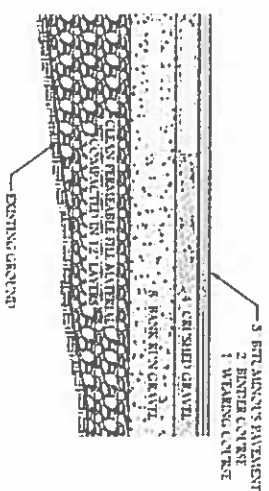
NOT TO SCALE



- NOTES
1. DUMPSTER PADS AND ASSOCIATED SCREENING SHALL BE PLACED WHERE THE REFUSE BINS CAN BE UNLOADED WITH A SINGLE TURNING MOVED OUT WITH A 35' FRONT LOADING TRUCK. THE WIDTH OF THE GATE SHOULD BE TAKEN INTO ACCOUNT WHEN REVEALING TURNING MOVEMENTS.
 2. GATES SHALL BE PROVIDED UNLESS THE DUMPSTER IS BLOCKED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND AESTHETIC PROPERTIES BY BUILDS OR WALLS.
 3. TRASH CONTAINERS SHALL BE LOCATED A MINIMUM DISTANCE OF 25' FROM ANY GRANULAR STRUCTURE, INLET OR STORMWATER FACILITY.

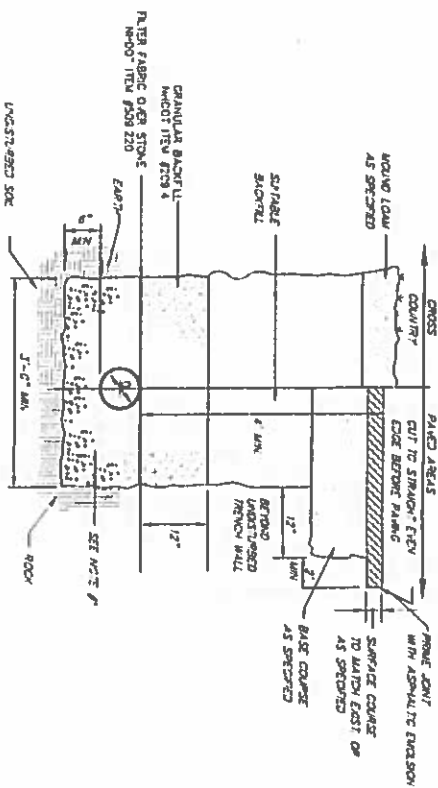
PAVEMENT DETAIL

NOT TO SCALE



TYPICAL STORM DRAINAGE TRENCH DETAIL

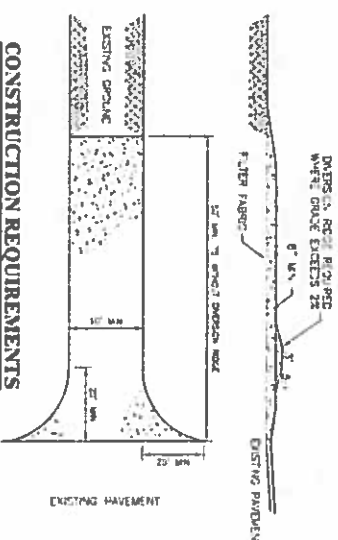
NOT TO SCALE



- NOTES
1. CURBS IN 12' TYPICAL SPACING SHALL BE 3/4" STOUT TO THE CROWN OF THE CURB.
 2. AT A LARGER INTERVAL SPACING, TO BE DETERMINED WITH GRANULAR BACKFILL FOR A DISTANCE OF 3 FEET.
 3. ALL AGGREGATE SHALL BE COMPLIANT TO 95% APPROVED PROCTOR.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

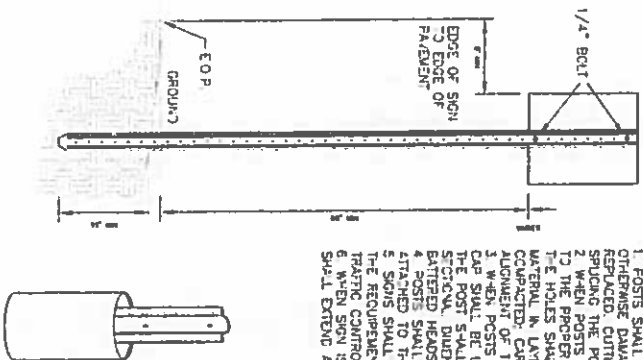


CONSTRUCTION REQUIREMENTS

1. STONE SIZE - 3" GRADE AGGREGATE.
2. THICKNESS - 6" MIN.
3. WIDTH - 6' MIN.
4. LENGTH - NOT LESS THAN 50' EXCEPT IN A SINGLE RECEIVING LOT WHERE A 30' MIN LENGTH WOULD APPLY.
5. WIDTH - 10' MIN, BUT NOT LESS THAN THE FULL 6' ON A 30' WIDE.
6. SPACING - 10' MIN.
7. SPACING - 10' MIN.
8. SPACING - 10' MIN.
9. SPACING - 10' MIN.
10. SPACING - 10' MIN.
11. SPACING - 10' MIN.

SIGN POST DETAIL

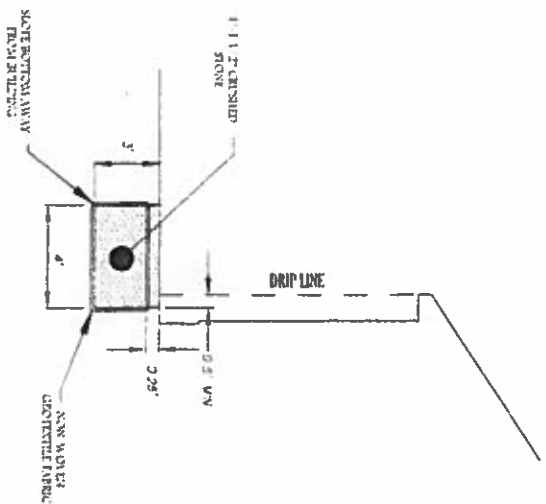
NOT TO SCALE



- NOTES
1. POSTS SHALL BE PLUMB, ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND REPLACED.
 2. DAMAGED PORTION CUT AND REPAIRED.
 3. DURING THE DAMAGED PORTION CUT AND REPAIRED, THE POST SHALL BE SET TO THE PROPER DEPTH, AFTER INSERTING POSTS, THE HOLES SHALL BE BACK FILLED WITH SUITABLE MATERIAL IN LAYERS NOT EXCEEDING 6\"/>

DRIP EDGE TRENCH DETAIL

NOT TO SCALE



A.C.Engineering & Consulting

Civil Engineering & Land Planning

43 Bear Hill Road
East Washington, N.H. 03280

Phone: (603) 325-5114
acengineer@comcast.net

NO.	DATE	DESCRIPTION	BY

OWNER:
Lisa A Thorne
519 Maple Street
Contoocook, N.H. 03227
Book 3110 Page 16-1

PREPARED FOR:
Sumner Holdings LLC
43 Bear Hill Road
Washington, N.H. 03280

CONSTRUCTION DETAILS

Thorne Property
Tax Map 227 / Lot 40-1
519 Maple Street
Contoocook, N.H.



DATE: 8-26-18

DWG: C-6

SOIL STOCKPILING

CONSIDERATIONS

- SOIL STOCKPILES SHOULD BE SITED ON THE SITE IN COMPLIANCE WITH ALL PERMITS, CONTRACTS, COVERING SPECIFICATIONS, AND ADVISORY REGULATORY LISTS AND WATER RESOURCES DEVELOPMENT REGULATIONS.
- SOIL AND BEDROCK EXPOSED TO STOCKPILES SHOULD BE REGULARLY INSPECTED AND SHOULD BE MOVED IMMEDIATELY TO STORAGE OR CONSTRUCTION OPERATIONS AS THE PRESENCE OF NEW MATERIALS OR THE EXISTENCE OF NEW CONCENTRATIONS OF CONTAMINANTS IN THE STOCKPILE MAY REQUIRE ADDITIONAL AND TYPICAL OF THE PROJECT. MEASURES TO KEEP THEM SEPARATE.

MAINTENANCE REQUIREMENTS

- INSPECT ALL SOIL STOCKPILES IMMEDIATELY AFTER STORM EVENTS AND AT THE REGULAR INTERVALS STATED IN THE PROJECT DESIGN AND SEDIMENT CONTROL PLAN AND IN APPLICABLE PERMITS. AT A MINIMUM, INSPECT WEEKLY DURING WET WEATHER PERIODS TO VERIFY THAT BEDROCK AND SEDIMENT CONTROL MEASURES ARE IN PLACE AND FUNCTIONING PROPERLY.
- AS SOON AS PRACTICABLE, STOCKPILES SHOULD BE COVERED TO PREVENT ADDITIONAL CONTAMINATION AND STOCKPILE CONTAMINATION AS NEEDED TO KEEP THEM SEPARATE FROM THE PROJECT.

SPECIFICATIONS

- **GENERAL**
 - LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CONCENTRATED FLOWS OF STORMWATER, FURNACE EXHAUSTS, AND EMISSIONS.
 - PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING TEMPORARY EROSION CONTROL MEASURES SUCH AS DIVERSIONS, BERMS, SANDBARS, OR OTHER APPROVED PRACTICES.
 - STOCKPILES SHOULD BE SEPARATED BY STORMWATER BARRIERS AS DESCRIBED IN CHAPTERS 10 AND 11 OF THE PROJECT DESIGN AND SEDIMENT CONTROL PLAN.
 - CONCEPTS OF THE PROJECT DESIGN AND SEDIMENT CONTROL PLAN SHOULD BE ADAPTED TO THE SPECIFIC CHARACTERISTICS OF THE STOCKPILES.
 - FENCE BARRIERS SHOULD BE INSTALLED AS APPROVED BY ALL APPLICABLE REGULATORY AGENCIES.
 - PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING TEMPORARY EROSION CONTROL MEASURES SUCH AS DIVERSIONS, BERMS, SANDBARS, OR OTHER APPROVED PRACTICES.
 - STOCKPILES SHOULD BE SEPARATED BY STORMWATER BARRIERS AS DESCRIBED IN CHAPTERS 10 AND 11 OF THE PROJECT DESIGN AND SEDIMENT CONTROL PLAN.
 - CONCEPTS OF THE PROJECT DESIGN AND SEDIMENT CONTROL PLAN SHOULD BE ADAPTED TO THE SPECIFIC CHARACTERISTICS OF THE STOCKPILES.
 - FENCE BARRIERS SHOULD BE INSTALLED AS APPROVED BY ALL APPLICABLE REGULATORY AGENCIES.
- **PROTECTION OF ACTIVE STOCKPILES**
 - ALL STOCKPILES SHOULD BE SEPARATED FROM TEMPORARY URBAN SEDIMENT BARRIERS PRIOR TO THE ONSET OF REPRECIPITATION. REMEDIATION BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND SHOULD BE REPAIRED TO ACCOMMODATE THE PRELIMINARY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
 - WHEN A STORM EVENT IS PREDICTED, STOCKPILES SHOULD BE PROTECTED WITH AN INCREASED PROTECTIVE COVERING.

DIVERSION CHANNEL

CONSIDERATIONS

- TEMPORARY DIVERSIONS MUST BE STABILIZED IMMEDIATELY FOLLOWING INSTALLATION TO PREVENT EROSION OF THE DIVERSION CHANNEL.
- THE CHANNEL SHOULD BE DESIGNED TO HANDLE THE PEAK FLOW OF THE DIVERSION PRIOR TO HIGH VELOCITY CHANNEL FLOW. IF SUCH EROSION OCCURS DURING CONSTRUCTION, CORRECTIVE ACTION SHOULD BE TAKEN TO STABILIZE THE CHANNEL AND BEAR PLATES. PLATES OR OTHER METHODS OF CHANNEL OR OTHERWISE ELIMINATE THE CURVE OF EROSION.
- CHANNELS SHOULD BE STABILIZED USING A MIXTURE OF SAND AND SILT. SAND SHOULD BE USED TO STABILIZE THE CHANNEL AND SILT SHOULD BE USED TO STABILIZE THE CHANNELS.
- TEMPORARY DIVERSION CHANNELS SHOULD BE DESIGNED TO HANDLE THE PEAK FLOW OF THE DIVERSION PRIOR TO HIGH VELOCITY CHANNEL FLOW. IF SUCH EROSION OCCURS DURING CONSTRUCTION, CORRECTIVE ACTION SHOULD BE TAKEN TO STABILIZE THE CHANNEL AND BEAR PLATES. PLATES OR OTHER METHODS OF CHANNEL OR OTHERWISE ELIMINATE THE CURVE OF EROSION.
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MAINTENANCE REQUIREMENTS

- THE MAINTENANCE SHOULD BE INSPECTED WEEKLY AND AFTER EVERY STORM OF 1/8 INCH OR MORE IN A 24-HOUR PERIOD. REPAIRS SHOULD BE MADE TO THE BEAR PLATES, FLOW CHANNEL, ORLET OR SEDIMENT TRAPPING FACILITY, AS NECESSARY.
- DIVERSION CHANNELS SHOULD BE DESIGNED TO HANDLE THE PEAK FLOW OF THE DIVERSION PRIOR TO HIGH VELOCITY CHANNEL FLOW. IF SUCH EROSION OCCURS DURING CONSTRUCTION, CORRECTIVE ACTION SHOULD BE TAKEN TO STABILIZE THE CHANNEL AND BEAR PLATES. PLATES OR OTHER METHODS OF CHANNEL OR OTHERWISE ELIMINATE THE CURVE OF EROSION.
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 - DIVERSIONS SHOULD BE DESIGNED TO HANDLE THE PEAK FLOW OF THE DIVERSION PRIOR TO HIGH VELOCITY CHANNEL FLOW. IF SUCH EROSION OCCURS DURING CONSTRUCTION, CORRECTIVE ACTION SHOULD BE TAKEN TO STABILIZE THE CHANNEL AND BEAR PLATES. PLATES OR OTHER METHODS OF CHANNEL OR OTHERWISE ELIMINATE THE CURVE OF EROSION.
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- **GENERAL**
 - TEMPORARY DIVERSION DICES SHOULD BE INSTALLED AS AN INITIAL STEP IN THE LAND RESTORATION ACTIVITY. THEY MUST BE FUNCTIONAL PRIOR TO THE START OF CONSTRUCTION OF THE DIVERSION CHANNELS.
 - ALL DIVERSIONS MUST BE DESIGNED TO HANDLE THE PEAK FLOW OF THE DIVERSION PRIOR TO HIGH VELOCITY CHANNEL FLOW. IF SUCH EROSION OCCURS DURING CONSTRUCTION, CORRECTIVE ACTION SHOULD BE TAKEN TO STABILIZE THE CHANNEL AND BEAR PLATES. PLATES OR OTHER METHODS OF CHANNEL OR OTHERWISE ELIMINATE THE CURVE OF EROSION.
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SURFACE ROUGHENING

CONSIDERATIONS

- GRADED AREAS WITH SMOOTH, HARD SURFACES MAY BE EVENTUALLY ATTACHED BY SUCH SURFACES INCREASE THE POTENTIAL FOR EROSION. A RICH, LOOSE SOIL SURFACE CANNOT BE MAINTAINED OVER THE LIFE OF THE PROJECT. THE SURFACE SHOULD BE DESIGNED TO PROVIDE A MORE FAVORABLE SURFACE TO THE CONSTRUCTION THAN HARD, SMOOTH SURFACES. THIS SURFACE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
- METHODS FOR ACHIEVING A ROUGHENED SOIL SURFACE ON A SLOPE INCLUDE TRACKING, PLOWING, AND SEPARATING FOR CARBONIZED SEDIMENTATION OF THE SURFACE. BASED ON SOIL TYPES, ALLOWING REQUIREMENTS, AND WHETHER THE SLOPE IS EXPOSED TO EROSION.

MAINTENANCE REQUIREMENTS

- ANY SIGN OF ELL OR CRACKS IN EROSION SHOULD BE IMMEDIATELY INVESTIGATED AND REPAIRED AS NEEDED.
- PERIODICALLY INSPECT SLOPE SURFACES FOR SIGNS OF OTHER SIGNS OF EROSION. IF THESE SIGNS ARE OBSERVED, IMMEDIATE ACTION SHOULD BE TAKEN TO REPAIR THE SLOPE AS SOON AS POSSIBLE. IT IS NOT NECESSARY TO WAIT FOR A VISUAL INSPECTION.

SPECIFICATIONS

- **GENERAL**
 - EROSION CONTROL MEASURES SHOULD BE DESIGNED TO PREVENT EROSION OF THE SURFACE.
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DUST CONTROL

CONSIDERATIONS

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MAINTENANCE REQUIREMENTS

- WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REGULAR TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMMODATE CHANGES.

SPECIFICATIONS

- **GENERAL**
 - DUST CONTROL MEASURES SHOULD BE DESIGNED TO PREVENT EROSION OF THE SURFACE.
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TEMPORARY EROSION CONTROL BLANKET

CONSIDERATIONS

- TEMPORARY EROSION CONTROL BLANKETS CAN BE APPLIED TO STEEP SLOPES, VULNERABLE WATERWAYS, AND OTHER AREAS WHERE EROSION IS LIKELY TO OCCUR DURING CONSTRUCTION.
- TEMPORARY EROSION CONTROL BLANKETS CAN BE APPLIED TO STEEP SLOPES, VULNERABLE WATERWAYS, AND OTHER AREAS WHERE EROSION IS LIKELY TO OCCUR DURING CONSTRUCTION.

MAINTENANCE REQUIREMENTS

- ALL BLANKET AND MATS SHOULD BE INSPECTED WEEKLY DURING THE CONSTRUCTION PERIOD AND AFTER ANY SIGNIFICANT WEATHER EVENT. IF WEATHER CONDITIONS CHANGE, THE MATS SHOULD BE REPLACED AS NEEDED.

SPECIFICATIONS

- **GENERAL**
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DIVERSION CHANNEL SPECIFICATIONS	
DESIGN PARAMETER	CRITERIA
LOCATION	THE DIVERSION CHANNEL SHOULD BE INSTALLED AT THE POINT OF EROSION. THE CHANNEL SHOULD BE DESIGNED TO HANDLE THE PEAK FLOW OF THE DIVERSION PRIOR TO HIGH VELOCITY CHANNEL FLOW. IF SUCH EROSION OCCURS DURING CONSTRUCTION, CORRECTIVE ACTION SHOULD BE TAKEN TO STABILIZE THE CHANNEL AND BEAR PLATES. PLATES OR OTHER METHODS OF CHANNEL OR OTHERWISE ELIMINATE THE CURVE OF EROSION.
CHANNEL AREA	< 8 SQUARE FEET
CAPACITY	2.5 TO 4.0 CFS PER LINEAR FOOT
DESIGN VELOCITY	2.5 TO 4.0 FEET PER SECOND
BEAM/CHANNEL SIDE SLOPE	2:1 OR FLATTER
BEAM TOP WIDTH	2 FEET MINIMUM
TOTAL OPEN TOP OF BEAM TO BOTTOM OF CHANNEL	1.5 FEET MINIMUM. EXCEPT FOR BEAMS WITH A BEAM HEIGHT OF 1.0 FEET OR LESS, THE TOTAL OPEN TOP OF BEAM TO BOTTOM OF CHANNEL SHOULD BE AT LEAST 1.5 FEET MINIMUM.
BEAM SLOPE	5:1 HORIZONTAL TO 1:1 VERTICAL
STABILIZATION	VEGETATION OR OTHER METHODS AS APPROVED BY THE REGULATORY AGENCIES.
OUTLET	POSITIVE GRADE TO OUTLET. CHANNELS < 24 INCHES SHOULD BE STABILIZED WITH VEGETATION. CHANNELS > 24 INCHES SHOULD BE STABILIZED WITH VEGETATION OR OTHER METHODS AS APPROVED BY THE REGULATORY AGENCIES.

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DESIGN PARAMETER	CRITERIA
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OWNER: 155 A. Thome 519 Maple Street Contoocook, N.H. 03229 Book 3100 / Page 1871	PREPARED FOR: Summit Holdings LLC 41 Bear Hill Road Washington, N.H. 03201	A.C.Engineering & Consulting Civil Engineering & Land Planning 43 Bear Hill Road East Washington, N.H. 03280 Phone: (603) 325-5114 aceengineer@psnet.net
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NO.	DATE	DESCRIPTION	BY

DATE 6-20-18	DATE 6-20-18
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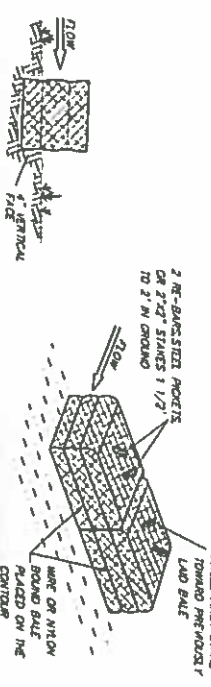
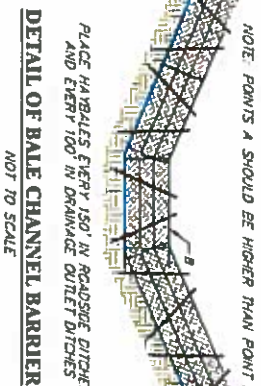
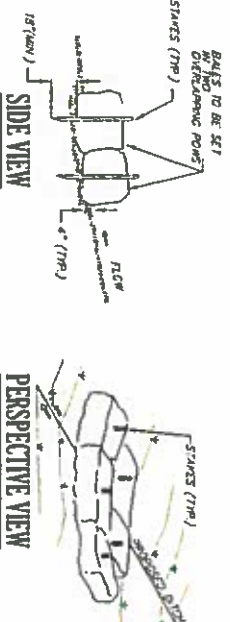
BALE INSTALLATION

SHEET PILE APPLICATIONS

1. EXCAVATE A 4 INCH DEEP TRENCH THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER. THE BARRIER SHOULD FOLLOW THE SLOPE. CONSIDER IF THE BARRIER IS AT THE TOP OF A SLOPE, PLACE IT TO 8 FEET AWAY FROM THE SLOPE, IF POSSIBLE. THIS PLACEMENT WILL PROVIDE ACCESS FOR MAINTENANCE AND ALLOW CONSTRUCTION TO PROCEED OUT OF SLOPE. SLOPE PLACEMENT IS ACCEPTABLE.
2. PLACE BALES IN THE TRENCH WITH THEM END TO END, ABUTTING. CONSIDER ABUTTING IS NOT ACCEPTABLE. A TIGHT FIT BETWEEN THE BALES IS NOT ACCEPTABLE. CONSIDER ABUTTING IS NOT ACCEPTABLE. A TIGHT FIT BETWEEN THE BALES IS NOT ACCEPTABLE. CONSIDER ABUTTING IS NOT ACCEPTABLE.
3. ALL BALES MUST BE EITHER WIRE-SOUL OR STEEL-REINFORCED. BALES WITH GALVANIZED STEEL SHEETING ARE NOT ACCEPTABLE. BALES WITH GALVANIZED STEEL SHEETING ARE NOT ACCEPTABLE. BALES WITH GALVANIZED STEEL SHEETING ARE NOT ACCEPTABLE.
4. SECURELY ANCHOR EACH BALE BY DRIVING AT LEAST TWO STAKES THROUGH THE BALE. DRIVE THE FIRST STAKE IN EACH BALE THROUGH THE WIRE-SOUL OR STEEL-REINFORCED BALE TO FORCE THE BALES TOGETHER. DRIVE THE STAKES AT LEAST 11/2 FEET INTO THE GROUND. WOOD STAKES, 2 BY 4 INCHES BY 4 FEET ARE RECOMMENDED. BALS CAN ALSO BE USED AS STAKES BUT ARE NOT RECOMMENDED BECAUSE THEY CAN BE HAZARDOUS TO EQUIPMENT WHEN THE BALS DISINTEGRATE.
5. ALL STAKES BETWEEN BALES BY WEDGING LOOSE STRAW BETWEEN THE BALS UNDER STRAW SCATTERED OVER THE AREA. IMMEDIATELY TYPICAL FROM A STRAW BALE BARRIER TRENCH TO ENCLOSE BARRIER. STRAW SHOULD BE PLACED BY HAND OR BY MACHINE TO HOLD IN THE BARRIER. WHICH IT TENDS TO SEAL.
6. BACKFILL THE TRENCH WITH THE EXCAVATED SOIL AND COMPACT IT TO THE BATTERED SOIL. SHOULD BE CONFORM TO THE GROUND LEVEL ON THE DOWNHILL SIDE OF THE BARRIER AND SHOULD BE BUILT UP TO 4 INCHES ABOVE THE GROUND ON THE UPHILL SIDE OF THE BALES.
7. INSPECT AND REPAIR OR REPLACE DAMAGED BALES PROMPTLY. STRAW BALS TYPICALLY DEGRADE WITHIN THREE MONTHS WHEN WET. REPLACE THE STRAW BALS WHEN THE UPHILL AREAS HAVE BEEN PERMANENTLY STABILIZED.

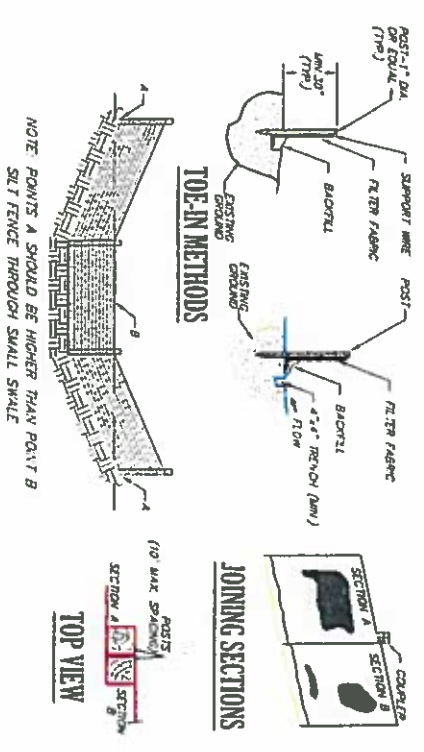
CHANNEL FLOW APPLICATIONS

1. EXCAVATE A 4 INCH DEEP TRENCH THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER. PLACE BALES IN A SINGLE ROW. DRIVING THE STAKES THROUGH THE BALS TO FORCE THE BALS TOGETHER. DRIVE THE STAKES AT LEAST 11/2 FEET INTO THE GROUND. WOOD STAKES, 2 BY 4 INCHES BY 4 FEET ARE RECOMMENDED. BALS CAN ALSO BE USED AS STAKES BUT ARE NOT RECOMMENDED BECAUSE THEY CAN BE HAZARDOUS TO EQUIPMENT WHEN THE BALS DISINTEGRATE.
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SILT FENCE CONSTRUCTION SPECIFICATIONS

1. THE SLOPE SHALL BE EXCAVATED TO A MINIMUM OF 5 INCHES INTO THE GROUND AND THE SOIL COMPACTED UNDER THE EXISTING BARRIER.
2. THE FENCE SHALL BE EXCAVATED TO A MINIMUM OF 5 INCHES INTO THE GROUND AND THE SOIL COMPACTED UNDER THE EXISTING BARRIER.
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STONE FILL SPECIFICATIONS

1. THE WORK SHALL CONSIST OF FURNISHING AND PLACING A STONE FILL AT THE LOCATIONS SHOWN THE PLAN AND SPECIFIED.
2. THE STONE SHALL BE OF A SIZE NOT LESS THAN 3/4 INCH AND NOT MORE THAN 4 INCHES.
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7. THE STONE SHALL BE OF A SIZE NOT LESS THAN 3/4 INCH AND NOT MORE THAN 4 INCHES.

WINTER CONSTRUCTION NOTES

1. ALL WORK SHALL BE STOPPED AT ONCE IF THE TEMPERATURE DROPS BELOW 32°F.
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CONSTRUCTION PHASING

CONSIDERATIONS

- CONSTRUCTION PHASING OF LAND CARRYING ACTIVITIES MUST BE CAREFULLY PLANNED AND CARRIED OUT TO PREVENT EROSION AND SEDIMENTATION.
- THE PHASING OF CONSTRUCTION ACTIVITIES SHOULD BE PLANNED TO MINIMIZE THE AREA OF SOIL EXPOSED AT ONE TIME, AS WELL AS THE LENGTH OF THE EXPOSURE. INITIAL SOIL EXPOSURE SHOULD BE DISCONTINUED TO REMAIN ON THE SITE.
- PROTECT EXISTING VEGETATION AND NATURAL RESOURCES FROM CONSTRUCTION ACTIVITIES AND PREVENT EROSION AND SEDIMENTATION FROM CONSTRUCTION ACTIVITIES.
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MAINTENANCE REQUIREMENTS

- ANY SIGN OF EROSION OR SEDIMENTATION SHOULD BE IMMEDIATELY INVESTIGATED AND REPAIRED AS NEEDED.
- THE AREA SHOULD BE MAINTAINED TO PREVENT EROSION AND SEDIMENTATION.
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- THE FENCE SHALL BE EXCAVATED TO A MINIMUM OF 5 INCHES INTO THE GROUND AND THE SOIL COMPACTED UNDER THE EXISTING BARRIER.
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CONSTRUCTION SEQUENCE

1. CLEAR AND PREPARE THE CONSTRUCTION AREA.
2. CONSTRUCT THE FENCE TO PREVENT EROSION AND SEDIMENTATION.
3. CONSTRUCT THE FENCE TO PREVENT EROSION AND SEDIMENTATION.
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A.C. Engineering & Consulting
Civil Engineering & Land Planning
43 Bear Hill Road
East Washington, N.H. 03280
Phone: (603) 325-5114
aceengineer@excine.net

NO.	DATE	DESCRIPTION	BY

EROSION CONTROL 3
Thorne Property
Tax Map 227 / Lot 40-1
519 Maple Street
Contoocook, N.H.

OWNER: Lisa A. Thorne
519 Maple Street
Contoocook, N.H. 03227
Box 3480 / Page 1871

PREPARED FOR: Supreme Holdings LLC
43 Bear Hill Road
Washington, N.H. 03280

DATE: E-3
M/E: 5/20/18
M/E: 5/20/18



Town of Hopkinton

330 Main Street • Hopkinton, New Hampshire 03229 • www.hopkinton-nh.gov

Tel: 603-746-3170

Fax: 603-746-3049

PLANNING BOARD APPLICATION

- Site Plan Review Architectural Design Review (Commercial/Industrial - ZO Section IV-A)
- Preliminary Review (SD Section II) Subdivision Lot Line Adjustment/Annexation
- Conditional Use Permit (ZO Section III) Special Use Permit (ZO Section VIII)

PROJECT LOCATION: 284 Dustin Road MAP/LOT: 224 / 39 / ZONE: R-3

APPLICANT: Deborah Allen

Address: P.O. Box 276 City: Hopkinton State: NH Zip: 03229

Phone: 603-860-1956 Email: dkelloway@avcnh.com

OWNER(s)

Name: Mark & Deborah Allen

Address: P.O. Box 276 City: Hopkinton State: NH Zip: 03229

Phone: Same as above Email: Same as above

Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Email: _____

PROFESSIONALS (engineer, architect, surveyor, attorney, wetland/soil scientist, etc.):

Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Email: _____

Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Email: _____

- Residential Recreational Agricultural Institutional Commercial/Industrial Accessory

- Public Water Public Sewer Well Septic

Lots/units proposed: None Existing Building Area: NA Proposed Building Area: None

% Open Space: NA (Note: Building Area refers to gross area)

Application Submission Requirements:

Original and ten (10) copies of the application, along with all supporting document(s), including reductions of the final plan(s) to no more than 11" x 17".

- Narrative description of proposal (include existing conditions and all related improvements).
- Application checklist.
- Planning Board/Zoning Board of Adjustment Minutes of Conceptual, Preliminary Review, or approval.
- Property deed and existing/proposed easements, covenants, and restrictions.
- Tax Map of subject parcel and abutting properties.
- Waiver(s) request from provisions of the Subdivision and/or Site Plan Regulations.



PLANNING BOARD APPLICATION

- Test Pit Data, Storm Water Management Plan, Traffic, School, Environmental and Fiscal Impact Analyses, and Phasing Plan (when applicable).
- Abutters List as defined by RSA 672:3 – Include Tax Map, Lot Number, Name and Mailing Addresses. If abutting property is under a condominium or other collective form of ownership, the term "abutter" means the officers of the collective or association. If abutting property is under a manufactured housing park form of ownership, the term "abutter" includes the manufactured housing park owner and the tenants who own the manufactured housing.
- Mailing labels – Include Applicant, Owner, Architect, Soil/Wetland Scientists, Abutters, and holders of Conservation/Preservation restrictions or easements.
- Four (4) paper prints of the plan(s) at full scale.
- Appropriate Filing Fee: (Non-refundable) Made payable to Town of Hopkinton
 - Major Subdivision.....\$500.00 Application Fee, \$100.00 per Lot/Unit
 - Minor Subdivision.....\$250.00 Application Fee, \$100.00 per Lot/Unit
 - Lot Line Adjustment/Annexation.....\$100.00 Application Fee
 - Site Plan Review.....\$300.00 Application Fee, \$100.00 per Unit (Res./Non-Res.)
 - Site Plan Review Change of Use.....\$150.00 Application Fee
 - Conditional Use Permit.....\$500.00 Application Fee (Wireless Telecommunications)
 - Public Notice Mailing.....\$ 10.00 per Address (Owner, Applicant, Agent, Abutter)
 - Newspaper Notice.....\$ 75.00
- Conditional Use Permit (Wireless Telecommunications): If application is for Conditional Use Permit, please attach a detailed explanation of compliance with Section 3.10 of the Hopkinton Zoning Ordinance, along with an explanation of compliance with the Site Plan Review Regulations of the Town of Hopkinton.

Final Submission Requirements (after Planning Board action):

- Four (4) paper prints of the final plan set at full scale.
- Mylar(s) – The Merrimack County Registry of Deeds requires that the UPPER LEFT-HAND CORNER, INSIDE THE BORDER, of the plat to be RESERVED for recording information entered by the Registry - No smaller than 7" long X 1" wide.
- PDF of the final plan set, including architectural and site photographs - emailed or thumb drive.
- Recording Fees: (Separate Checks) Made payable to Merrimack County Registry of Deeds
 - Recording Fee.....\$ 26.00 per Page (22" x 34")
 - LCHIP Fee.....\$ 25.00 per Document

I represent to the best of my knowledge and belief that this application is being submitted in accordance with applicable regulations and ordinances of the Town of Hopkinton. I also understand that submittal of this application shall be deemed as granting permission for the Planning Board members and their designees to enter onto the property for purposes of inspections and review. Permission to visit the property extends from the date an application is submitted until approved work or construction is complete and any or all of the financial guarantees, if any, have been returned to the applicant, or until the application is formally denied. Furthermore, I agree that the proposed project will be performed in accordance with this application, the attached plans and specifications, and the regulations and ordinances of the Town of Hopkinton.

Applicant's Signature:  Date: 8/27/18
 Owner's Signature(s):  Date: 8/27/18

Office Use:	
Application Filed: <u>8/13/2018</u>	Fees: _____ Application #: _____
Notice(s) Posted/Mailed: _____	Complete/Consideration: _____
Meeting(s)/Hearing(s): _____	_____
Approved/Denied: _____	<input type="checkbox"/> Conditions MCRD Filing: _____
MCRD Document #: _____	

T224 L39
R3



GILDED FERN FARM

258 DUSTIN ROAD
CONTOOCOOK, NH 03229
603.860.1956



To WHOM IT MAY CONCERN:

AUGUST 13, 2018

We have a small farm with sheep in Contoocook. We produce raw milk aged cheeses and raw yogurt. We attend farmers' markets and would like to offer a farmstand on our property with the intent to promote sales, enhance our own community and give people the opportunity/means to recycle their glass jars when purchasing yogurt.

We believe that the art of cheese making offers a value added product and engages consumers of dairy products.

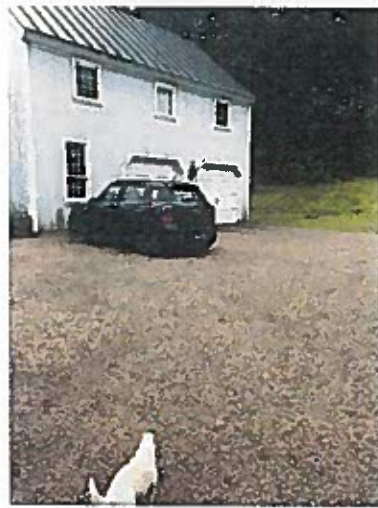
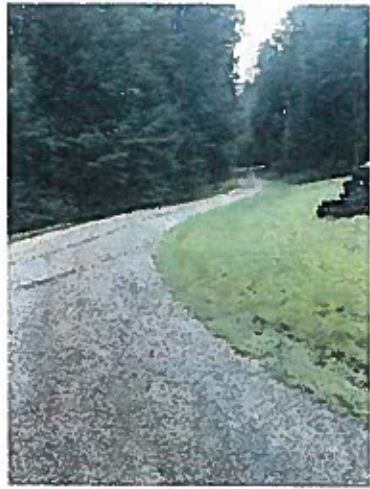
With Special Exception we would like to do the following:

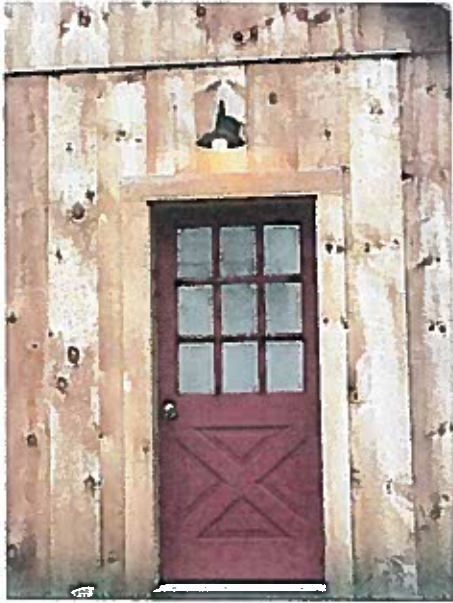
- Open a yearround farmstand: hours of operation 7A-7P
- Sell the following products at our farmstand
 - Yogurt
 - Cheese
 - Products related to cheese (utensils; educational materials; storage)
 - Handmade wool products
 - Rabbit meat (future)
- We would also like to engage in future opportunities related to agritourism, primarily offering cheese making classes

Thank you for considering our request.

Respectfully submitted,

Mark and Deborah Allen
PO Box 276
CONTOOCOOK NH 03229







Abutters List Report

Hopkinton, NH
August 27, 2018

Subject Property:

Parcel Number: 224-039-000
CAMA Number: 224-039-000
Property Address: 258 DUSTIN RD

Mailing Address: ALLEN MARK & DEBORAH
PO BOX 276
CONTOOCOOK, NH 03229

Abutters:

Parcel Number: 224-040-000
CAMA Number: 224-040-000
Property Address: 280 DUSTIN RD

Mailing Address: CARNEY TIMOTHY C & LYNNETTE
280 DUSTIN RD
CONTOOCOOK, NH 03229

Parcel Number: 224-041-000
CAMA Number: 224-041-000
Property Address: 208 DUSTIN RD

Mailing Address: DESOUSA NICHOLAS J & JULIA
208 DUSTIN RD
CONTOOCOOK, NH 03229

Parcel Number: 242-015-000
CAMA Number: 242-015-000
Property Address: 945 PENACOOK RD

Mailing Address: BOHANAN (TRUSTS) GLENN L & ADE
ROBERTSON HEATHER B & JAMES C
945 PENACOOK ROAD
CONTOOCOOK, NH 03229



www.cai-tech.com

8/27/2018

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 1 of 1

Name and Address of Sender

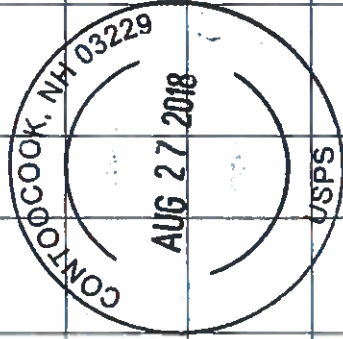
Town of Hopkinton
330 Main Street
Hopkinton, NH 03229
Re: 09/05/2018 zba / PB

Check type of mail or service:

- Adult Signature Required
- Certified Mail
- COD
- Delivery Confirmation
- Express Mail
- Insured
- Adult Signature Restricted Delivery
- Recorded Delivery (International)
- Registered
- Return Receipt for Merchandise
- Signature Confirmation

Affix Stamp Here
(If issued as a certificate of mailing or for additional copies of this bill)
Postmark and Date of Receipt

Article Number	Address (Name, Street, City, State, & ZIP Code™)	Postage	Fee	Handling Charge	Actual Value Registered	Insured Value	Due Sender If GDD	ASR Fee	ASRD Fee	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1. 70161370000240211986	Mark & Deborah Allen P.O. Box 276, 258 Dustin Rd Hopkinton, NH 03229	.47	3.45											
2. 70161370000240211993	Nicholas & Julie Desousa 208 Dustin Rd Hopkinton, NH 03229	.47	3.45											
3. 70161370000240212006	Timothy & Lynnette Carney 280 Dustin Rd Hopkinton, NH 03229	.47	3.45											
4. 70161370000240212013	Glenn & Adele Marie Bohanan Trust Heather & James Robertson 245 Penacook Rd Hopkinton, NH 03229	.47	3.45											
5.														
6.														
7.														
8.														



Total Number of Pieces Listed by Sender: 4

Postmaster, Per (Name of receiving employee)

See Privacy Act Statement on Reverse

Complete by Typewriter, Ink, or Ball Point Pen

Return to:
MARK ALLEN and DEBORAH ALLEN
663 MAPLE ROAD, HOPKINTON, New Hampshire 03229

Book 2371

Page 1631
Page 1631
File # B021517

31

810⁰

Doc# 461182
Book: 2371
Page: 1631
Filed & Recorded
05/05/2002 01:17:16 PM
KATHI L. GRAY, CPO, REGISTER

Warranty Deed

MERRIMACK COUNTY REGISTRY OF DEEDS
RECORDING \$ 10.00
SEARCH \$ 2.00
TRANSFER TAX \$ 810.00
POSTAGE \$ 0.34

TIMOTHY C. CARNEY, MARRIED

of 244 DUSTIN ROAD, HOPKINTON, New Hampshire 03229

for consideration paid

grant to MARK ALLEN and DEBORAH ALLEN, HUSBAND AND WIFE

of 663 MAPLE ROAD, HOPKINTON, New Hampshire 03229 , as joint tenants with rights of survivorship,

with WARRANTY covenants

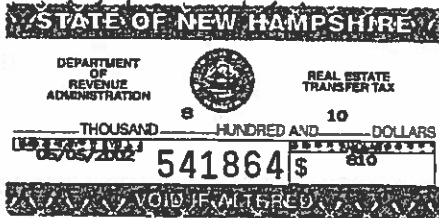
A CERTAIN TRACT OR PARCEL OF LAND WITH THE BUILDINGS THEREON, IF ANY, SHOWN AS LOT 1A ON A PLAN ENTITLED "PLAN FOR ANNEXATION IN HOPKINTON, N.H. SURVEYED FOR TIMOTHY C. AND LYNNETTE B. CARNEY" SCALE 1" = 50' DATED SEPTEMBER 26, 2001 AND RECORDED IN THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AS PLAN NO. 15728, TO WHICH PLAN REFERENCE MAY BE MADE FOR A MORE PARTICULAR DESCRIPTION.

SUBJECT TO ALL MATTERS SHOWN ON PLAN NO. 15728.

MEANING AND INTENDING TO DESCRIBE AND CONVEY A PORTION OF THE PREMISES CONVEYED TO THE WITHIN GRANTORS BY DEED DATED OCTOBER 21, 1996 AND RECORDED IN THE MERRIMACK COUNTY REGISTRY IN BOOK 2038 PAGE 776.

THIS IS NOT HOMESTEAD PROPERTY.

Executed this June 4, 2002.



[Signature]
TIMOTHY C. CARNEY

State of New Hampshire

MERRIMACK, ss:

Fourth day of June, 2002

The foregoing was acknowledged before me this June 4, 2002 by TIMOTHY C. CARNEY.

[Signature]

(Seal)

Notary Public

My Commission Expires:

MERRIMACK COUNTY RECORDS

Kathi L. Gray, CPO, Register

Catherine J. Bickert
Justice of the Peace

My Commission Expires July 25, 2006

WA
DA



Town of Hopkinton

330 Main Street • Hopkinton, New Hampshire 03229 • www.hopkinton-nh.gov

Tel: 603-746-3170

Fax: 603-746-3049

June 6, 2018

Deborah Allen
258 Dustin Road
Hopkinton, NH 03229

Re: Farm Stand, 258 Dustin Road
Tax Map 224, Lot 39, R-3 District

Dear Mrs. Allen:

Based on our conversation and my review of the Hopkinton Zoning Ordinance, your proposal to operate a farm stand will require a Special Exception in accordance with Table of Uses 3.6.D.3 of the Hopkinton Zoning Ordinance.

In addition to the Special Exception, you will need to apply to the Planning Board for Site Plan Review to ensure that adequate measures will be taken to protect public health, convenience, safety, and the welfare of the neighborhood. See attached pertinent sections of the Hopkinton Zoning Ordinance and Site Plan Review Regulations, along with the necessary applications to be completed.

Should you decide to go forward with your proposal, I have outlined a timetable for you to following:

- **Apply to the Selectmen for a Building/Use Permit.** Submit the application no later than 12 Noon on Monday, June 18th to have it reviewed by the Selectmen at their Monday, June 25th meeting.
- **Apply to the Zoning Board of Adjustment for a Special Exception or Administrative Appeal if you should believe that the Selectmen erred in their interpretation of the provisions of the Zoning Ordinance.** Submit the application no later than 12 Noon on Monday, June 18th to have it reviewed by the Zoning Board of Adjustment at their Tuesday, July 3rd meeting.
- **Apply to the Planning Board for Site Plan Review.** Submit the application no later than 12 Noon on Monday, June 18th to have it reviewed by the Planning Board at their Tuesday, July 10th meeting. Should you not be successful at receiving the Special Exception, your application and associated fees for the Planning Board will be returned.

Please let me know if you should need assistance.

Sincerely,

Karen L. Robertson
Planning Director

Enclosures

**SECTION II
DEFINITIONS**

- (7) The raising, breeding, or sale of poultry or game birds.
 - (8) The raising of bees.
 - (9) The raising, breeding, or sale of domesticated strains of fur-bearing animals.
 - (10) The production of greenhouse crops.
 - (11) The production, cultivation, growing, harvesting, and sale of any agricultural, floricultural, viticultural, forestry, or horticultural crops including, but not limited to, berries, herbs, honey, maple syrup, fruit, vegetables, tree fruit, grapes, flowers, seeds, grasses, nursery stock, sod, trees and tree products, Christmas trees grown as part of a commercial Christmas tree operation, trees grown for short rotation tree fiber, compost, or any other plant that can be legally grown and harvested extensively for profit or subsistence.
- (b) Any practice on the farm incident to, or in conjunction with such farming operations, including, but not necessarily restricted to:
- (1) Preparation for market, delivery to storage or to market, or to carriers for transportation to market of any products or materials from the farm.
 - (2) The transportation to the farm of supplies and materials.
 - (3) The transportation of farm workers.
 - (4) Forestry or lumbering operations.
 - (5) The marketing or selling at wholesale or retail, on-site and off-site, where permitted by local regulations, any products from the farm.
 - (6) Irrigation of growing crops from private water supplies or public water supplies where not prohibited by state or local rule or regulation.
 - (7) The use of dogs for herding, working, or guarding livestock, as defined in RSA 21:34-a, II (a) (4).
 - (8) The production and storage of compost and the materials necessary to produce compost whether such materials originate, in whole or in part, from operations of the farm.
- * (III) A farm roadside stand shall remain an agricultural operation and not be considered commercial, provided that at least 35 percent of the product sales in dollar volume is attributable to products produced on the farm or farms of the stand owner.
- (IV) Practices on the farm shall include technologies recommended from time to time by the University of New Hampshire cooperative extension, the New Hampshire department of agriculture, markets, and food, and appropriate agencies of the United States Department of Agriculture.
- (V) The term "farmers' market" means an event or series of events at which two (2) or more vendors of agricultural commodities gather for purposes of offering for sale such commodities to the public. Commodities offered for sale much include, but are not limited to, products of agriculture, as defined in paragraphs I-IV. "Farmers' market" shall not include any event held upon any premises owned, leased, or otherwise controlled by an individual vendor selling therein.
- * (VI) The term "agritourism" means attracting visitors to a working farm for the purpose of eating a meal, making overnight stays, enjoyment of the farm environment, education on the farm operations, or active involvement in the activity of the farm which is ancillary to the farm operations.

SECTION II DEFINITIONS

2.1 DEFINITIONS Except where specifically defined herein, the words used in this Ordinance shall carry their customary meaning. Words used in the present tense include the future; the singular number includes the plural, the plural the singular; the words "used" or "occupied" include the words "designed," "arranged," "intended," or "offered," to be used or occupied; the words "building," "structure," "lot," "land" or "premises" shall be construed as though followed by the words "or any portion thereof" and the word "shall" is always mandatory and not merely directory. Terms and words defined in the Hopkinton Building Code, if any, or Subdivision Regulations or Site Plan Review Regulations shall have the meaning given therein unless a contrary intention clearly appears. Words not defined in either place shall have the meaning given in Webster's Unabridged Dictionary, Third Edition. Uses listed in the Table of Use Regulations under the classes Retail and Service Trades and Wholesale Trade and Manufacturing shall be further defined by the Standard Industrial Classification Manual published by the U.S. Bureau of Census. The following words are specifically defined:

2.1.A.1 Abutter: Abutter means any person whose property adjoins or is directly across the street or stream from the land under consideration. For purposes of receiving testimony only, and not for purposes of notification, the term abutter shall include any person who is able to demonstrate that his land will be directly affected by the proposal under consideration.

2.1.A.2 Accessory Building: A detached building whose purpose is subordinate to that of the main building. For the purpose of this Ordinance a breezeway, a garage or a carport that is attached directly, or by means of another structure, to the main building shall be regarded as an integral part of the main building.

2.1.A.3 Administrative Officer: The Building Inspector, Town of Hopkinton, New Hampshire.

2.1.A.4 Agriculture, Agritourism, Farm, Farmers' Market, Farming:

- (I) The word "farm" means any land, buildings, or structures on or in which agriculture and farming activities are carried out or conducted and shall include the residence or residences of owners, occupants, or employees located on such land. Structures shall include all farm outbuildings used in the care of livestock, and in the production and storage of fruit, vegetables, or nursery stock; in the production of maple syrup; greenhouses for the production of annual or perennial plants; and any other structures used in operations named in paragraph II of this section.
- (II) The words "agriculture" and "farming" mean all operations of a farm, including:
 - (a) (1) The cultivation, conservation, and tillage of the soil.
 - (2) The use of and spreading of commercial fertilizer, lime, wood ash, sawdust, compost, animal manure, septage and, where permitted by municipal and state rules and regulations, other lawful soil amendments.
 - (3) The use of and application of agricultural chemicals.
 - (4) The raising and sale of livestock, which shall include, but not be limited to, dairy cows and the production of milk beef animals, swine, sheep, goats, as well as domesticated strains of buffalo or bison, llamas, alpacas, emus, ostriches, yaks, elk (*Cervus elphus canadensis*), fallow deer (*Dama dama*), red deer (*Cervus elphus*), and reindeer (*Rangifer tarandus*).
 - (5) The breeding, boarding, raising, training, riding instruction, and selling of equines.
 - (6) The commercial raising, harvesting, and sale of fresh water fish or other aquaculture products.

**SECTION III
ESTABLISHMENT OF DISTRICTS AND USES**

3.6 TABLE OF USES	R-4	R-3	R-2	R-1	B-1	M-1	VR-1	VB-1	VM-1	W-1
A. Residential Uses										
1. Single family detached dwelling.	P	P	P	P	X	S	P	S	S	
2. Two family dwelling.	S	S	P	P	S	S	P	S	S	
3. Multi-family dwelling with a maximum of eight (8) dwelling units per building.	X	X	S	P	S	X	S	S	X	
4. Manufactured Housing on individual lots.	X	X	X	X	X	X	X	X	X	
5. Manufactured Housing Park in accordance with Section IX.	X	S	S	S	X	X	S	X	X	
6. Manufactured Housing subdivision in accordance with Section XI.	P	P	P	P	X	X	S	X	X	
7. Congregate Care Housing	X	X	S	S	S	X	S	S	X	
8. Affordable Housing Option in accordance with Section XVI.	X	P	P	P	X	X	P	X	X	
B. Temporary Residential Uses										
1. Non-profit overnight and day camps and cottage colonies.	S	S	S	X	X	X	X	X	X	
2. Bed and Breakfast Home in accordance with Section III, paragraph 3.7.2 and 3.7.4.	S	S	S	S	P	X	S	P	X	
3. Bed and Breakfast Inn in accordance with Section III, paragraph 3.7.2 and 3.7.6.	S	S	S	S	P	X	S	P	X	
4. Hotels, Motels, Inns.	X	X	X	X	P	S	X	P	S	
C. Outdoor/Recreational Uses										
1. Forestry, wildlife, timber preserves, reservoirs, and nature study areas, conservation areas and preserved or protected open space.	P	P	P	P	P	P	P	P	P	
2. Public parks and playgrounds.	P	P	P	P	P	P	P	P	P	
3. Commercial riding stables and riding trails.	S	S	S	X	X	X	X	X	X	
4. Historic building or site open to public.	P	P	P	P	P	P	P	P	P	
5. Recreational camping/tenting parks and recreational camping vehicles.	S	S	S	X	X	X	X	X	X	
D. Agricultural/Forestry Uses										
1. Agriculture, horticulture and floriculture except a greenhouse or stand for retail sale, including customary accessory structures and uses.	P	P	P	S	S	P	S	S	P	
* 2. Farming including dairying, livestock, animal and poultry raising, and crop production including customary accessory structures and uses.	P	P	P	S	S	P	S	S	P	
* 3. Year-round greenhouse or farm stand.	S	S	S	S	S	P	S	P	P	

Section XII Wetlands Conservation District (Overlay)

**SECTION VI
PARKING REQUIREMENTS**

6.1 OFF-STREET PARKING On and after the effective date of this Ordinance, all new structures and developments as well as additions to or changes in use or intensification of use in existing structures shall be provided with off-street parking spaces in accordance with the following specifications in Section 6.3. The Planning Board may alter the specifications of Section 6.3, Required Spaces, when, after testimony of the Applicant, it determines it is in the best interest of the Town and all other parties involved, and subject to any condition(s) the Planning Board may impose as it deems appropriate.

6.2 LOCATION OF PARKING SPACES Required off-street parking spaces shall be provided on the same lot as the principal use they are required to serve; or, when practical differences as determined by the Planning Board prevent their establishment upon the same lot, they shall be established no further than 500 feet from the premises to which they are appurtenant.

6.3 REQUIRED SPACES Parking spaces shall be provided in accordance with the following criteria:

Type of Use	Minimum Number of Required Spaces
* (a) One and two family dwelling	Two (2) for each dwelling unit.
(b) Multi-family dwelling	One and one-half (1-1/2) for each dwelling unit.
(c) Bed and Breakfast Home and Bed and Breakfast Inn	Two (2) spaces for the owner plus one space for each Lodging Unit.
(d) Theater, restaurant, auditorium, church or similar place of public assembly.	One (1) for each four (4) seats of total seating capacity. In VR-1, VB-1, and VM-1 one (1) space for each five (5) seats of total seating capacity.
* (e) Automotive retail and service establishment and other retail and service establishments utilizing extensive display areas, either indoor or outdoor which are usually extensive in relation to customer traffic.	One (1) per 1,000 sq. ft. of gross floor space. In the case of outdoor display areas, one (1) for each 1,000 sq. ft. of lot area in such use.
(f) Other retail, service, finance, insurance, real estate establishment, antique shop or business/professional offices.	One (1) per each 300 sq. ft. of gross floor space. In VR-1, VB-1 and VM-1, one (1) per each 400 sq. ft. of gross floor space.
(g) Hotel	Two (2) spaces for the owner (if owner occupied) plus one (1) space for each Lodging Unit plus one (1) space for each 200 sq. ft. of public meeting room and restaurant space.
(h) Wholesale establishment, warehouse or storage establishment.	One (1) per each 1,000 sq. ft. of gross floor space.
(i) Manufacturing or industrial establishment.	One (1) per each 600 sq. ft. of gross floor space OR 0.75 per each employee of the combined employment of the two largest successive shifts, whichever is larger.
(j) Hospital	Two (2) per bed at design capacity.
(k) Nursing Home	One (1) per bed at design capacity.
(l) Business, trade or industrial school or college.	One (1) for each 200 sq. ft. of gross floor area in classrooms.
(m) Nursery schools or daycare centers.	One (1) for each five (5) children at maximum capacity with a minimum of two (2) spaces required.

**SECTION VI
PARKING REQUIREMENTS**

Type of Use	Minimum Number of Required Spaces
(n) Other school	Two (2) per classroom in an elementary and junior high school; four per classroom in a senior high school plus space for auditorium or gymnasium, whichever has the larger capacity.
(o) Community facility (town building, recreation, etc.)	One (1) per each 400 sq. ft. of gross floor space.
(p) Dormitory, fraternity, sorority, YMCA or similar use.	One (1) for each sleeping room.
(q) Public Utility	One (1) for each 400 sq. ft. of gross floor area devoted to office use. One for each 800 sq. ft. of gross floor area per other use.
(r) Transportation terminal	One (1) for each 600 sq. ft. of gross floor area.
(s) Mixed Use	Sum of various uses computed separately.
(t) Any use permitted by this Ordinance not interpreted to be covered by this schedule.	Closest similar use as shall be determined by the Building Inspector.

6.4 PARKING SPECIFICATIONS

* **6.4.1 Size:** Each required parking space shall be not less than 10 feet wide and shall have a minimum area of one hundred eighty (180) square feet, exclusive of drives or aisles. In VR-1, VB-1, and VM-1, each required parking space shall not be less than 9 feet wide and shall have a minimum area of one hundred sixty-two (162) square feet, exclusive of drives or aisles.

6.4.2 Travel Lanes: Travel lanes shall not be less than: 22 feet wide for 90 degree angle parking; 18 feet wide for 60 degree angle parking; 15 feet wide for 45 degree angle parking; and 12 feet wide for 30 degree angle parking.

* **6.4.3 Surface:** All uses that require Site Plan Review shall have all parking areas and access drives and aisles surfaced with bituminous concrete, or concrete in order to prevent erosion and raising of dust. Paved lots shall be striped to delineate parking spaces. In some circumstances to prevent excessive run-off or because of aesthetics, the Planning Board, as part of Site Review may permit a compacted crushed gravel or stone dust surface.

6.4.4 Islands: The use of landscaped islands to control traffic flow shall be encouraged.

6.4.5 Arrangement: All parking lots shall have parking spaces so arranged as not to necessitate backing of automobiles into any street.

**SECTION VII
SIGN ORDINANCE**

grade, except as may otherwise be allowed where a special exception has been granted by the Zoning Board of Adjustment pursuant to Subsection 15.8.2, Special Exceptions, of this Ordinance;

- 7.7.10 Projecting signs that are lower than ten (10) feet or greater than twenty-five (25) feet above grade, protrude above the sills of the windows above the first story, project more than six (6) feet from the building, or contain more than twenty-four (24) square feet of area;
- 7.7.11 Signs attached to a utility pole;
- 7.7.12 Signs, other than traffic control signs, that use the words “stop”, “yield”, “caution”, and “danger”, or that contain red, amber, and green lights that may resemble traffic control signs or lights;
- 7.7.13 Billboards and signs unrelated to the principal use or uses of the premises on which the sign is located, except as provided in Subsection 7.10.3, Off-Premises Business Signs;
- 7.7.14 Illuminated signs that direct the illumination onto adjacent streets or onto property other than the premises on which the sign is located;
- 7.7.15 Signs that resemble Town of Hopkinton street identification signs;
- 7.7.16 Signs attached to, or painted on, vehicles or trailers which are parked and visible from a street or limited access highway, except where such vehicles or trailers are regularly and customarily used to transport persons, goods, or materials as part of the principal use of the premises;
- 7.7.17 Signs which by reason of position, wording, illumination, size, shape or color that obstruct, impair, obscure, interfere with the view of, or may be confused with, any traffic control sign, signal or device; and
- 7.7.18 Electronic message type signs.

7.8 SIGNS ALLOWED IN RESIDENTIAL DISTRICTS

7.8.1 Signs Allowed. The following signs are allowed in residential districts:

- (a) **Exempt Signs.** Signs exempted from permit requirements in accordance with Subsection 7.3, Signs Exempted from Permit Requirements.
- (b) **Residential Signs.** Signs allowed in accordance with Subsection 7.2, Permit Required for Signs, upon receipt of a permit from the Building Inspector.
- * (c) **Non-Residential Signs** Upon receipt of a permit from the Building Inspector one (1) sign of up to fifteen (15) square feet in area for each conforming, principal, non-residential use may be allowed under the terms of this Ordinance, except as may otherwise be allowed where a Special Exception has been granted by the Zoning Board of Adjustment pursuant to Subsection 15.8.2, Special Exceptions, of the Ordinance. The sign may be a free-standing sign or a building sign provided that there is no more than one (1) free-standing sign per lot;
- (d) **Other Signs.** Signs allowed in accordance with Subsection 7.10, Other Allowed Signs, upon

**SECTION VII
SIGN ORDINANCE**

- (a) The sign shall relate to a Hopkinton business or event or promotion taking place in the Town of Hopkinton;
- (b) The sign shall be placed on private property only and not in the public right-of-way, unless the Applicant files with the Building Inspector a certificate of insurance indemnifying the Town of Hopkinton against any form of liability in a minimum amount as specified by the Board of Selectmen. No permit shall be issued prior to the receipt of said certificate and the permit shall be valid only so long as the certificate remains in effect.
- (c) The sign shall not impede sight distances at any driveway entrance, exit or street intersection.
- (d) No electrical devices shall be used in conjunction with these types of signs.
- (e) A maximum of two (2) signs for such business, organization, group or individual, whether for profit or not, shall be allowed on a property.
- (f) Signs shall be exempt from the requirements of subsection 7.5, Non-Residential Lot Signage Plan.

7.10.5 Residential Subdivision/Development Signs. For the purpose of identifying the name of a residential subdivision, multi-family development, or manufactured housing park of eight (8) units or more, one (1) permanent free-standing sign of up to twenty (20) square feet in area may be placed at an entrance to such residential development.

7.10.6 Home Business Signs. One (1) sign of up to four (4) square feet in area for a Home Business use allowed pursuant to paragraphs 2.1.H.1 and 3.7.3, Home Business, of this Ordinance.

7.10.7 ~~Agriculture, Farm Signs.~~

- (a) In residential districts one (1) permanent sign, whether free-standing or a wall sign, advertising the name of a farm and/or farm products for sale, as well as directional information, shall be allowed on the property of the farm provided that the sign does not exceed twenty (20) square feet in area. Nothing contained herein shall be deemed to limit agricultural, farm signs in non-residential districts. Such signs shall be subject to the provisions of subsection 7.9, Signs Allowed in Non-Residential Districts.
- (b) Temporary off-premises free-standing signs advertising the name of a farm and/or farm products for sale, as well as directional information, shall be allowed provided that there are not more than four (4) signs, each sign not exceeding eight (8) square feet in area. Signs shall be placed on private property only and not in the public right-of-way unless the Applicant files with the Building Inspector a certificate of insurance indemnifying the Town of Hopkinton against any form of liability in a minimum amount as specified by the Board of Selectmen. An easement or agreement between the lot owners relative to its placement is required. A copy of said easement or agreement is to be provided to the Building Inspector at the time of securing a permit. It is understood that these signs are not in addition to the signs referenced in subsections 7.10.3 and 7.10.4.
- (c) Signs shall in no way impede sightline at any driveway entrance, exit or street intersection.

7.11 SIGN ILLUMINATION No sign in any district may be illuminated from within, but may be illuminated by a shielded external light source pursuant to the terms of Section XVII, Outdoor Lighting Ordinance, of this Ordinance. No sign in a residential district may be illuminated between the hours of 9:00 p.m. and 7:00 a.m., except to the extent that a sign which is accessory to a permitted non-residential use may be illuminated during those hours that such permitted non-residential use is open



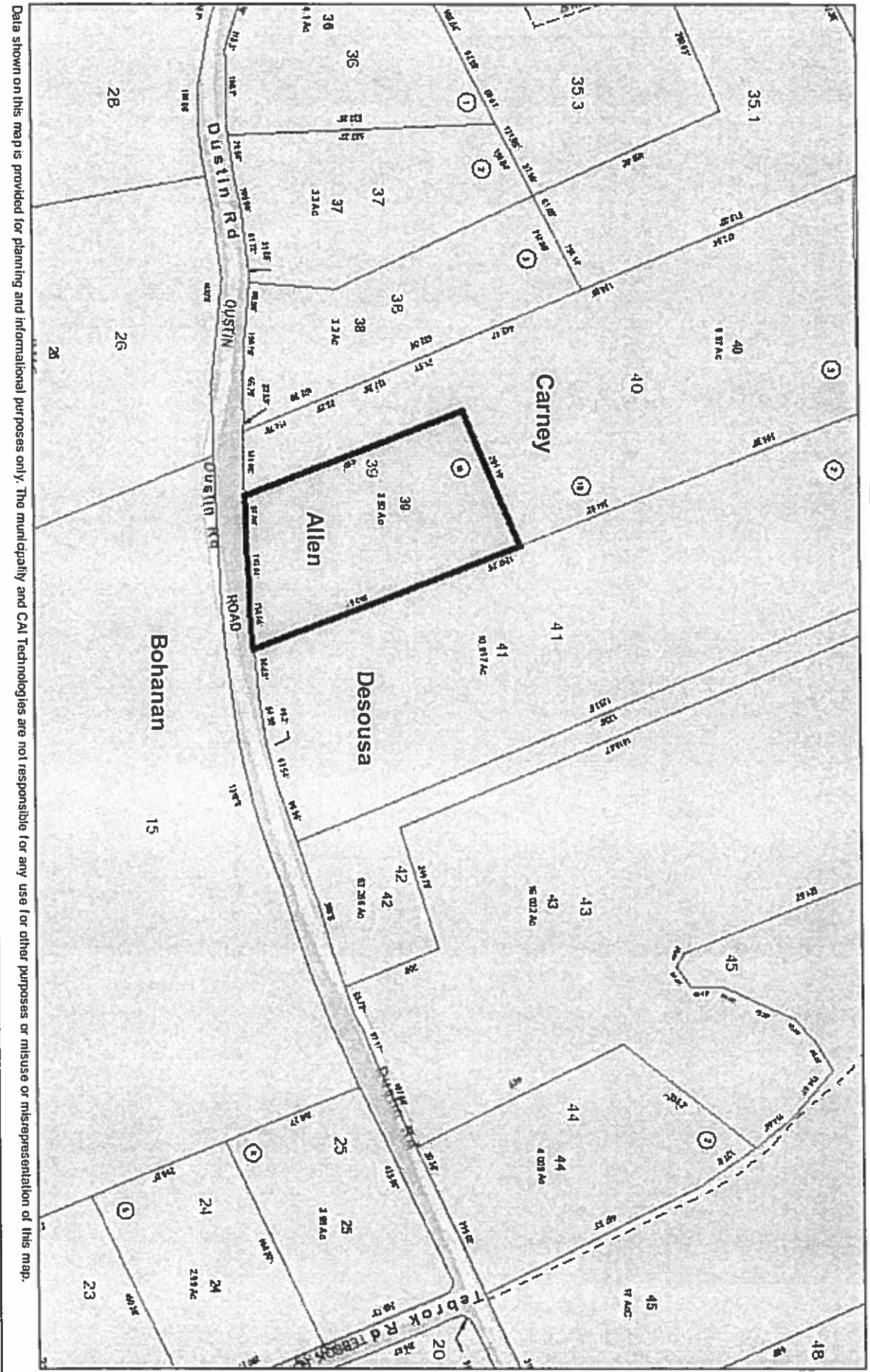
August 27, 2018

Hopkinton, NH

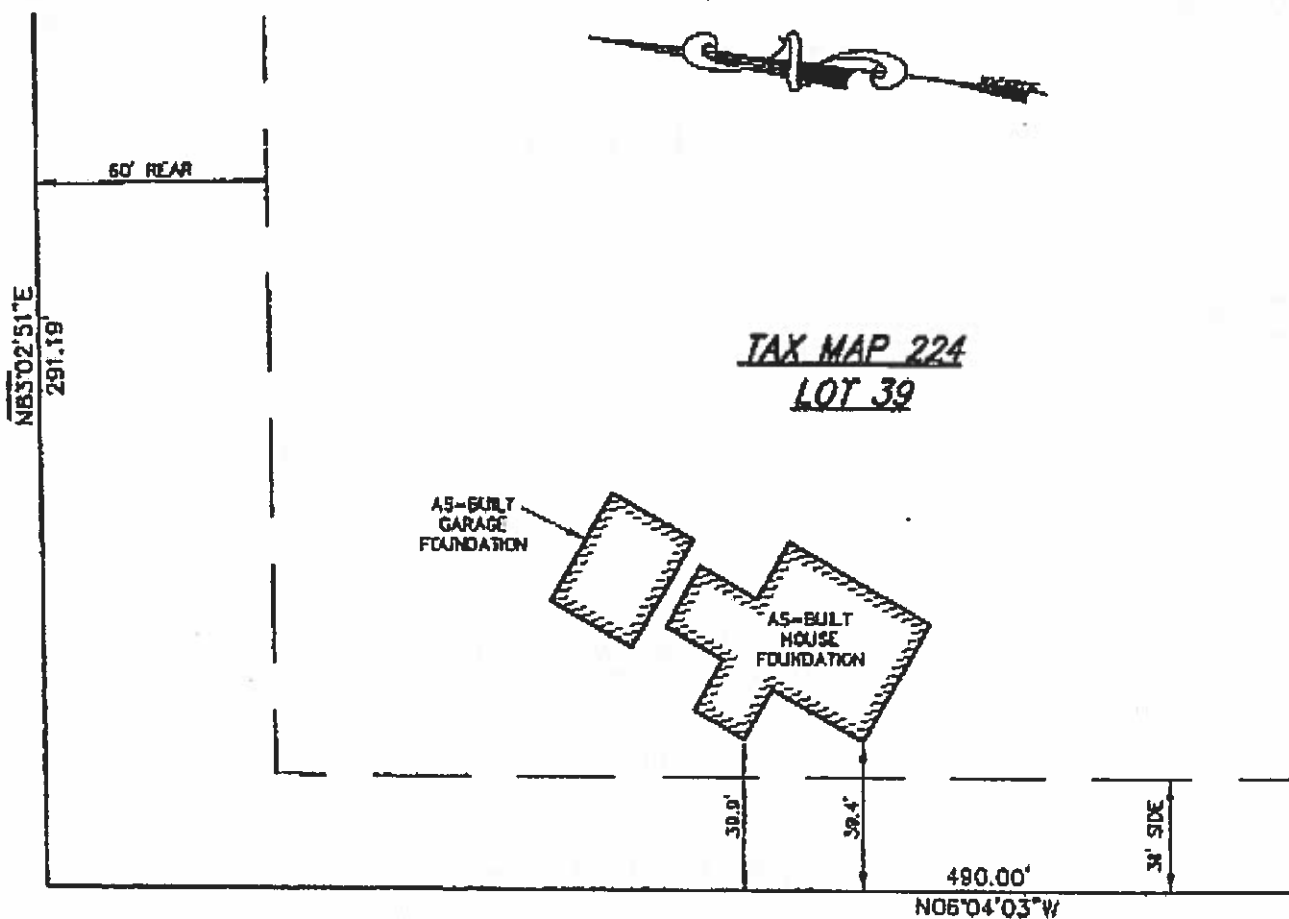
1 inch = 268 Feet



www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



TAX MAP 224
LOT 39

AS-BUILT
GARAGE
FOUNDATION

AS-BUILT
HOUSE
FOUNDATION

SKETCH PLAN

FOR
FOUNDATION LOCATION
PREPARED FOR

DEBORAH & MARK

ALLEN

LOCATED AT
DUSTY ROAD
HOPKINTON, N.H.

K/A TAX MAP 224 LOT 39

SCALE: 1"=50' OCTOBER 6, 2003

LAMARINE TECHNICAL LAND SERVICES, INC.

P.O. BOX 456 CONTOOCOOK, N.H. 03229
TEL: (603) 746-4567

• NEAREST POINT ON STRUCTURE IS CORNER OF NEW CONCRETE FOUNDATION AT 39.4 FT. FROM SIDE PROPERTY LINE.

STATEMENT OF PURPOSE:

THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF THE NEW FOUNDATION FOR HOUSE ON LOT 39 AS WITNESSED ON OCTOBER 6, 2003.

LAMARINE TECHNICAL LAND SERVICES, INC.

P.O. Box 456
Contoocook, N.H. 03229
(603) 746-4567
(603) 746-4055 fax

Survey
Site Planning / Subdivision
Sewage Disposal System Design
Wetland Delineation
Geological Services

FOUNDATION LOCATION VERIFICATION REPORT

Prepared For:

Deborah & Mark Allen
663 Maple Street
Hopkinton, N.H. 03229

Lot Location:

Dustin Road
Hopkinton, N.H.

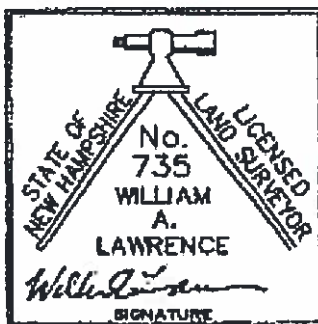
Tax Map-Parcel No.: Tax Map 224 Lot 39

Deed/Plan Reference:

Merrimack Co. Registry of Deeds
Deed: Bk. 2371, Pg. 1631
Plan No. 15728

PROJECT DESCRIPTION

This report has been prepared to verify the precise location of a building foundation. All findings are based on a visual examination of the property and the location of all physical evidence with a Topcon DT-30 DM-A2 (EDM) and Steel Tape. No determination as to the validity of any physical monuments or property lines was made by this office. No deed research was conducted on this or adjacent properties. The intent of this report is to show the relationship between certain physical evidence and improvements found on the site and the plan referenced above. Monumentation shown should be regarded as evidence as to where corners may exist and not as an absolute indication of the location. The attached sketch is a part of this report.



Prepared By:

Lamarine Technical Land Services, Inc.
P.O. Box 456
Contoocook, N.H. 03229

Date: Oct. 9, 2003

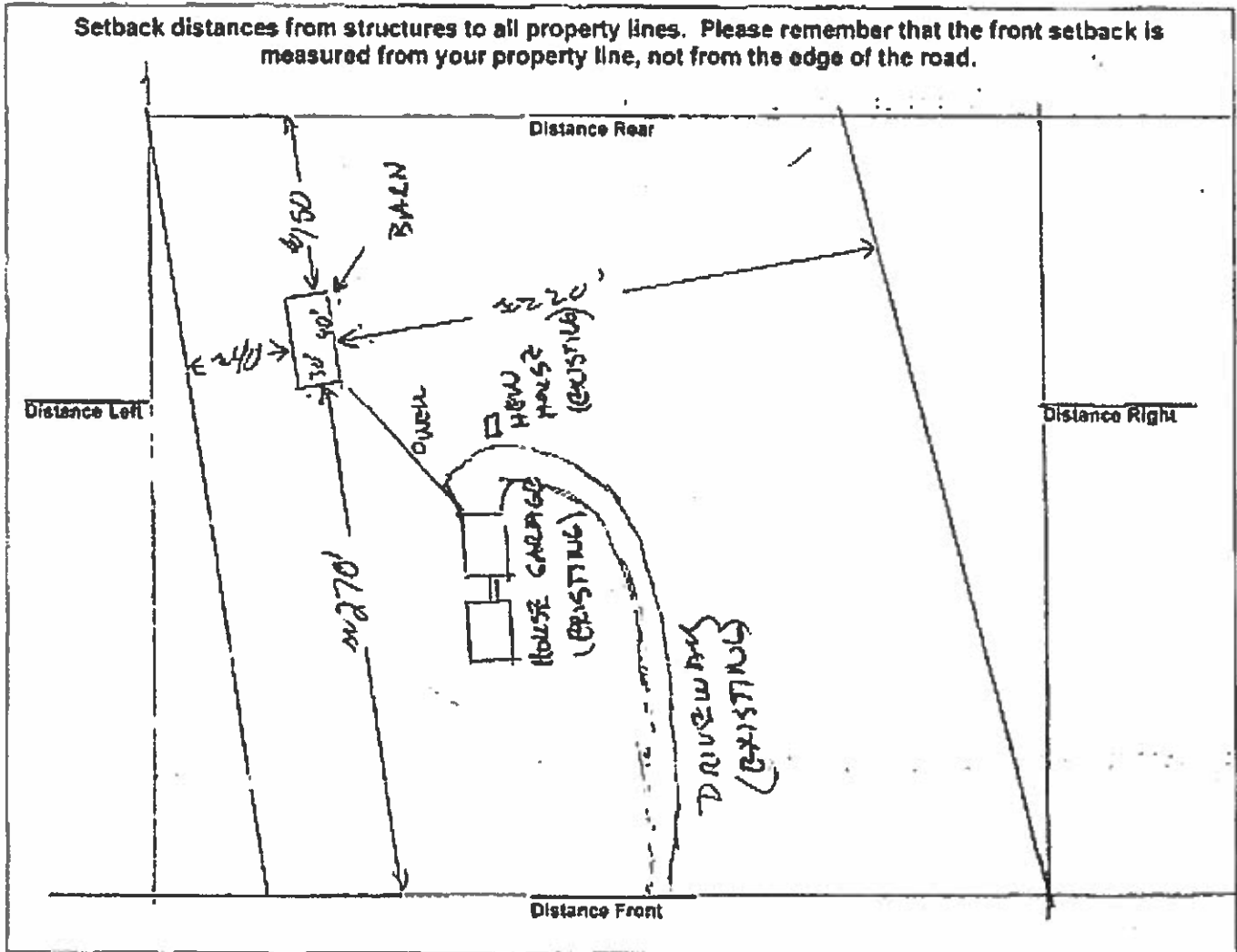
This is to certify that the information included with this application will be followed during construction and any changes shall be only after notifying the Selectmen's Office. That any permit issued based on inaccurate information is subject to immediate withdrawal. That the above referenced project meets the standards as printed and amended in the NH Code of Energy Conservation. That the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent and we agree to conform to all applicable laws of this jurisdiction. I further certify that I am aware of and will comply with, any deed restrictions or covenants, and any regulations or conditions imposed by the Selectmen, Zoning Board of Adjustment and/or Planning Board as it relates to this property and the proposed use.

Mark Allen
Signature of Applicant

MARK ALLEN
Print Name of Applicant

1/22/17
Date

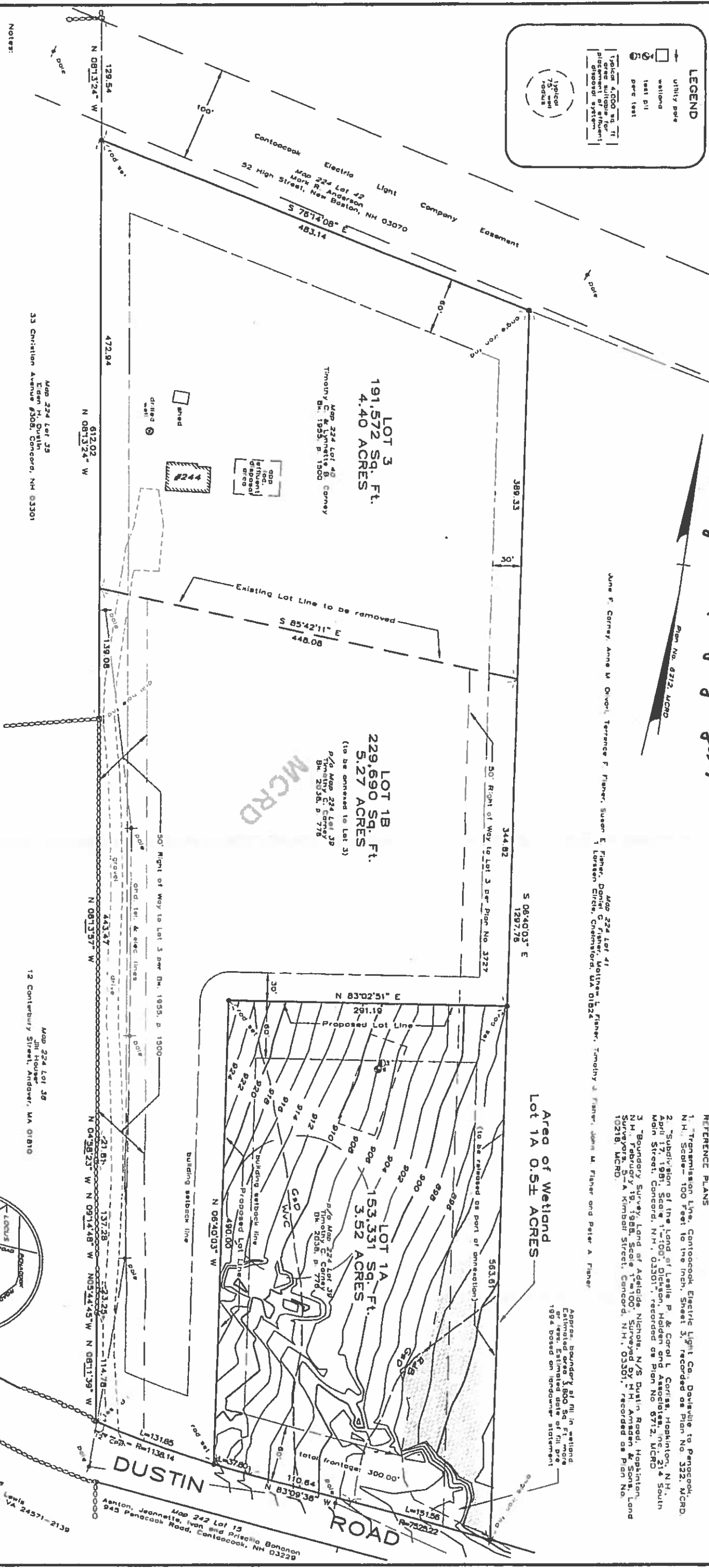
No permit will be issued for projects involving new construction, additions to existing buildings, or other work without this information. Site plan showing (if not scaled, drawing must be accurate) location and dimensions of the property, existing and proposed structures or construction, driveways, signage or other special features. Construction drawing showing the size and type of construction materials to be used.



Name of Street: 258 DUSTIN RD
Applicant: MARK & DEBORAH ALLEN Tax Map/Lot: 39 1A

LEGEND

- Utility pole
- Wellhead
- test pit
- perc test
- Typical 4,000 sq. ft. lot with placement of adjacent disposal system
- Typical 75' wide road



Map No. 8212, WCRD
 June F. Carney, Anne M. O'Neil, Terrence F. Fisher, Susan E. Fisher, Daniel C. Fisher, Matthew L. Fisher, Timothy J. Fisher, John M. Fisher and Peter A. Fisher
 1 Lebeson Circle, Cheshamford, VA 01924

- REFERENCE PLANS**
1. "Transmission Line, Contoocook Electric Light Co., Davisville to Penacook, N.H., Scale: 100 Feet to the Inch, Sheet 3," recorded as Plan No. 322, MCRD.
 2. "Subdivision of the Land of Leslie P. & Carol L. Corliss, Hopkinton, N.H., April 17, 1991, Scale: 1"=100', Dickson, Holden and Associates, 24 South Main Street, Concord, N.H., 03301," recorded as Plan No. 872, WCRD.
 3. "Boundary Survey, Land of Adelaide Nichols, N/S Dustin Road, Hopkinton, N.H., Surveyed by N.H. Amason & Sons, Land Surveyors, A Kimball Street, Concord, N.H., 03301," recorded as Plan No. 10218, WCRD.

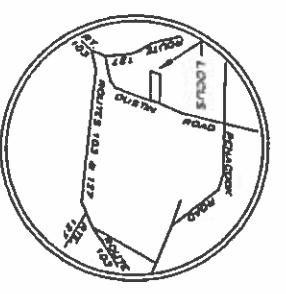
Approx. boundary of fill in wetland
 Estimated area 3,800 Sq. Ft. more
 or less. Estimated date of fill pre
 1994 based on landowner's statement

Notes:

1. This is a resurvey for annexation purposes of Lots 1 and 3 as shown on plan entitled "JOCASI, Subdivision of Land Owned by John Sweet & R. Hermond, Hopkinton, N.H., Scale 1"=100', Aug. 8, 1974," recorded as Plan No. 3727 at the Merrimack County Registry of Deeds. The intent of this plan is to annex a portion of Lot 1, shown as Lot 1B, to Lot 3.
2. Lots 1A, 1B and 3 are located within the R-3 Low Density Residential Zoning District. R-3 District Dimensional Requirements:
 Minimum Lot Area: 120,000 Sq. Ft.
 Minimum Lot Frontage: 300'
3. On Jan. 3, 2001, the Town of Hopkinton Zoning Board of Adjustment approved the variance request of Timothy C. & Lynnette B. Carney to subdivide Tax Lot 39 into two lots, one which will remain a conforming lot, and one which will be non-conforming. The Lot 40 conforming lot and associated frontage to be subdivided into two lots, one conforming and one non-conforming by annexing to Lot 1.
4. Wetlands were delineated by Renee B. Rabideau, CWS on April 27, 2001, according to the U.S. Army Corps of Engineers Wetland Delineation Manual, Technical Report in New England, Version 2, July 1993, and the regulation on classifying public lands to "1988 National List of Wetland Plant Species, U.S. Fish & Wildlife Service, Partner B Reed, Editor."
5. Soil types per "Soil Survey, Merrimack County, New Hampshire, Maps 44 and 53" - W.C. Woodbridge, very stony loam, B-25 percent slopes
 C&D Gloucester, stony sandy loam, B-25 percent slopes
 R&B Ridgely and Whitman, very stony loams, 3-8 percent slopes.
6. Lot 1A was approved by the NHDCS Subsurface Systems Bureau on November 9, 2001. For references see Approved No. SA2001003013.

**PLAN FOR ANNEXATION
 HOPKINTON, N.H.**

Surveyed for
 Timothy C. & Lynnette B. Carney
 244 Dustin Road, Contoocook, N.H., 03229
SCALE 1"=50'
SEPT. 26, 2001
 Donald R. Mellen, Surveyor
 22 Center Road, PO Box 412, Hillsborough, N.H., 03244
 Tel: (603)464-3266



LOCATION MAP

TOWN OF HOPKINTON PLANNING BOARD

Approved for annexation purposes
 in accordance with the vote of the board
 dated Sept 26, 2001
 [Signature]
 Chairman

8/17/10

Proposed Farm Stand / Agel Towerishy

DUSTIN RD.

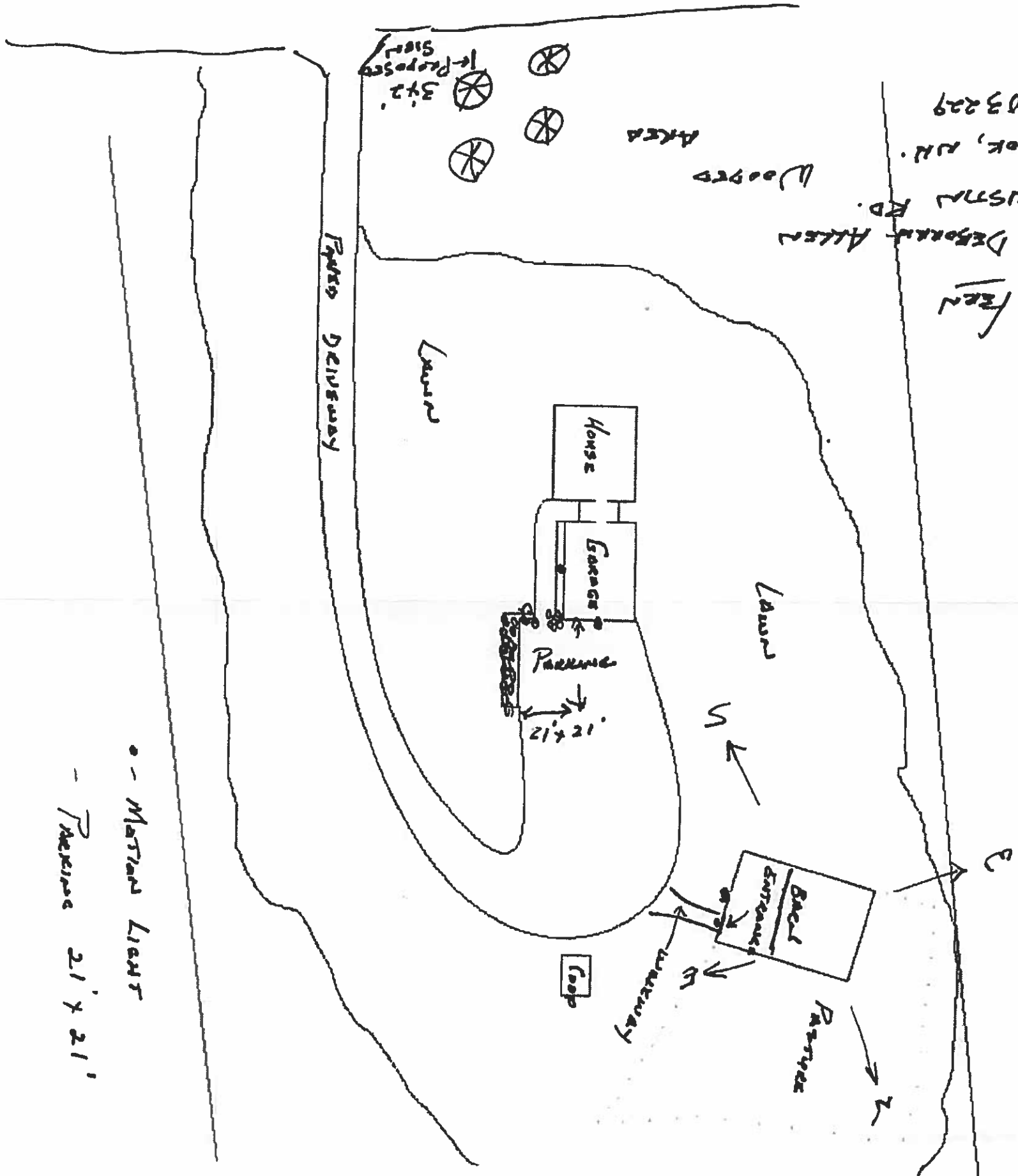
03229

LouTocok, All.

258 DUSTIN RD.

MARK & DEBORAH ALLEN

GILDED FERN



- Masons Light
 - Pavement 21' x 21'