



Town of Hopkinton

330 Main Street • Hopkinton, New Hampshire 03229 • www.hopkinton-nh.gov
Tel: 603-746-3170 Fax: 603-746-3049

HOPKINTON PLANNING BOARD PUBLIC NOTICE - AGENDA OCTOBER 9, 2018

Notice is hereby given that the Hopkinton Planning Board will meet on Tuesday, October 9, 2018, at 6:30 PM in the Hopkinton Town Hall, 330 Main Street, Hopkinton, NH, to review and take action on the following:

- I. Call to Order.
- II. Approval of Meeting Minutes of September 11, 2018.
- III. Conceptual Consultations.
- IV. Applications.

#2018-8 Dave Barkie requesting Site Plan Review for retail, closed storage and associated outside storage on property owned by Lisa Thorne, located off Maple Street in the M-1 district, shown on Tax Map 227 as Lot 40.

- a) Determination Completeness
- b) Public Hearing
- c) Deliberation and Action on Application

#2018-10 Joseph Grogan requesting Site Plan Review for an electrical business as a Home Business, located at 351 Park Avenue, owned by 351 Park Ave, LLC, in the R-1 district, shown on Tax Map 222 as Lot 70.

- a) Determination Completeness
- b) Public Hearing
- c) Deliberation and Action on Application

#2018-11 Keith & Tara Rutherford/Peter & Julie Smith requesting a Lot Line Adjustment involving properties located off Dustin Road, at the Hopkinton/Webster Town Line, in Hopkinton's R-4 district, shown on Hopkinton's Tax Map 224 as Lot 33 and Webster's Tax Map 7 as Lots 7-54-3 & 7-54-4.

- d) Determination Completeness
- e) Public Hearing
- f) Deliberation and Action on Application

The Planning Board reserves the right to adjourn the meeting/public hearing at 9:30 PM. All remaining agenda items will be rescheduled for review at the Planning Board's next scheduled meeting/public hearing.

V. Other Business

- Draft Zoning Amendments.
- Any other business to legally come before the meeting.

VI. Adjournment.



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HOPKINTON PLANNING BOARD

MINUTES

SEPTEMBER 11, 2018

Members present: Vice Chairman Michael Wilkey, James Fredyma Jane Bradstreet, Rich Steele, Celeste Hemingson, and Alternate Clarke Kidder. Absent: Chairman Bruce Ellsworth, Ex-Officio Sabrina Dunlap, and Alternate Timothy Britain. Staff present: Planning Director Karen Robertson.

I. **Call to Order.** Vice Chairman Wilkey called the meeting to order at 6:30 PM in the Hopkinton Town Hall. Due to the absence of regular members, Mr. Kidder was designated as a voting member.

II. **Review of the Minutes and Notice of Decision of August 14, 2018.**

Mrs. Hemingson, seconded by Mr. Steele, motioned to **APPROVE** the Minutes of August 14, 2018, with a revision that clarifies the motion to approve the application of River House Properties, LLC (#2018-7). The motion is to indicate that approval was conditioned upon a final agreement with the Director of Public Works concerning whether the driveway access and egress shall be counterclockwise or clockwise around the building. With six members voting, four voted in favor (Wilkey, Fredyma, Steele, and Hemingson) and two voted in abstention (Bradstreet and Kidder).

Mrs. Hemingson, seconded by Mr. Steele, motioned to **APPROVE** the Notice of Decision of August 14, 2018, with a revision that clarifies the motion to approve the application of River House Properties, LLC (#2018-7). The motion is to indicate that approval was conditioned upon a final agreement with the Director of Public Works concerning whether the driveway access and egress shall be counterclockwise or clockwise around the building. With six members voting, four voted in favor (Wilkey, Fredyma, Steele, and Hemingson) and two voted in abstention (Bradstreet and Kidder).

III. **Applications.**

#2018-8 Dave Barkie requesting Site Plan Review for retail, closed storage and associated outside storage on property owned by Lisa Thorne, located off Maple Street in the M-1 district, Tax Map 227 Lot 40. Review was **POSTPONED** at the request of the Applicant.

#2018-9 Deborah Allen requesting Site Plan Review to operate a year-round farm-stand and to engage in agritourism activities, located at 258 Dustin Road, owned by Deborah and Mark Allen, in the R-3 district, Tax Map 224 Lot 39.

The Applicant received approval at the September 5, 2018, meeting of the Zoning Board of Adjustment to operate a year-round farm-stand.

Subject to review and approval.

Mrs. Allen's farm consists of a small number of sheep. At her farm stand she plans to sell sheep yogurt and other milk products, including products produced from cow milk. The cow milk will come from other dairy farms. Eventually, she also plans to sell homemade cheese.

Mr. Kidder, seconded by Mrs. Bradstreet, motioned to **ACCEPT** Application #2018-09 as complete and for consideration. Motion carried unanimously in the affirmative.

There being no public present, Vice Chairman Wilkey opened and closed the public hearing portion of the meeting.

Mrs. Allen presented photographs of the inside of the existing barn where she will make and refrigerate the yogurt and cheese. All sales will be by way of an honor system.

Mrs. Bradstreet inquired about adequate lighting during winter months, when it gets dark early, and the hours of operation. Mrs. Allen noted that the hours will be from 7 AM to 7 PM and that there are motion lights on the property.

Mr. Kidder, seconded by Mrs. Hemingson, motioned to **APPROVE** Application #2018-09 as presented. Motion carried unanimously in the affirmative (Wilkey, Fredyma, Steele, Hemingson, Bradstreet, and Kidder).

- IV. Adjournment.** Mrs. Bradstreet, seconded by Mr. Kidder, motioned to **ADJOURN** the meeting 6:50 PM. The next regular scheduled meeting of the Hopkinton Planning Board is at 6:30 PM on Tuesday, October 9, 2018 at the Hopkinton Town Hall.

Karen Robertson
Planning Director



Town of Hopkinton

330 Main Street • Hopkinton, New Hampshire 03229 • www.hopkinton-nh.gov

Tel: 603 746-3170

Fax: 603 746-2952

HOPKINTON PLANNING BOARD NOTICE OF DECISION SEPTEMBER 11, 2018

Notice is hereby given that the Hopkinton Planning Board met on Tuesday, September 11, 2018, at 6:30 PM in the Hopkinton Town Hall, 330 Main Street, Hopkinton, and made the following decision(s):

I. Review of the Minutes and Notice of Decision of August 14, 2018.

Celeste Hemingson, seconded by Rich Steele, motioned to **APPROVE** the Minutes of August 14, 2018, with a revision that clarifies the motion to approve the application of River House Properties, LLC (#2018-7). The motion is to indicate that approval was conditioned upon a final agreement with the Director of Public Works concerning whether the driveway access and egress shall be counterclockwise or clockwise around the building. With six members voting, four voted in favor (Wilkey, Fredyma, Steele, and Hemingson) and two voted in abstention (Bradstreet and Kidder).

Celeste Hemingson, seconded by Rich Steele, motioned to **APPROVE** the Notice of Decision of August 14, 2018, with a revision that clarifies the motion to approve the application of River House Properties, LLC (#2018-7). The motion is to indicate that approval was conditioned upon a final agreement with the Director of Public Works concerning whether the driveway access and egress shall be counterclockwise or clockwise around the building. With six members voting, four voted in favor (Wilkey, Fredyma, Steele, and Hemingson) and two voted in abstention (Bradstreet and Kidder).

II. Applications.

#2018-8 Dave Barkie requesting Site Plan Review for retail, closed storage and associated outside storage on property owned by Lisa Thorne, located off Maple Street in the M-1 district, Tax Map 227 Lot 40. Review was **POSTPONED** at the request of the Applicant.

#2018-9 Deborah Allen requested Site Plan Review to operate a year-round farm-stand and to engage in agritourism activities, located at 258 Dustin Road, owned by Deborah and Mark Allen, in the R-3 district, Tax Map 224 Lot 39.

Clarke Kidder, seconded by Jane Bradstreet, motioned to **ACCEPT** Application #2018-09 as complete and for consideration. Motion carried unanimously in the affirmative.

Clarke Kidder, seconded by Celeste Hemingson, motioned to **APPROVE** Application #2018-09 as presented. Motion carried unanimously in the affirmative (Wilkey, Fredyma, Steele, Hemingson, Bradstreet, and Kidder).

III. Adjournment. Jane Bradstreet, seconded by Clarke Kidder, motioned to **ADJOURN** the meeting 6:50 PM. The next regular scheduled meeting of the Board is at 6:30 PM on Tuesday, October 9, 2018 at the Hopkinton Town Hall.

Karen Robertson
Planning Director

Subject to review and approval.



Town of Hopkinton
Planning Department
330 Main Street
Hopkinton, NH 03229

Phone: (603) 746-4487
Fax: (603) 746-2952
E-mail: planzone@tds.net
Web: www.hopkinton-nh.gov

#2018-8

TOWN OF HOPKINTON, NH
APPLICATION TO PLANNING BOARD

This application is for: Subdivision Lot Line Adjustment/Annexation/Merger Site Plan Review
 Conditional Use Permit (ZO Section III) Architectural Design Review (ZO Section IV-A)
 Special Use Permit (ZO Section VIII) Preliminary Review (SD Section II)

Name, mailing address and telephone number of Applicant: Dave Barkie, 1681 Valley Road,
Washington, N.H. 03280, (603) 495-3229

Name, mailing address and telephone number of property owner: Lisa Thorne, 519 Maple Street,
Contoocook, N.H. 03229, (603) 746-1086

Name, mailing address and telephone number of engineer, architect, soil scientist, wetland scientist and land surveyor: _____

Name and mailing addresses of holders of conservation preservation, or agricultural preservation restrictions or easements: N/A

Location of Site: 519 Maple Street Zone: M-1 Tax Map(s): 227 Lot(s): 40

Number of lots and/or units proposed: 2

Type of use of Unit(s) and/or Lot(s):

Residential Temporary Residential Recreational Agricultural Institutional
 Commercial Industrial Accessory

Type of Sewage (check one): Town Septic System Other

Type of Water Supply (check one): Town Dug Well Artesian

Please submit the following with the completed application:

- Narrative description of proposal.
- Copies of any Planning Board meeting minutes from Conceptual Consultation or Preliminary Review.
- Copy of property deed, easements and covenants and restrictions, if any, for subject property.
- Copy of the property tax map showing subject parcel and abutting properties.
- Copies of any ZBA Notices of Decision for project.

**TOWN OF HOPKINTON, NH
APPLICATION TO PLANNING BOARD**

- Site Plan Regulations/Subdivision Regulations/Zoning Ordinance — Read carefully to insure that all applicable requirements in the Site Review Regulations and/or Subdivision Regulations have been addressed. **If requesting waiver(s) from any of the provisions, please submit request in writing at the time of submittal of application/plans.** Plans must be complete at the time of submittal.
- Abutters List as defined by RSA 672:3—Include Tax Map, Lot Number, Name and Mailing Address of all abutters, including those across a street, brook or stream. Names should be those of current owners.
- One (1) set of addressed mailing labels of abutters, applicant, engineer, architect, soil scientist, wetland scientist, land surveyor, and of holders of conservation preservation, or agricultural preservation restrictions or easements.
- Four (4) paper prints of the final plan(s) at full scale.
- Eleven (11) copies of the application, along with all supporting document(s), including reductions of the final plan(s) reduced to no more than 11 x 17 inches.
- Appropriate filing fee: *(Non-refundable) Made payable to Town of Hopkinton*

Major Subdivision	\$500.00 Application Fee, \$100.00 per Lot/Unit
Minor Subdivision	\$250.00 Application Fee, \$100.00 per Lot/Unit
Lot Line Adjustment/Annexation/Merger	\$100.00 Application Fee
Voluntary Merger	\$50.00 Application Fee
Site Plan Review	\$300.00 Application Fee, \$100.00 per Unit (Res./Non-Res.)
	\$150.00 Change of Use
Condition Use Permit	\$500.00 Application Fee (Wireless Telecommunications)
	\$150.00 Application Fee (Co-Location)
Owner/Applicant/Agent Notice	\$10.00 Fee per Address
Abutter Notice	\$10.00 Fee per Address
Newspaper Notice.....	Actual Cost

- Recording Fees: *Separate Checks Payable to Merrimack County Registry of Deeds*

Recording Fee	\$26.00 per Page (22" x 34")
LCHIP Fee	\$25.00 per Document
- Conditional Use Permit: If application is for Conditional Use Permit, please attach a detail explanation of compliance with Section 3.10 of the Hopkinton Zoning Ordinance along with explanation of compliance with the Site Plan Review Regulations of the Town of Hopkinton.

The undersigned Applicant is familiar with the Subdivision Regulations, Site Plan Review Regulations, and the Hopkinton Zoning Ordinance and agrees that the proposed actions will be performed in accordance with this application, the attached plans and specifications, the Ordinance, By-Laws and Regulations of the Town. The Applicant also certifies that any plot plan submitted is accurate.

Incomplete and/or vague answers constitute an incomplete application, as does omission of the application fees, and therefore, the application will not be scheduled for a Public Hearing.

Date: 8/20/18 Signature of Applicant: D. Blui Member Summit Holdings LLC.
 Date: 8/20/18 Signature of Owner: Rosa A. Thorne

	For Planning Board Use:		
Completed Application Filed:	<u>8/20/18</u>	Approved or Denied:	_____
Amount of Fees Paid:	<u>465.00</u>	Plan Filed At MCRD:	_____
Notice Advertised & Posted:	_____	Plan Number:	_____
Certified Notices Mailed:	_____		
Accepted for Consideration:	_____		

Town of Hopkinton, NH
Site Plan Review Checklist

In cases where not all items are applicable, draw a line through the items that are not applicable. All requests for waivers must be in writing with the application.

ALL APPLICATIONS

- 1. Ten (10) copies of completed application, all associated documentation and checklist;
- 2. List of names and addresses of abutters and use of abutting properties, identified with location of the structures and access roads;
- 3. One (1) set of address mailing labels of abutters, applicant, engineer, architect, soil scientist, wetland scientist, land surveyor, and any holders of conservation preservation, or agricultural preservation restrictions or easements;
- 4. The appropriate fee;
- 5. Site plan: 24" by 36" sheet size maximum, scale not less than 1" = 100', match lines where needed, date, title, graphic scale, north arrow, location map, legend, name & address of developer/applicant, designer/engineer, and owner of record;
- 6. Four (4) prints of each plan sheet at full scale and one (1) reduction of each plan reduced to no more than 11" x 17";
- 7. All existing and proposed easements;
- 8. Site plan showing boundaries, existing natural features including watercourses & water bodies, trees & other vegetation, topographical features, and other pertinent features that should be considered in the site design process;
- 9. Plan of all buildings depicting their type, size, and location (setbacks);
- 10. Location of off-street parking and loading spaces with a layout or the parking indicated;
- 11. The location, width, curbing and type of access ways and egress ways (driveways), plus streets and sidewalks within and around site;
- 12. Location, size, and design of proposed signs and advertising or instructional devices;
- 13. Location and type of lighting for all outdoor facilities, including direction and area of illumination;
- 14. Right-of-way lines of all existing adjoining streets;
- 15. Location and type of Water supply & sewage disposal facilities;
- 16. Zoning districts and boundaries for site and within 1000 feet of site;
- 17. 100 year flood elevation line, where applicable;
- 18. An elevation view or photograph of all buildings indicating their height, width and surface treatment;
- 19. Landscaping plan showing required details described within the Site Plan Review Regulations, and
- 20. Other required exhibits or data in order to adequately evaluate the proposal.

Town of Hopkinton, NH
Site Plan Review Checklist

PROJECTS REQUIRING NEW OR ADDITIONAL BUILDINGS OR CHANGES TO THE EXTERIOR DIMENSIONS OF EXISTING OR CHANGES TO EXISTING CONTOURS AND FINISHED GRADE ELEVATIONS, INCLUDING TYPE, EXTENT, AND LOCATION OF LANDSCAPING, PARKING AND OPEN SPACE AREAS SHALL SUBMIT THE FOLLOWING IN ADDITION TO ABOVE:

1. Reproducible mylar, to be retained by the Planning Board at its option;
2. Plan of all buildings with their type, size, location (setbacks) and elevation of first floor indicated: (assume permanent onsite elevation);
3. The size and proposed location of water supply and sewage facilities and provision for future expansion of sewage and water facilities, and all distances from existing water and sewage facilities on the site and on abutting properties to a distance of 200 feet;
4. The location, elevation and layout of catch basins and other surface drainage features;
5. Existing and proposed contours and finished grade elevations – all contours shall be a minimum of 2-foot intervals;
6. The type, extent and location of existing and proposed landscaping and open space areas indicating what existing landscaping and open space areas will be retained;
7. The size and location of all public service connections – gas, power, telephone, fire alarm, (overhead or underground);
8. Surveyed property lines showing their angles, distances, radius, lengths of arcs, control angles, along property lines and monument locations and names of all abutters;
9. If a subdivision, the lines and names of all proposed streets, lanes, ways, or easements intended to be dedicated for public use shall be indicated and all Subdivision Regulations shall apply, and
10. Erosion and sedimentation control plan.

TOWN OF HOPKINTON, NH
 APPLICATION TO PLANNING BOARD

List of Abutters

Map	Lot(s)	Property Owner(s) Name	Mailing Address	Office Use Only	
227	4	Southworth-Milton, Inc.	100 Quarry Drive Milford, MA 01757		
227	6	Brenda J. Bailey	512 Maple Street Contoocook, N.H. 03229		
227	7	Dorothy & Gary Graziano, Sr. and Gary Graziano, Jr.	496 Maple Street Contoocook, N.H. 03229		
227	39	Helen L. Barnard Revocable Trust c/o Robert W. Barnard	3675 Amberly Circle, Unit C301 Naples, FL 34112		
227	41	Virginia & Woodbury Roberts	575 Maple Street Contoocook, N.H. 03229		

Professionals

Applicant	David Barkie	1681 Valley Road Washington, N.H. 03280		
Surveyor	Arthur Siciliano, Jr.	52A Hall Avenue Henniker, N.H. 03229-42		
Wetland Scientist	Thomas Carr Meridian Land Services, Inc.	P.O. Box 118 Milford, N.H. 03055		
Engineer	Anthony Costello A.C. Engineering & Consulting	43 Bear Hill Road Washington, N.H. 03280		

MERRIMACK COUNTY RECORDS

Kathi L. Guay, CPO, Register

Return to: Lisa A. Thorne

519 Maple St.

Hopkinton, NH 03229

1449
2-
25-

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS, That We, Thomas K. Thorne, married, of 189 Carter Hill Road, Concord, NH 03303 and Lisa A. Thorne, Married, of 519 Maple Street, Hopkinton, NH 03229, for consideration paid, grant to Lisa A. Thorne, Married, of 519 Maple Street, Hopkinton, NH 03229, with QUITCLAIM covenants,

A certain tract or parcel of land, with the improvements thereon, in the Town of HOPKINTON, County of MERRIMACK, and State of New Hampshire, bounded and described as follows:

Beginning at the east side of the highway known as Highway 127 at the northeast corner of these granted premises;

Thence in a general easterly direction along a stone wall about thirty-seven (37) rods to an iron pin at the end of the wall;

Thence in a general southerly direction along a wire fence about thirty-four (34) rods to an iron post;

Thence in a general westerly line along a fence about thirty-seven (37) rods to an iron pin at the end of a stone wall at the highway;

Thence in a general northerly direction along the stone wall on the easterly side of the highway about thirty-four (34) rods to the point begun at.

Meaning and Intending to describe and convey the same premises conveyed to Thomas K. Thorne and Lisa A. Thorne by deed dated October 8, 2010 and recorded at Book 3219, Page 195 of the Merrimack County Registry of Deed.

This conveyance is made pursuant to the Final Decree of Divorce in the matter of Lisa A. Thorne and Thomas K. Thorne, 6th Circuit Court, Concord Family Division, Case Number 629-2013-DM-00469, dated April 18, 2014, and is exempt from transfer tax pursuant to New Hampshire RSA 78-B:2, XIII.

I, Thomas K. Thorne, ^{spouse of Lisa A. Thorne} hereby release to said Grantee all rights of homestead and all other interests therein.

Signed May, 20, 2014

Thomas K. Thorne

Thomas K. Thorne

Signed May, 22, 2014

Lisa A. Thorne

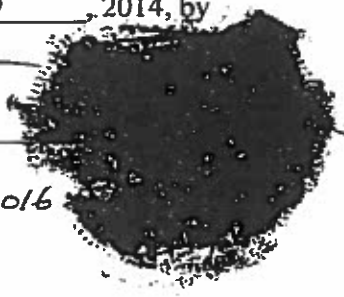
Lisa A. Thorne

STATE OF NEW HAMPSHIRE
MERRIMACK, SS.

This instrument was acknowledged before me on May, 20, 2014, by Thomas K. Thorne.

[Signature]

Notary Public / Justice of the Peace
My Commission Expires: August 23, 2016



STATE OF NEW HAMPSHIRE
MERRIMACK, SS.

This instrument was acknowledged before me on May, 22nd, 2014, by Lisa A. Thorne.

[Signature]

Notary Public / Justice of the Peace
My Commission Expires: [Signature]





Thorne Property

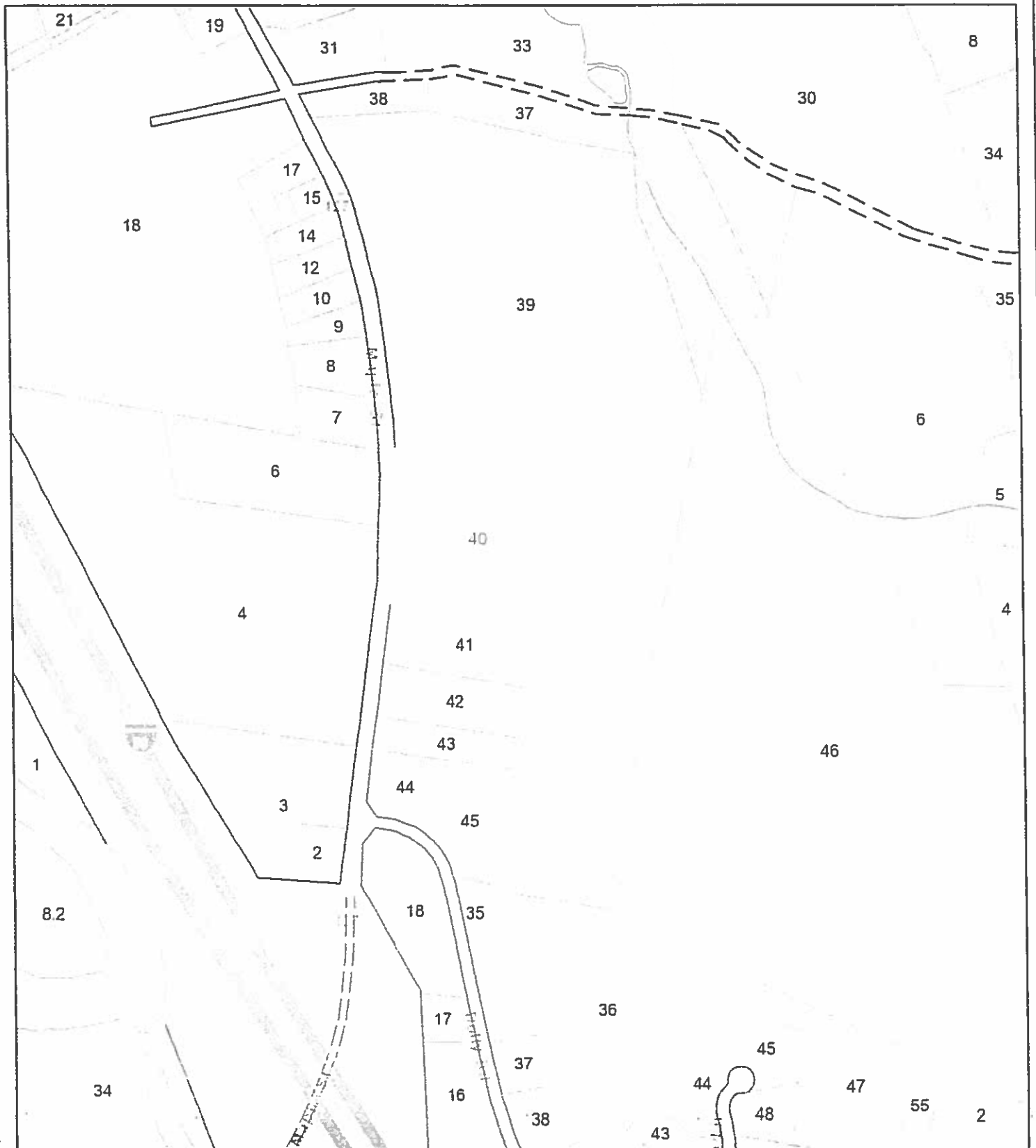
Hopkinton, NH



December 13, 2017

1 inch = 500 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Drainage Summary for

~ Commercial Site Development ~

Tax Map 227 / Lot 40-1

519 Maple Street
Contoocook, New Hampshire

Prepared for:

Summit Holdings, LLC

August 27, 2018



Prepared by:

A.C.Engineering & Consulting

43 Bear Hill Road
East Washington, N.H. 03280

1. Project Description

This project will consist of the clearing and re-grading of land for the construction of a 3,600 s.f. metal framed building with associated paved parking and access. Disturbance activities will include clearing and grubbing within the limits of the work area, the installation of sediment and erosion controls, removal and stockpile of topsoil, excavation to parking sub grade and preparation for final planting and seeding. Approximately 39,000 s.f. (0.9 acres) of land will be disturbed by construction activities. There are no proposed wetland impacts for this project.

2. Site Conditions

The existing site is located on Maple Street in Contoocook, N.H. The property is mostly meadow with trees located across the front, right side and rear property lines as well as small trees around a wetland swale running through the property. This parcel is part of a conditionally approved subdivision with the abutting property to the north. There are three out buildings on the property and a gravel drive is used to access to them from the northerly property. Soils on the property are classified by NRCS as a Metacomet fine sandy loam with slopes ranging from 3 to 15%. Runoff from the site flows on to the southerly abutting property through a wetland running north-south through the property, and to an existing 18" culvert near the southwest corner of the property and passing under Maple Street.

3. Methodology

Runoff computations have been estimated using the SCS TR-55/TR-20 methodology as implemented by HydroCAD 10.00 computer software. The site has been designed to decrease peak flows and volumes for the 10-year storm event. Summaries for the 2 and 50 year storm events have also been provided.

4. Results

Site Runoff 18" Culvert (1S, 10S)	Peak Flow		Volume	
	Pre- Development	Post Development	Pre- Development	Post Development
2 Year Storm	0.90 cfs	1.00 cfs	0.108 af	0.114 af
10 Year Storm	2.04 cfs	2.04 cfs	0.228 af	0.224 af
50 Year Storm	3.96 cfs	3.72 cfs	0.433 af	0.406 af

Site Runoff Through Wetland (2P, 21P)	Peak Flow		Volume	
	Pre-Development	Post Development	Pre-Development	Post Development
2 Year Storm	2.12 cfs	2.09 cfs	0.472 af	0.466 af
10 Year Storm	3.94 cfs	3.85 cfs	1.019 af	1.008 af
50 Year Storm	7.11 cfs	7.40 cfs	1.971 af	1.968 af

5. Erosion Control

Control Measures: Install hay bales, check dams, silt fence and stump grindings in locations shown on Grading Plan. Sediment and erosion control measures shall be in place prior to any excavation operations including the removal of stumps and the removal and stockpile of topsoil. It is recommended that all stumps be ground into mulch and that the mulch be used for erosion control.

Construct additional temporary berms, ditches, traps and basins as may be required during the various phases of construction. Inspect and maintain sediment and erosion control measures on a weekly basis and after every rainfall of 0.5" or greater.

Existing Vegetation & Topsoil: Existing vegetation is to remain undisturbed wherever possible. Stripped topsoil shall be stockpiled, without compaction, and stabilized against erosion. Topsoil stockpiles and disturbed areas where construction activity will temporarily cease for at least 21 days shall be stabilized with temporary seed and straw mulch or stump grindings.

Drainage Structures: Install dry wells and incorporate appropriate sedimentation control measures. The installation of all underground utilities should coincide with that of the drainage structures.

6. Storm Water Control

Roof runoff from the front of the building will be collected in drip line trenches and infiltrated into the ground.

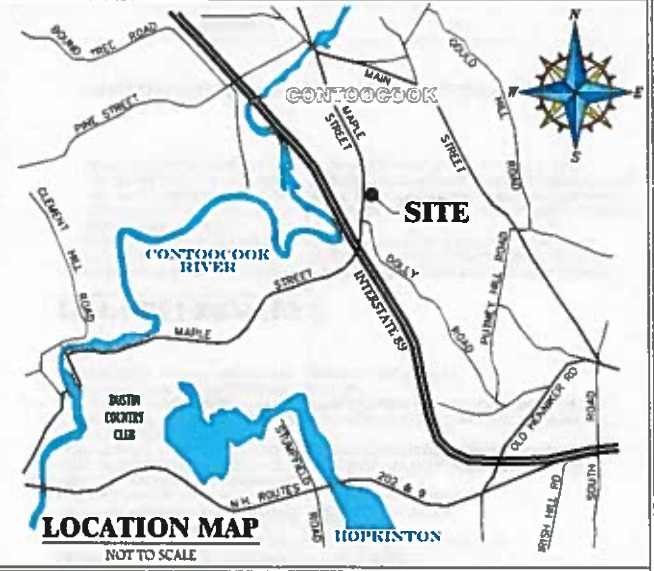
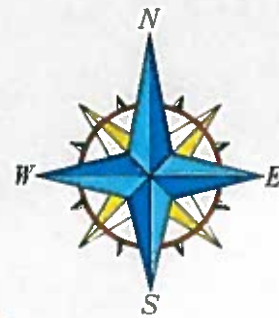
Roof and parking runoff for the back of the building will be collected in a small grass swale/detention area located between the parking area and existing wetland swale. Runoff will be infiltrated up to a depth of 6" after which the additional runoff will exit the swale through an emergency spillway and be directed into the existing wetland swale.

TAX MAP 227 / LOT 6
Brenda J. Bailey
512 Maple Street
Contoocook, N.H. 03229

TAX MAP 227 / LOT 4
Southworth-Milton Inc
100 Quarry Drive
Milverton, MA 01757

SOIL LEGEND

- 458B METACOMET FINE SANDY LOAM - 3-8% SLOPES
 - 459C METACOMET FINE SANDY LOAM - 8-15% SLOPES, VERY STONY
- SOILS DERIVED FROM NRCS WEB SOIL SURVEY



A.C. Engineering & Consulting
Civil Engineering & Land Planning
43 Bear Hill Road
East Washington, N.H. 03280
Phone: (603) 325-5114
acengr@comcast.net

LEGEND

- EXISTING BOUNDARY LINE
- BUILDING SETBACK
- STONE WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- TREELINE
- OVERHEAD UTILITIES
- DRAINAGE PIPE
- EDGE OF WETLAND
- GRANITE ROUND
- DRILL HOLE
- IRON PIPE
- WELL
- UTILITY POLE
- WETLAND

NO.	DATE	DESCRIPTION	BY

OWNER:
Lisa A. Thorne
519 Maple Street
Contoocook, N.H. 03229
Book 3440 / Page 1871

PREPARED FOR:
David Bailey
1681 Valley Road
Washington, N.H. 03280

EXISTING CONDITIONS

Thorne Property
Tax Map 227 / Lot 40
519 Maple Street
Contoocook, N.H.

SCALE: 1" = 30' FT

DATE: 8-20-18

DWG: C-1

ROUTE 127 MAPLE STREET

TAX MAP 227 / LOT 40-1
161,233 S.F. - 3.73 ACRES
AREA OF WETLAND = 13,447 S.F.
TOTAL BUILDABLE AREA = 147,786 S.F.

TAX MAP 227 / LOT 41
Virginia & Woodbury L. Roberts
573 Maple Street
Contoocook, N.H. 03229

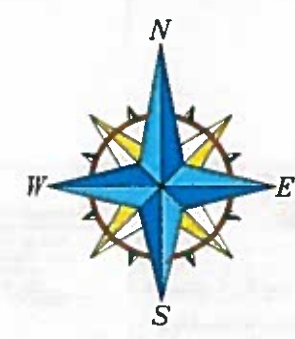
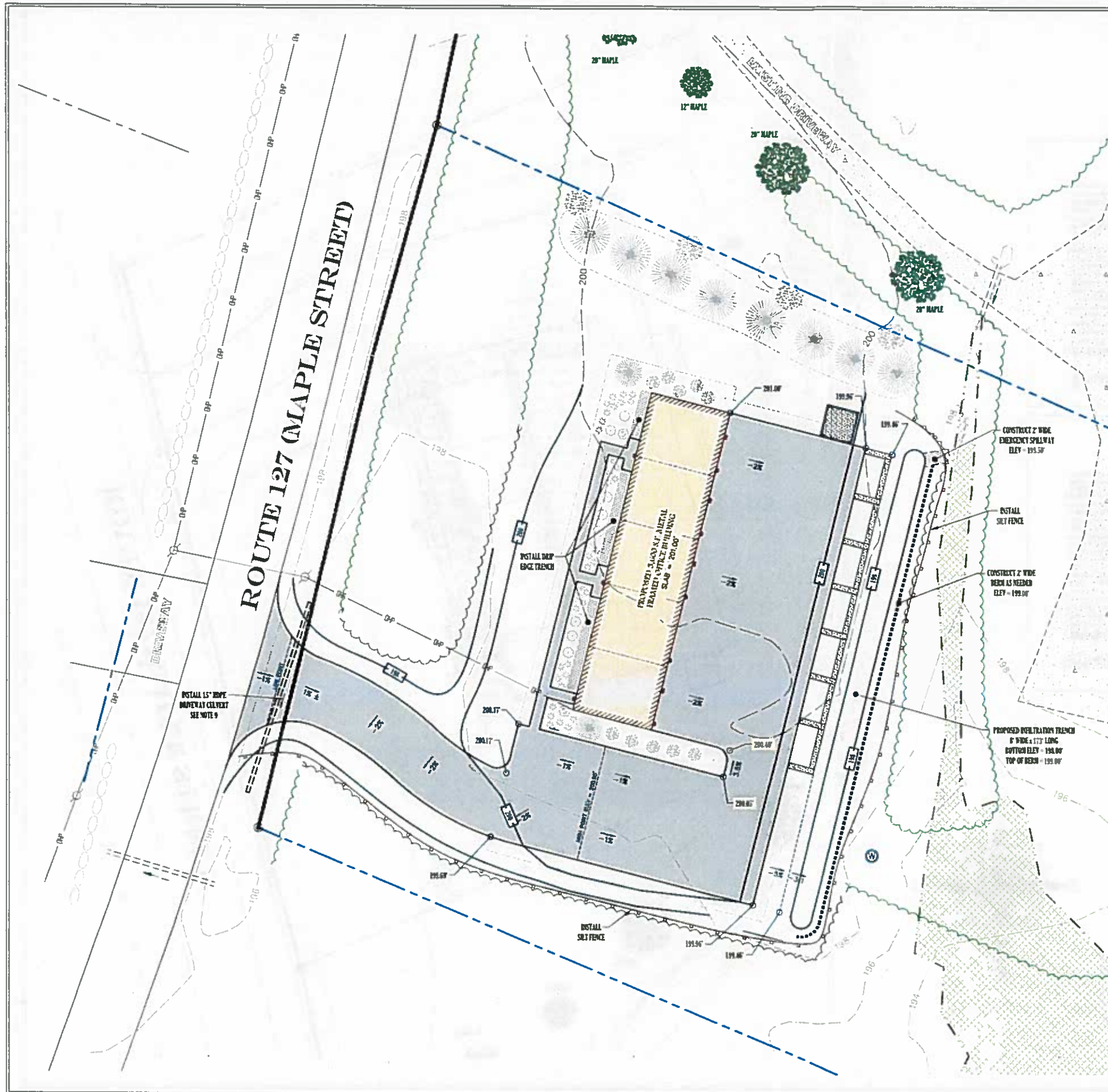
TAX MAP 227 / LOT 39
Helen L. Barnard Revocable Trust
c/o Robert W. Barnard
3673 Amberly Circle - Unit C301
Naples, Florida 34112

NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW A POTENTIAL COMMERCIAL DEVELOPMENT FOR TAX MAP 227 / LOT 40-1.
2. OWNER OF RECORD: LISA THORNE, 519 MAPLE STREET, CONTOOCOOK, N.H. 03229. DEED: BOOK 3440 / PAGE 1871.
3. SURVEY PERFORMED BY ARTHUR SICILIANO, JR. LAND SURVEYOR, 324 HALL AVENUE, HENSHIRE, N.H. 03242.
4. WETLANDS DELINEATED BY THOMAS CARR OF MERIDIAN LAND SERVICES, INC., P.O. BOX 118, MILFORD, N.H. 03055.
5. PROPERTY IS LOCATED IN THE INDUSTRIAL (A1-1) DISTRICT.
MINIMUM LOT SIZE: 110,000 S.F.
MINIMUM FRONTAGE: 250'
FRONT SETBACK: 50'
SIDE SETBACK: 40' (50' FOR RES. USE)
REAR SETBACK: 50'
MAX. BUILDING COVERAGE: 40%
* FRONT AND REAR SETBACKS SHALL BE 100' AND SIDE SETBACKS SHALL BE 50' FROM A PROPERTY LINE ADJUTING A RESIDENTIAL USE OR DISTRICT.
6. THIS TRACT IS NOT LOCATED WITHIN A FLOOD PLAIN PER NHGRANT GIS.
7. NHDES SUBDIVISION APPROVAL # 6532218011521.
8. SITE WILL BE SERVICED BY ON-SITE SEPTIC AND ON-SITE WATER.
9. REQUIRED PARKING: 1 SPACE / 300 S.F. => 3600 / 300 = 12 SPACES
10. 12 SPACES PROVIDED INCLUDING 1 VAN ACCESSIBLE SPACE.
11. SPECIAL EXCEPTION FOR RETAIL, CLASSED STORAGE AND ASSOCIATED OUTSIDE STORAGE GRANTED BY THE HOPKINTON ZONING BOARD OF ADJUSTMENT GRANTED ON MAY 10, 2018 WITH THE FOLLOWING CONDITIONS:
 - THERE MUST BE ADEQUATE SCREENING OF THE STRUCTURE FROM ADJACENT PROPERTIES.
 - ALL STORAGE OF EQUIPMENT VEHICLES AND MATERIAL MUST BE LOCATED BEHIND THE BUILDING, OUT OF VIEW FROM THE STREET, AND
 - THERE SHALL BE NO HAZARDOUS MATERIALS ON THE PROPERTY.

PLAN REFERENCES

1. REFERENCE PLAN ENTITLED "SUBDIVISION PLAN THORNE PROPERTY", DATED: DECEMBER 16, 2017, SCALE: 1" = 30', PREPARED FOR SUMMIT HOLDINGS LLC, PREPARED BY ARTHUR F. SICILIANO, JR., LAND SURVEYOR AND ON RECORD WITH THE TOWN OF HOPKINTON PLANNING DEPARTMENT.
2. REFERENCE PLAN ENTITLED "BOUNDARY PLAN OF TAX MAP 227 - LOT 39 AND TAX MAP 228 - LOT 39" DATED: DECEMBER 12, 2005, SCALE: 1" = 150', PREPARED FOR HELEN L. BARNARD REVOCABLE TRUST OF 1994, ROBERT BARNARD TRUSTEE, PREPARED BY LAARINE TECHNICAL LAND SERVICES AND RECORDED AT THE MCRD ON APRIL 4, 2006 AS PLAN #17617.



LEGEND

	BOUNDARY LINE
	BUILDING SETBACK
	STONE WALL
	EDGE OF PAVEMENT
	EDGE OF GRAVEL
	2' CONTOUR
	10' CONTOUR
	DRAINAGE PIPE
	OVERHEAD UTILITIES
	EDGE OF WETLAND
	FENCE
	EDGE OF LANDSCAPING
	TREE LINE
	GRANITE ROUND
	DRILL HOLE
	IRON PIPE
	WELL
	UTILITY PIPE
	WETLAND

NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW A POTENTIAL COMMERCIAL DEVELOPMENT FOR TAX MAP 227 / LOT 40-1
2. OWNER OF RECORD: LISA THORNE, 519 MAPLE STREET, CONTOCOOK, N.H. 03229 DEED: BOOK 3440 / PAGE 1871
3. SURVEY PERFORMED BY ARTHUR SUTLIANO, JR. LAND SURVEYOR, 52A HALL AVENUE, HENRIKER, N.H. 03242.
4. WETLANDS DELINEATED BY THOMAS CARR OF AMERICAN LAND SERVICES, INC., P.O. BOX 116, MILFORD, N.H. 03053.
5. PROPERTY IS LOCATED IN THE INDUSTRIAL (M-1) DISTRICT.
 MINIMUM LOT SIZE: 110,000 S.F.
 MINIMUM FRONTAGE: 250'
 FRONT SETBACK: 50'
 SIDE SETBACK: 40" (30' FOR RKS. USED)
 REAR SETBACK: 50'
 MAX. BUILDING COVERAGE: 40%
 * FRONT AND REAR SETBACKS SHALL BE 100' AND SIDE SETBACKS SHALL BE 30' FROM A PROPERTY LINE ADJUTING A RESIDENTIAL USE OR DISTRICT.
6. THIS TRACT IS NOT LOCATED WITHIN A FLOOD PLAIN PER NIGRANT GIS.
7. NHDES SUBDIVISION APPROVAL # 6542162M1201
8. SITE WILL BE SERVICED BY ON-SITE SEPTIC AND ON-SITE WATER.
9. REQUIRED PARKING: 1 SPACE / 300 SF ⇒ 3600/300 = 12 SPACES
10. 12 SPACES PROVIDED INCLUDING 1 VAN ACCESSIBLE SPACE.
11. SPECIAL EXCEPTION FOR RETAIL, CLOSED STORAGE AND ASSOCIATED OUTSIDE STORAGE GRANTED BY THE HOPKINTON ZONING BOARD OF ADJUSTMENT GRANTED ON MAY 10, 2015 WITH THE FOLLOWING CONDITIONS:
 - THERE MUST BE ADEQUATE SCREENING OF THE STRUCTURE FROM ADJACENT PROPERTIES.
 - ALL STORAGE OF EQUIPMENT VEHICLES AND MATERIAL MUST BE LOCATED BEHIND THE BUILDING, OUT OF VIEW FROM THE STREET, AND
 - THERE SHALL BE NO HAZARDOUS MATERIAL ON THE PROPERTY.



A.C. Engineering & Consulting
 Civil Engineering & Land Planning
 43 Bear Hill Road
 East Washington, N.H. 03280
 Phone: (603) 325-5114
 acengr@acand.net

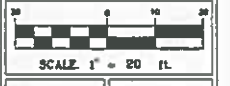
NO.	DATE	DESCRIPTION	BY

OWNER: Lisa A. Thorne
 519 Maple Street
 Contoocook, N.H. 03229
 Book 3440 / Page 1871

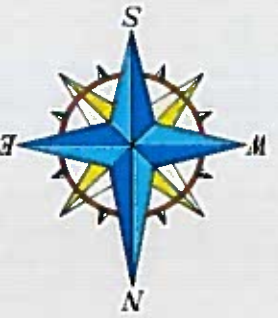
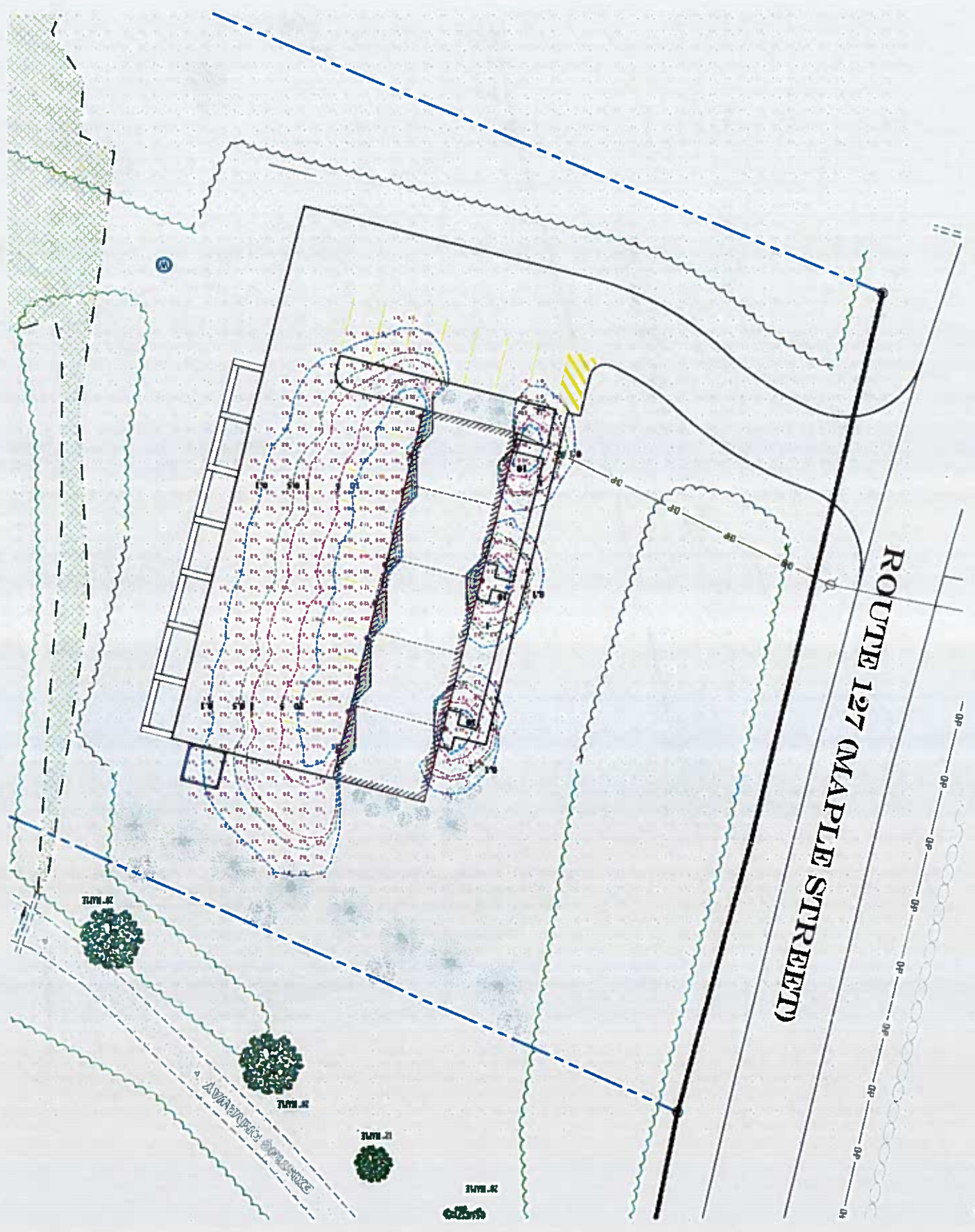
PREPARED FOR: Summit Holdings LLC
 43 Bear Hill Road
 Washington, N.H. 03280

GRADING & UTILITY PLAN

Thome Property
 Tax Map 227 / Lot 40-1
 519 Maple Street
 Contoocook, N.H.



DATE: 8-20-18
 DWG: C-3



LEGEND

10 FT ISOCONTOUR	-----
5 FT ISOCONTOUR	-----
1 FT ISOCONTOUR	-----
0.1 FT ISOCONTOUR	-----
MRW WALL-MOUNTED IN A WALL	-----

MRW
MRW MRW MRW

MRW WALL-MOUNTED IN A WALL
10 FT ISOCONTOUR
5 FT ISOCONTOUR
1 FT ISOCONTOUR
0.1 FT ISOCONTOUR

FEATURES & SPECIFICATIONS

MRW - MRW WALL-MOUNTED IN A WALL
10 FT ISOCONTOUR
5 FT ISOCONTOUR
1 FT ISOCONTOUR
0.1 FT ISOCONTOUR

TWF2
TWF2 TWF2 TWF2

TWF2 WALL-MOUNTED IN A WALL
10 FT ISOCONTOUR
5 FT ISOCONTOUR
1 FT ISOCONTOUR
0.1 FT ISOCONTOUR

FEATURES & SPECIFICATIONS

TWF2 - TWF2 WALL-MOUNTED IN A WALL
10 FT ISOCONTOUR
5 FT ISOCONTOUR
1 FT ISOCONTOUR
0.1 FT ISOCONTOUR

DATE: 5-29-18
DRC: CS
SCALE: 1" = 20'
SHEET 5 OF 9

LIGHTING PLAN
Thorne Property
Tax Map 227 / Lot 40-1
519 Maple Street
Conitcook, N.H.

OWNER:
Lisa A. Thorne
519 Maple Street
Conitcook, N.H. 03229
Phone: 603-882-1871

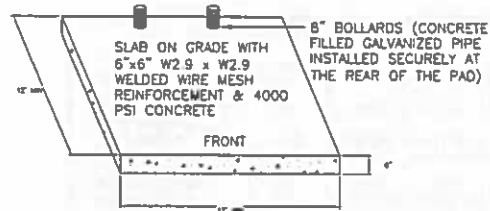
PREPARED FOR:
Shannon H. Hildreth, LLC
43 Bow Hill Road
East Walpole, N.H. 03226

NO.	DATE	DESCRIPTION	BY

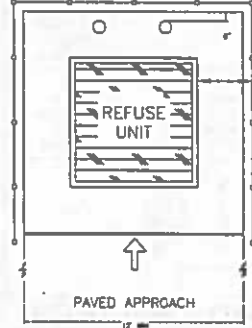
A.C. Engineering & Consulting
Civil Engineering & Land Planning
43 Bow Hill Road
East Walpole, N.H. 03226
Phone: (603) 325-5114
aceng@acandl.com

DUMPSTER PAD DETAIL

NOT TO SCALE



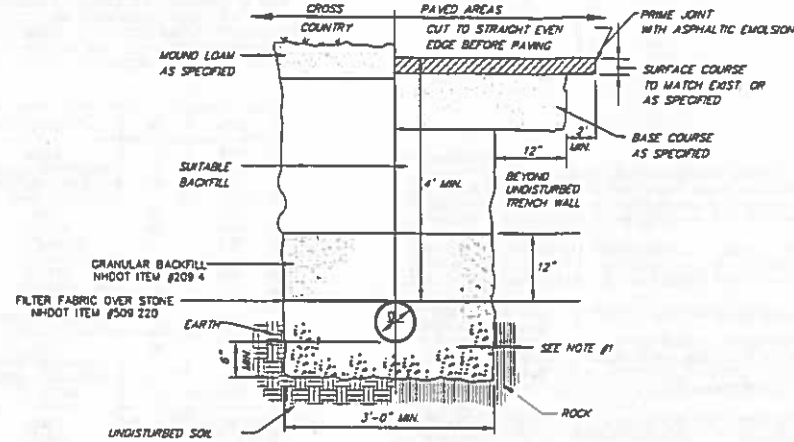
TYPICAL FENCE LAYOUT (6' MINIMUM HEIGHT)



- NOTES:
- DUMPSTER PADS AND ASSOCIATED SCREENING SHALL BE PLACED WHERE THE REFUSE BINS CAN BE UNLOADED WITH A SINGLE TURNING MOVEMENT WITH A 35' FRONT LOADING TRUCK. THE WIDTH OF THE GATE SHOULD BE TAKEN INTO ACCOUNT WHEN REVIEWING TURNING MOVEMENTS.
 - GATES SHALL BE PROVIDED UNLESS THE DUMPSTER IS BLOCKED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND ADJUTING PROPERTIES BY BUILDINGS OR WALLS.
 - TRASH CONTAINERS SHALL BE LOCATED A MINIMUM DISTANCE OF 25' FROM ANY DRAINAGE STRUCTURE, INLET OR STORMWATER FACILITY.

TYPICAL STORM DRAINAGE TRENCH DETAIL

NOT TO SCALE

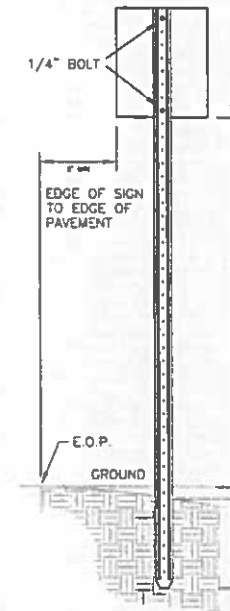


NOTES

- FOR ADS N 12 PIPE BEDDING SHALL BE 3/4" STONE TO THE CROWN OF THE PIPE.
- AT A 100 FOOT INTERVAL (BEING TO BE REPLACED) WITH GRANULAR BACKFILL FOR A DISTANCE OF 5 FEET.
- ALL AGGREGATE SHALL BE COMPACTED TO 95% MODIFIED PROCTOR.

SIGN POST DETAIL

NOT TO SCALE

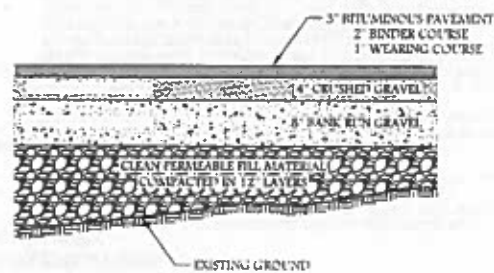


- NOTES:
- POSTS SHALL BE PLUMB. ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND REPLACED. CUTTING THE DAMAGED PORTION OUT AND SPLICING THE POST TOGETHER IS NOT ACCEPTABLE.
 - WHEN POSTS ARE SET, THE HOLES SHALL BE DUG TO THE PROPER DEPTH AFTER INSERTING POSTS. THE HOLES SHALL BE BACK FILLED WITH SUITABLE MATERIAL IN LAYERS NOT EXCEEDING 6" DEEP WHEN COMPACTED; CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
 - WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED. AFTER DRIVING, THE TOP OF THE POST SHALL HAVE THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST. BATTERED HEADS WILL NOT BE ACCEPTED.
 - POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
 - SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"
 - WHEN SIGN IS IN PLACE, NO PART OF THE POST SHALL EXTEND ABOVE SIGN.

GREEN ENAMEL 2 5/8" FT MINIMUM FLANGED CHANNEL STEEL POST
PVC OR STEEL SLEEVE REQUIRED IN PAVED OR CONCRETE LOCATIONS
SLEEVE WILL BE LARGE ENOUGH TO ALLOW FOR REPLACEMENT POST

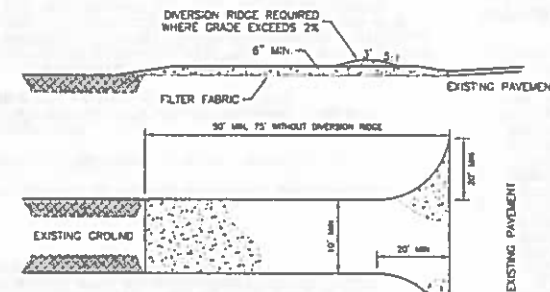
PAVEMENT DETAIL

NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

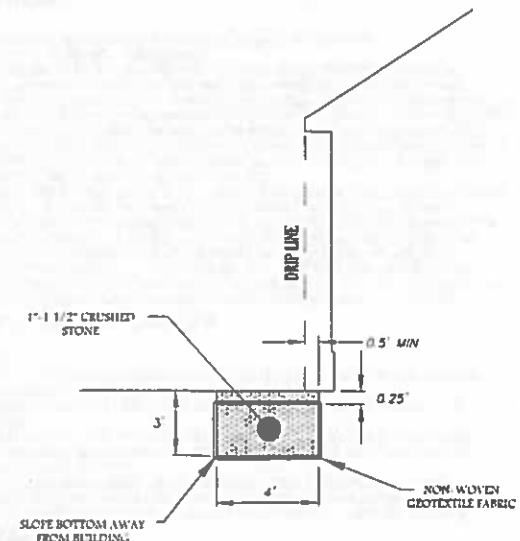


CONSTRUCTION REQUIREMENTS

- STONE SIZE - 3" COARSE AGGREGATE.
- THICKNESS - 6" MIN.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- LENGTH - NOT LESS THAN 50' EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MIN LENGTH WOULD APPLY.
- WIDTH - 10' MIN, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

DRIP EDGE TRENCH DETAIL

NOT TO SCALE



A.C. Engineering & Consulting
Civil Engineering & Land Planning
43 Rear Hill Road
East Washington, N.H. 03280
Phone: (603) 325-5114
aaceginc@comcast.net

NO.	DATE	DESCRIPTION	BY

OWNER: Lee A. Thorne
519 Maple Street
Concord, N.H. 03277
Book 3140 / Page 1071

PREPARED FOR: Thorne Holdings LLC
43 Rear Hill Road
Washington, N.H. 03280

CONSTRUCTION DETAILS
Thorne Property
Tax Map 227 / Lot 40-1
519 Maple Street
Concord, N.H.

SCALE: 1" = 20' FT

DATE: 8-20-18
DWG: C-6

TEMPORARY VEGETATION

- CONSIDERATIONS
- RENEWABLE PREPARATION AND THE USE OF QUALITY SEED ARE IMPORTANT IN THIS PRACTICE. FAILURE TO CAREFULLY FOLLOW SCENIC ADOPTABLE RECOMMENDATIONS WILL OBTAIN BEST RESULTS IN AN EFFICIENT AND EFFECTIVE VEGETATION ESTABLISHMENT PROGRAM.
- QUALITY SEEDS AND SEEDLINGS SHOULD BE USED EXCLUSIVELY IN SEEDING AREAS TO PREVENT WEEDS AND UNDESIRABLE PLANTS FROM BECOMING ESTABLISHED.
- PLANTING SHOULD BE DONE IN A MANNER THAT PROVIDES PROTECTION FROM WIND, EXCESSIVE SOIL EROSION, AND OTHER FACTORS THAT MAY INHIBIT VEGETATION ESTABLISHMENT.
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TEMPORARY VEGETATION

- MAINTENANCE REQUIREMENTS
- TEMPORARY SEEDING SHOULD BE INSPECTED WEEKLY AND AFTER ANY SIGNIFICANT WEATHER EVENTS TO DETERMINE THE STATUS OF VEGETATION ESTABLISHMENT.
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Table with 4 columns: MIXTURE, SEEDS, LBS/AC, LBS/1000SF. Rows include A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z.

PERMANENT VEGETATION

SEED MIXTURES FOR PERMANENT VEGETATION
(1) Low phosphoric fertilizer is defined by the Comprehensive Shoreland Protection Act as less than 2% phosphorus. The University of New Hampshire Cooperative Extension has found through soil test that NFA soils have ample phosphorus and recommend low phosphorus fertilizers with 0% - 1% phosphorus such as 5-1-0 or 10-0-10 NFA. They discourage the use of imbalanced fertilizers.

PERMANENT VEGETATION

SEED MIXTURES FOR PERMANENT VEGETATION
(2) Slow release fertilizers must be at least 50% slow release nitrogen component, which means that half of the nitrogen will not be immediately available. Typically, a 12-2-24 weeks for all slow release nitrogen to become available. Nitrogen fertilizers are not necessary for grass lawns.

PERMANENT VEGETATION

SEED MIXTURES FOR PERMANENT VEGETATION
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TEMPORARY & PERMANENT MULCHING

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EROSION CONTROL 1

Home Property
519 Maple Street
Concord, NH 03301
Tel: 603.227.1000
Fax: 603.227.1001

EROSION CONTROL 1

519 Maple Street
Concord, NH 03301
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SOIL STOCKPILING

CONSIDERATIONS

- SOIL STOCKPILES SHOULD BE SITED ON THE SITE IN COMPLIANCE WITH ALL PERMIT CONDITIONS GOVERNING SETBACKS FROM ADJACENT PROPERTY LINES AND WATER RESOURCES (INCLUDING WETLANDS).
- SOIL AND EROSION CONTROL PRACTICES AT STOCKPILES SHOULD BE REGULARLY INSPECTED AND SHOULD BE ADJUSTED IMMEDIATELY TO RESPOND TO ONGOING CONSTRUCTION OPERATIONS, AS THE DELIVERY OF NEW MATERIALS OR THE REMOVAL OF MATERIALS FOR INCORPORATION INTO THE WORK MAY REQUIRE MODIFICATION AND UPDATING OF THE PROTECTIVE MEASURES TO KEEP THEM EFFECTIVE.

MAINTENANCE REQUIREMENTS

- INSPECT ALL SOIL STOCKPILES IMMEDIATELY AFTER STORM EVENTS AND AT THE FREQUENCIES SPECIFIED IN THE PROJECT EROSION AND SEDIMENT CONTROL PLAN AND IN APPLICABLE PERMITS. AT A MINIMUM, INSPECT WEEKLY DURING WET WEATHER PERIODS TO VERIFY THAT EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE AND FUNCTIONING PROPERLY.
- REPAIR AND/OR REPLACE PERIMETER CONTROLS AND STOCKPILE COVERINGS AS NEEDED TO KEEP THEM FUNCTIONING PROPERLY.

SPECIFICATIONS

GENERAL:

- LOCATE STOCKPILES A MINIMUM OF 30 FEET AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE CONDUITS, AND INLETS.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING TEMPORARY PERIMETER MEASURES SUCH AS DIVERSIONS, BERMS, SANDBAGS, OR OTHER APPROVED PRACTICE.
- STOCKPILES SHOULD BE SURROUNDED BY SEDIMENT BARRIERS AS DESCRIBED IN THIS MANUAL TO PREVENT AUGMENTATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.
- IMPLEMENT WIND EROSION CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL.
- PLACE BAGGED MATERIALS ON PALLETS AND UNDER COVER.
- PROTECTION OF INACTIVE STOCKPILES:**
 - INACTIVE SOIL STOCKPILES SHOULD BE COVERED WITH ANCHORED TARP OR PROTECTED WITH SOIL STABILIZATION MEASURES (TEMPORARY SEED) AND MULCH OR OTHER TEMPORARY STABILIZATION PRACTICES AND TEMPORARY PERIMETER SEDIMENT BARRIERS AT ALL TIMES.
 - INACTIVE STOCKPILES OF CONCRETE RUBBLE, ASPHALT CONCRETE RUBBLE, AGGREGATE MATERIALS, AND OTHER SIMILAR MATERIALS SHOULD BE PROTECTED WITH TEMPORARY SEDIMENT PERIMETER BARRIERS AT ALL TIMES. IF THE MATERIALS ARE A SOURCE OF DUST, THEY SHOULD ALSO BE COVERED.
- PROTECTION OF ACTIVE STOCKPILES:**
 - ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY LINEAR SEDIMENT BARRIERS PRIOR TO THE ONSET OF PRECIPITATION. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
 - WHEN A STORM EVENT IS PREDICTED, STOCKPILES SHOULD BE PROTECTED WITH AN ANCHORED PROTECTIVE COVERING.

DIVERSION CHANNEL

CONSIDERATIONS

- TEMPORARY DIVERSIONS MUST BE STABILIZED IMMEDIATELY FOLLOWING INSTALLATION TO PREVENT EROSION OF THE DIVERSION ITSELF.
- THE GRADIENT ALONG THE FLOW PATH MUST HAVE A POSITIVE GRADE TO ASSURE DRAINAGE, BUT SHOULD NOT BE SO STEEP AS TO RESULT IN EROSION DUE TO HIGH VELOCITY CHANNEL FLOW. IF SUCH EROSION OCCURS DURING CONSTRUCTION, CORRECTIVE ACTION SHOULD BE TAKEN TO STABILIZE THE CHANNEL AND BERM, FLATTEN THE GRADIENT OF THE CHANNEL, OR OTHERWISE ELIMINATE THE CAUSE OF EROSION.
- DIVERSIONS ARE TYPICALLY INSTALLED USING MATERIAL AVAILABLE ON THE SITE AND CAN USUALLY BE CONSTRUCTED WITH EQUIPMENT NEEDED FOR SITE GRADING. THE USEFUL LIFE OF THE PRACTICE CAN BE EXTENDED BY STABILIZING THE PILE WITH VEGETATION.
- TEMPORARY DIVERSION DIKES ARE OFTEN USED AS A PERIMETER CONTROL IN ASSOCIATION WITH A SEDIMENT TRAP OR A SEDIMENT BASIN, OR A SERIES OF SEDIMENT-TRAPPING FACILITIES, ON MODERATE TO LARGE CONSTRUCTION SITES. IF INSTALLED PROPERLY AND IN THE FIRST PHASE OF GRADING, MAINTENANCE COSTS ARE VERY LOW.
- DIVERSIONS THAT ARE LOCATED UPSLOPE OF A CONSTRUCTION AREA SHOULD NOT THEMSELVES BE LOCATED BELOW HIGH SEDIMENT PRODUCING AREAS (UNLESS LAND TREATMENT PRACTICES OR STRUCTURAL MEASURES, DESIGNED TO PREVENT DAMAGING ACCUMULATIONS OF SEDIMENT IN THE CHANNELS, ARE INSTALLED WITH OR BEFORE THE DIVERSIONS. THE EXCEPTION IS WHERE THE DIVERSION IS USED TO DIVERT SEDIMENT-LADEN WATER TO A SEDIMENTATION FLOW OR RE-CREATE SHEET FLOW INTO UNDISTURBED UPLAND AREAS, WHERE THE RUNOFF CAN BE ABSORBED, UNTREATED, SEDIMENT-LADEN RUNOFF SHOULD NOT BE DISCHARGED TO SUCH UNDISTURBED AREAS.

MAINTENANCE REQUIREMENTS

- THE MEASURE SHOULD BE INSPECTED WEEKLY AND AFTER EVERY STORM OF 1/2 INCH OR MORE IN A 24-HOUR PERIOD. REPAIRS SHOULD BE MADE TO THE BERM (DIKE, FLOW CHANNEL, OUTLET OR SEDIMENT TRAPPING FACILITY), AS NECESSARY.
- DIVERSION DIKES USED TO TRAP SEDIMENT SHOULD BE INSPECTED AND CLEANED OUT AFTER EVERY SIGNIFICANT STORM.
- DAMAGES CAUSED BY CONSTRUCTION TRAFFIC OR OTHER ACTIVITY MUST BE REPAIRED BEFORE THE END OF EACH WORKING DAY.
- IF INSPECTION INDICATES VEGETATION HAS NOT BEEN ESTABLISHED OR HAS BEEN DAMAGED, THE AFFECTED AREAS MUST BE RESEED IMMEDIATELY.
- ONCE DIVERSIONS HAVE BEEN STABILIZED, THEY SHOULD BE MOWED PERIODICALLY TO MAINTAIN A HEALTHY VEGETATIVE COVER, BUT THE GRASS SHOULD NOT BE CUT SHORTER THAN 4 INCHES. DIVERSION RIDGES CAN BE HAZARDOUS TO MOW, AND EQUIPMENT OPERATORS SHOULD BE MADE AWARE OF THIS POTENTIAL HAZARD.

SPECIFICATIONS

DESIGN SPECIFICATIONS:

- DIVERSIONS SHOULD BE DESIGNED TO MEET THE CRITERIA IN THE FOLLOWING TABLE.

CONSTRUCTION SPECIFICATIONS:

- TEMPORARY DIVERSION DIKES SHOULD BE INSTALLED AS AN INITIAL STEP IN THE LAND-DISTURBING ACTIVITY. THEY MUST BE FUNCTIONAL PRIOR TO EXPOSURE OF SOILS IN THE AREA BEING SERVED BY THE DIVERSION.
- ALL DIKES OR GULLIES WITHIN THE LIMITS OF THE DIVERSION SHOULD BE FILLED, AND TREES AND OTHER OBSTRUCTIONS SHOULD BE REMOVED BEFORE OR AS PART OF THE CONSTRUCTION.
- THE DIKE SHOULD BE LOCATED TO MINIMIZE DAMAGES BY CONSTRUCTION OPERATIONS AND TRAFFIC.
- WHERE THE DIVERSION CROSSES AN UNDERGROUND UTILITY OR OTHER STRUCTURE, MEASURES SHOULD BE EMPLOYED TO PREVENT DAMAGE TO THE UTILITY, AND TO PREVENT SETTLEMENT OR DISPLACEMENT OF TRENCH BACKFILL AS A RESULT OF THE PLACEMENT OF THE DIVERSION.
- ONCE SOIL IS EXPOSED FOR A DIVERSION CHANNEL, IT SHOULD BE IMMEDIATELY SHAPED, GRADED AND STABILIZED. THE DIKE SHOULD BE ADEQUATELY COMPACTED TO PREVENT FAILURE.
- TEMPORARY OR PERMANENT SEEDING AND MULCH SHOULD BE APPLIED TO THE DIKE IMMEDIATELY FOLLOWING ITS CONSTRUCTION.
- DIVERSIONS MUST BE COMPLETELY STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- WHERE VEGETATION IS USED FOR STABILIZATION, DISTURBED AREAS SHOULD BE ESTABLISHED TO GRASS IMMEDIATELY AFTER CONSTRUCTION. SEED-BED PREPARATION, SEEDING, FERTILIZING, AND MULCHING SHOULD COMPLY WITH TEMPORARY VEGETATION AND PERMANENT VEGETATION PRACTICES DESCRIBED IN THIS MANUAL.
- IF THE SOILS OR WINTER CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NONVEGETATIVE MEANS, SUCH AS EROSION CONTROL MATS OR A GRADED STONE LINING MAY BE USED.
- EACH DIVERSION MUST HAVE AN ADEQUATE OUTLET. THE OUTLET MUST CONVEY RUNOFF TO A POINT WHERE OUTFLOW WILL NOT CAUSE DAMAGE. THE OUTLET SHOULD BE INSTALLED AND STABILIZED BEFORE THE CONSTRUCTION OF THE DIVERSION.

SURFACE ROUGHENING

CONSIDERATIONS

- GRADED AREAS WITH SMOOTH, HARD SURFACES MAY BE INITIALLY ATTRACTIVE, BUT SUCH SURFACES INCREASE THE POTENTIAL FOR EROSION. A ROUGH, LOOSE SOIL SURFACE GIVES A MULCHING EFFECT THAT PROVIDES MORE FAVORABLE MOISTURE CONDITIONS THAN HARD, SMOOTH SURFACES, THIS AIDS SEED GERMINATION.
- METHODS FOR ACHIEVING A ROUGHENED SOIL SURFACE ON A SLOPE INCLUDE TRACKING, FURROWING, AND SCRAPPING (OR GROOVING). SELECTION OF THE METHOD IS BASED ON SLOPE STEEPNESS, ALLOWING REQUIREMENTS, AND WHETHER THE SLOPE IS FORMED BY CUTTING OR FILLING.

MAINTENANCE REQUIREMENTS

- ANY SIGN OF RILL OR GULLY EROSION SHOULD BE IMMEDIATELY INVESTIGATED AND REPAIRED AS NEEDED.
- PERIODICALLY INSPECT SLOPES FOR RILLS OR OTHER SIGNS OF EROSION. FILL THESE AREAS SLIGHTLY ABOVE THE ORIGINAL GRADE, RESEED, AND MULCH AS SOON AS POSSIBLE, BUT NO MORE THAN 3 DAYS FOLLOWING INSPECTION.

SPECIFICATIONS

CUT SLOPE ROUGHENING:

- GROOVE THE SLOPE USING MACHINERY TO CREATE A SERIES OF RIDGES AND DEPRESSIONS THAT RUN ACROSS THE SLOPE, ON THE CONTOUR.

FILL SLOPE ROUGHENING:

- IN GENERAL, FILL SLOPES WITH A GRADIENT STEEPER THAN 3:1 SHOULD BE CONSTRUCTED IN LIFTS NOT TO EXCEED 12 INCHES, COMPACTING EACH LIFT THE CONTRACTOR SHOULD REFER TO THE PROJECT GEOTECHNICAL REPORT FOR SPECIFIC GUIDANCE.
- THE FACE OF THE SLOPE SHOULD CONSIST OF LOOSE, UNCOMPACTED FILL 4-6 INCHES DEEP.
- USE GROWING OR TRACKING TO ROUGHEN THE FACE OF THE SLOPES, IF NECESSARY.
- APPLY SEED, FERTILIZER AND STRAW MULCH, AND THEN TRACK OR PUNCH IN THE MULCH WITH THE BULLDOZER.
- DO NOT BLADE OR SCRAPE THE FINAL SLOPE FACE.

CUTS, FILLS, AND GRADED AREAS:

- MAKE MOWED SLOPES NO STEEPER THAN 3:1.
- ROUGHEN THESE AREAS TO SHALLOW GROOVES BY NORMAL TILLING, DISKING, OR HARROWING. THE FINAL PASS OF ANY SUCH TILLAGE SHOULD BE ON THE CONTOUR.
- MAKE GROOVES FORMED BY SUCH IMPLEMENTS CLOSE TOGETHER (LESS THAN 10 INCHES), AND NOT LESS THAN 1 INCH DEEP.
- EXCESSIVE ROUGHNESS IS UNDESIRABLE WHERE MOWING IS PLANNED.

ROUGHENING WITH TRACKED MACHINERY:

- LIMIT ROUGHENING WITH TRACKED MACHINERY TO SOILS WITH A SANDY TEXTURAL COMPONENT TO AVOID UNDESIRED COMPACTION OF THE SOIL SURFACE.
- OPERATE TRACKED MACHINERY UP AND DOWN THE SLOPE TO LEAVE HORIZONTAL DEPRESSIONS IN THE SOIL. DO NOT BACK BLADE DURING THE FINAL GRADING OPERATION.
- IMMEDIATELY SEED AND MULCH ROUGHENED AREAS TO OBTAIN OPTIMAL SEED GERMINATION AND GROWTH.

DUST CONTROL

CONSIDERATIONS

- PHASE CONSTRUCTION AND SEQUENCE EARTH DISTURBANCE ACTIVITIES TO REDUCE THE AREA OF LAND DISTURBED AT ANY ONE TIME.
- MAINTAIN AS MUCH NATURAL VEGETATION AS IS PRACTICABLE.
- USE TRAFFIC CONTROL TO RESTRICT TRAFFIC TO PREDETERMINED ROUTES.
- USE TEMPORARY MULCHING, PERMANENT MULCHING, TEMPORARY VEGETATIVE COVER, PERMANENT VEGETATIVE COVER, OR SODDING TO REDUCE THE NEED FOR DUST CONTROL.
- USE MECHANICAL SWEEPERS ON PAVED SURFACES WHERE NECESSARY TO PREVENT DUST BUILDUP. STATIONARY SOURCES OF DUST (I.E., ROCK CRUSHERS) SHOULD UTILIZE FINE WATER SPRAYS TO CONTROL DUST.
- APPLY WATER, OR OTHER DUST INHIBITING AGENTS OR TACKIFIERS, AS APPROVED BY THE NHTS.

MAINTENANCE REQUIREMENTS

- WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROL.

SPECIFICATIONS

WATER APPLICATION:

- MOISTEN EXPOSED SOIL SURFACES PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
- AVOID EXCESSIVE APPLICATION OF WATER THAT WOULD RESULT IN MOBILIZING SEDIMENT AND SUBSEQUENT DEPOSITION IN NATURAL WATERBODIES.

STONE APPLICATION:

- COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.
- IN AREAS ADJACENT TO WATERWAYS, USE ONLY CHEMICALLY STABLE OR WASHED AGGREGATE.

OTHER COMMERCIAL PRODUCTS:

- THE USE OF OTHER COMMERCIAL PRODUCTS (I.E., TACKIFIERS) TO STABILIZE EXPOSED SURFACES FOR DUST CONTROL WILL BE SUBJECT TO ACCEPTANCE BY NHTS ON A PROJECT-SPECIFIC BASIS.

OTHER PRACTICES:

- APPLY OTHER TEMPORARY AND PERMANENT STABILIZATION PRACTICES AS SPECIFIED IN THIS MANUAL.
- CALCIUM CHLORIDE CANNOT BE APPLIED IN WATERSHEDS WITH CHLORIDE-IMPAIRED WATERBODIES ELSEWHERE, IT SHOULD ONLY BE USED WHEN OTHER METHODS ARE NOT PRACTICAL AND FOLLOWING THESE GUIDELINES:
 - FOR DRY APPLICATION, USE A COMMERCIAL CHEMICAL PRODUCT THAT IS EITHER LOOSE DRY GRANULES OR FLAKES, FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP THE SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.
 - FOR LIQUID APPLICATIONS, THE APPLICATION RATE WILL VARY DEPENDING ON THE RELATIVE QUALITY OF MATERIALS IN A GIVEN ROAD SURFACE. SOME CALCIUM CHLORIDE SUPPLIERS MAY REQUIRE A ROAD SAMPLE BEFORE RECOMMENDING AN APPLICATION RATE. TYPICALLY, 50% CALCIUM CHLORIDE IS RECOMMENDED FOR MOST GRAVEL ROADS.

DIVERSION CHANNEL SPECIFICATIONS

DESIGN PARAMETER	CRITERIA
LOCATION	THE CONDITION OF THE OUTLET AREA, SITE TOPOGRAPHY, GROUND COVER, SOIL TYPE, AND LENGTH OF SLOPE SHOULD DETERMINE THE LOCATION OF THE DIVERSION.
DRAINAGE AREA	< 3 ACRES
CAPACITY	2 YEAR, 24 HOUR DESIGN STORM CONVEYANCE CAPACITY
DESIGN VELOCITY	2.5 TO 4.5 FEET / SEC, DEPENDING ON CHANNEL LINING
BERM/CHANNEL SIDE SLOPE	2:1 OR FLATTER
BERM TOP WIDTH	2 FEET, MINIMUM
TOTAL DEPTH TOP OF BERM TO BOTTOM OF CHANNEL	1.5 FEET MAXIMUM, EXCEPT FOR BERM OVERTOP OF APPROXIMATELY 10% OF BERM HEIGHT TO ALLOW FOR SETTLEMENT.
FREEBOARD	0.5 FEET MINIMUM
CHANNEL SHAPE	PARABOLIC OR TRAPEZOIDAL
STABILIZATION	VEGETATION OR TRIPRAP
GRADIENT (ALONG FLOW PATH)	POSITIVE GRADE TO OUTLET CHANNELS < 2% DO NOT REQUIRE STABILIZATION (UNLESS EXCESSIVE EROSION IS OBSERVED DURING ROUTINE INSPECTION). CHANNELS > 2% SHOULD BE STABILIZED.
OUTLET	SEDIMENT-LADEN WATER MUST BE DIVERTED INTO SEDIMENT TRAP OR SEDIMENT BASIN. RUNOFF FROM UNDISTURBED AREAS MUST BE DISCHARGED AT EITHER A NATURALLY STABLE OUTLET, OR A STABILIZED LEVEL SPREADER, APRON OR OTHER SUITABLE STRUCTURE.

TEMPORARY EROSION CONTROL BLANKET

CONSIDERATIONS

- EROSION CONTROL BLANKETS CAN BE APPLIED TO STEEP SLOPES, VEGETATED WATERWAYS, AND OTHER AREAS SENSITIVE TO EROSION, TO SUPPLEMENT VEGETATION DURING INITIAL ESTABLISHMENT AND HELP PROMOTE THE SAFE CONVEYANCE OF RUNOFF OVER THE PROTECTED SURFACE.
- DURING THE GROWING SEASON (APRIL 15 - SEPTEMBER 15) USE MATS (OR MULCH AND NETTING) ON:
 - THE BASE OF GRASSED WATERWAYS
 - STEEP SLOPES (15% OR GREATER)
 - ANY DISTURBED SOIL WITHIN 100 FEET OF LAKES, STREAMS AND WETLANDS
- DURING THE LATE FALL AND WINTER (SEPTEMBER 15 - APRIL 15) USE HEAVY GRADE MATS ON ALL AREAS NOTED ABOVE PLUS USE LIGHTER GRADE MATS (OR MULCH AND NETTING) ON:
 - MODERATE SLOPES (GREATER THAN 8%) THERE MAY BE CASES WHERE MATS WILL BE NEEDED ON SLOPES FLATTER THAN 8%, DEPENDING ON SITE CONDITIONS AND THE LENGTH OF THE SLOPE.
 - THE MOST CRITICAL ASPECT OF INSTALLING MATS IS OBTAINING FIRM CONTINUOUS CONTACT BETWEEN THE MAT AND THE SOIL. WITHOUT SUCH CONTACT, THE MAT IS USELESS AND EROSION OCCURS.
 - INSTALL MATS AND STAPLE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - THE DESIGNER MUST EXERCISE CARE TO CHOOSE THE TYPE OF BLANKET OR MATTING WHICH IS APPROPRIATE FOR THE SPECIFIC OBJECTIVES AND SITE CONDITIONS OF THE PROJECT. THERE ARE MANY SOIL STABILIZATION PRODUCTS AVAILABLE, AND A THOROUGH REVIEW BY AN ENGINEER OR EROSION CONTROL PROFESSIONAL IS NECESSARY TO EVALUATE THE ADVANTAGES, DISADVANTAGES, AND CONSTRUCTION REQUIREMENTS OF THE MANUFACTURED PRODUCTS, AND TO SELECT AND SPECIFY A PRODUCT FOR A PARTICULAR APPLICATION.

MAINTENANCE REQUIREMENTS

- ALL BLANKET AND MATS SHOULD BE INSPECTED WEEKLY DURING THE CONSTRUCTION PERIOD, AND AFTER ANY RAINFALL EVENT EXCEEDING 1/2 INCH IN A 24-HOUR PERIOD.
- ANY FAILURE SHOULD BE REPAIRED IMMEDIATELY. IF WASHOUT OF THE SLOPE, DISPLACEMENT OF THE MAT, OR DAMAGE TO THE MAT OCCURS, THE AFFECTED SLOPE SHALL BE REPAIRED AND RESEED, AND THE AFFECTED AREA OF MAT SHALL BE RE-INSTALLED OR REPLACED.

SPECIFICATIONS

SITE PREPARATION:

- PROPER SITE PREPARATION IS ESSENTIAL TO ENSURE COMPLETE CONTACT OF THE PROTECTION MATTING WITH THE SOIL.
- GRADE AND SHAPE AREA OF INSTALLATION - REMOVE ALL ROCKS, CLODS, TRASH, VEGETATIVE OR OTHER OBSTRUCTIONS SO THAT THE INSTALLED BLANKETS WILL HAVE DIRECT CONTACT WITH THE SOIL.
- PREPARE STAPLES BY LOOSENING 2-3 INCHES OF TOPSOIL ABOVE FINAL GRADE.
- INCORPORATE AMENDMENTS, SUCH AS LIME AND FERTILIZER, INTO SOIL ACCORDING TO SOIL TEST AND THE SEEDING PLAN.

SEEDING:

- SEED AREA BEFORE BLANKET INSTALLATION FOR EROSION CONTROL AND REVEGETATION. SEEDING AFTER MAT INSTALLATION IS OFTEN SPECIFIED FOR TURF REINFORCEMENT APPLICATION. WHEN SEEDING PRIOR TO BLANKET INSTALLATION, ALL CHECK SLOTS AND OTHER AREAS DISTURBED DURING INSTALLATION MUST BE RESEED.

- WHERE SOIL TILLING IS SPECIFIED, SEED THE MATTING AND THE ENTIRE DISTURBED AREA AFTER INSTALLATION AND PRIOR TO TILLING THE MAT WITH SOIL.

INSTALLATION AND ANCHORING BLANKETS:

- BLANKETS SHALL BE INSTALLED AND ANCHORED PER THE MANUFACTURER'S SPECIFICATIONS. IF THE MANUFACTURER'S INSTRUCTIONS DIFFER FROM THOSE LISTED BELOW, THE MANUFACTURER'S INSTRUCTIONS SHOULD BE FOLLOWED.
- BLANKETS SHALL BE PLACED WITHIN 24 HOURS AFTER SOWING SEED IN THAT AREA.
- U-SHAPED WIRE STAPLES, METAL GEOTEXTILE STAKE PINS, OR TRIANGULAR WOODEN STAKES CAN BE USED TO ANCHOR MATS TO THE GROUND SURFACE.
- WIRE STAPLES SHOULD BE A MINIMUM GAUGE AS SPECIFIED BY THE MANUFACTURER.
- METAL STAKE PINS SHOULD BE 3/16-INCH DIAMETER STEEL WITH A 1 1/2 INCH STEEL WASHER AT THE HEAD OF THE PIN OR AS SPECIFIED BY THE MANUFACTURER.
- WIRE STAPLES AND METAL STAKES SHOULD BE DRIVEN FLUSH TO THE SOIL SURFACE. ALL ANCHORS SHOULD HAVE SUFFICIENT GROUND PENETRATION TO RESIST PULLOUT. LONGER ANCHORS MAY BE REQUIRED FOR LOOSE SOIL.

INSTALLATION ON SLOPES:

- BLANKETS SHALL BE INSTALLED ON SLOPES PER THE MANUFACTURER'S SPECIFICATIONS. IF THE MANUFACTURER'S INSTRUCTIONS DIFFER FROM THOSE LISTED BELOW, THE MANUFACTURER'S INSTRUCTIONS SHOULD BE FOLLOWED.
- BLANKETS SHALL BE LAID LOOSELY OVER THE SOILS, MAINTAINING CONTACT WITH THE SOIL, AND NOT STRETCHED.
- BLANKETS SHALL BE ANCHORED AT THE TOP OF THE SLOPE IN A TRENCH TO PREVENT RUNOFF FROM UNDERMINING THE MAT. SUBSEQUENT MATS SHOULD BE OVERLAPPED BY THE UPSLOPE MAT. BACKFILL TRENCH AND TAMP EARTH FIRMLY.
- BLANKETS SHALL BE UNROLLED IN THE DIRECTION OF THE WATER FLOW, OVERLAPPING THE EDGES BY A MINIMUM OF 4 INCHES AND STAPLING THE EDGES, AS DIRECTED BY THE MANUFACTURER.
- WHEN BLANKETS ARE NOT BE SELECTED, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH 6-INCH MINIMUM OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12 INCHES APART, OR AS SPECIFIED BY MANUFACTURER.
- LAY BLANKETS LOOSELY AND MAINTAIN DIRECT CONTACT WITH THE SOIL - DO NOT STRETCH.
- BLANKETS SHALL BE STAPLED SUFFICIENTLY TO ANCHOR BLANKET AND MAINTAIN CONTACT WITH THE SOIL. STAPLES SHALL BE PLACED DOWN THE CENTER AND STAGGERED WITH THE STAPLES PLACED ALONG THE EDGES. STAPLING PATTERN AND NUMBER OF STAPLES WILL VARY ON STEEPNESS OF SLOPE AND MANUFACTURER'S ANCHORING METHODS. FOLLOW MANUFACTURER'S INSTRUCTIONS.

INSTALLATION IN CHANNELS:

- BLANKETS SHALL BE INSTALLED IN CHANNELS PER THE MANUFACTURER'S SPECIFICATIONS. IF THE MANUFACTURER'S INSTRUCTIONS DIFFER FROM THOSE LISTED BELOW, THE MANUFACTURER'S INSTRUCTIONS SHOULD BE FOLLOWED.
- DIG INITIAL ANCHOR TRENCH ACROSS THE CHANNEL AT THE LOWER END OF THE PROJECT AREA.
- EXCAVATE INTERMITTENT CHECK SLOTS ACROSS THE CHANNEL AT 25-30 FOOT INTERVALS ALONG THE CHANNEL, OR AS SPECIFIED BY MANUFACTURER.
- CUT LONGITUDINAL CHANNEL ANCHOR SLOTS ALONG EACH SIDE OF THE INSTALLATION TO BURY EDGES OF MATTING. WHENEVER POSSIBLE EXTEND MATTING 2-3 INCHES ABOVE THE CREST OF CHANNEL SIDE SLOPES.
- BEGINNING AT THE DOWNSTREAM END AND IN THE CENTER OF THE CHANNEL, PLACE THE INITIAL END OF THE FIRST ROLL IN THE ANCHOR TRENCH AND SECURE WITH FASTENING DEVICES, AS DIRECTED BY THE MANUFACTURER. NOTE: MATTING WILL INITIALLY BE UNLID DOWN IN ANCHOR TRENCH.
- IN THE SAME MANNER, POSITION ADJACENT ROLLS IN ANCHOR TRENCH, OVERLAPPING THE PRECEDING ROLL A MINIMUM OF 3 INCHES.
- SECURE THE INITIAL ENDS OF MATS WITH ANCHORS AT MANUFACTURER'S SPECIFIED INTERVALS, BACKFILL ANY COMPACT SOIL.
- UNROLL CENTER STRIP OF MATTING UPSTREAM. STOP AT NEXT CHECK SLOT OR TERMINAL ANCHOR TRENCH.
- UNROLL ADJACENT MATS UPSTREAM IN SIMILAR FASHION, MAINTAINING A 3-INCH MINIMUM OVERLAP.
- FOLD AND SECURE ALL ROLLS OF MATTING SQUALLY INTO ALL TRANSVERSE CHECK SLOTS. LAY MAT IN THE BOTTOM OF THE SLOT THEN FOLD BACK AGAINST ITSELF. ANCHOR THROUGH BOTH LAYERS OF MAT AT MANUFACTURER'S SPECIFIED INTERVALS, THEN BACKFILL AND COMPACT SOIL. CONTINUE ROLLING ALL MAT WITHIN UPSTREAM TO THE NEXT CHECK SLOT OR TERMINAL ANCHOR TRENCH.
- ALTERNATE METHOD FOR NONCRITICAL INSTALLATIONS: PLACE TWO ROWS OF ANCHORS ON 6-INCH CENTERS AT 25-30 FEET INTERVALS IN LIEU OF EXCAVATED CHECK SLOTS.
- SHINGLE LAP SPliced ENDS BY A MINIMUM OF 1 FOOT WITH UPSLOPE MAT ON TOP TO PREVENT UPLIFTING BY WATER OR BEGIN NEW ROLLS IN A CHECK SLOT. ANCHOR OVERLAPPED AREA BY PLACING TWO ROWS OF ANCHORS, 1 FOOT APART ON 1-FOOT INTERVALS.
- PLACE EDGES OF OUTFLOW MATS IN PREVIOUSLY EXCAVATED LONGITUDINAL SLOTS, ANCHOR USING PRESCRIBED STAPLE PATTERN, BACKFILL AND COMPACT SOIL.
- ANCHOR, FILL AND COMPACT UPSTREAM END OF MAT IN A TERMINAL TRENCH, AS DIRECTED BY MANUFACTURER.
- SECURE MAT TO GROUND SURFACE USING U-SHAPED WIRE STAPLES, GEOTEXTILE PINS, WOODEN STAKES, OR OTHER ANCHORS AS RECOMMENDED BY THE MANUFACTURER.

A.C. Engineering & Consulting
 Civil Engineering & Land Planning
 Phone: (603) 325-5114
 acengr@prod.net
 43 Bear Hill Road
 East Washington, N.H. 03280

NO.	DATE	DESCRIPTION	BY

OFFICE: Lisa A. Thorne
 519 Maple Street
 Concord, N.H. 03307
 Phone: (603) 224-1071
 Fax: (603) 224-1071
 PREPARED FOR: Summit Holdings LLC
 43 Bear Hill Road
 Washington, N.H. 03280

EROSION CONTROL 2
 Thorne Property
 Tax Map 22.7 / Lot 40-1
 519 Maple Street
 Concord, N.H.

DATE: 8-20-18
 DWC: E-2



Town of Hopkinton

330 Main Street • Hopkinton, New Hampshire 03229 • www.hopkinton-nh.gov
Tel: 603-746-3170 Fax: 603-746-3049

PLANNING BOARD APPLICATION

- Site Plan Review Architectural Design Review (Commercial/Industrial - ZO Section IV-A)
- Preliminary Review (SD Section II) Subdivision Lot Line Adjustment/Annexation
- Conditional Use Permit (ZO Section III) Special Use Permit (ZO Section VIII)

PROJECT LOCATION: 351 Park Avenue MAP/LOT: 222 / 70 / ZONE: R-1

APPLICANT: Joseph Grogan

Address: 141 Red Chimney Rd City: Warner State: NH Zip: 03278

Phone: 603-731-6896 Email: joegrogan85@gmail.com

OWNER(s)
Name: 351 Park Ave, LLC (Joseph Grogan)

Address: 141 Red Chimney Rd City: Warner State: NH Zip: 03278

Phone: 603-731-6896 Email: joegrogan85@gmail.com

Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Email: _____

PROFESSIONALS (engineer, architect, surveyor, attorney, wetland/soil scientist, etc.):
Name: NA

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Email: _____

Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Email: _____

- Residential Recreational Agricultural Institutional Commercial/Industrial Accessory
- Public Water Public Sewer Well Septic

Lots/units proposed: NA Existing Building Area: 2,070 SF Proposed Building Area: 3,600 SF +/-

% Open Space: 92% (Note: Building Area refers to gross area) **Existing/Proposed**

Application Submission Requirements:

Original and ten (10) copies of the application, along with all supporting document(s), including reductions of the final plan(s) to no more than 11" x 17".

- Narrative description of proposal (include existing conditions and all related improvements).
- Application checklist.
- Planning Board/Zoning Board of Adjustment Minutes of Conceptual, Preliminary Review, or approval.
- Property deed and existing/proposed easements, covenants, and restrictions.
- Tax Map of subject parcel and abutting properties.
- Waiver(s) request from provisions of the Subdivision and/or Site Plan Regulations.

PLANNING BOARD APPLICATION

- Test Pit Data, Storm Water Management Plan, Traffic, School, Environmental and Fiscal Impact Analyses, and Phasing Plan (when applicable).
- Abutters List as defined by RSA 672:3 – Include Tax Map, Lot Number, Name and Mailing Addresses. If abutting property is under a condominium or other collective form of ownership, the term "abutter" means the officers of the collective or association. If abutting property is under a manufactured housing park form of ownership, the term "abutter" includes the manufactured housing park owner and the tenants who own the manufactured housing.
- Mailing labels – Include Applicant, Owner, Architect, Soil/Wetland Scientists, Abutters, and holders of Conservation/Preservation restrictions or easements.
- Four (4) paper prints of the plan(s) at full scale.
- Appropriate Filing Fee: (Non-refundable) Made payable to Town of Hopkinton


Major Subdivision	\$500.00 Application Fee, \$100.00 per Lot/Unit
Minor Subdivision	\$250.00 Application Fee, \$100.00 per Lot/Unit
Lot Line Adjustment/Annexation	\$100.00 Application Fee
Site Plan Review	\$300.00 Application Fee, \$100.00 per Unit (Res./Non-Res.)
Site Plan Review Change of Use	\$150.00 Application Fee
Conditional Use Permit	\$500.00 Application Fee (Wireless Telecommunications)
Public Notice Mailing	\$ 10.00 per Address (Owner, Applicant, Agent, Abutter)
Newspaper Notice	\$ 75.00
- Conditional Use Permit (Wireless Telecommunications): If application is for Conditional Use Permit, please attach a detailed explanation of compliance with Section 3.10 of the Hopkinton Zoning Ordinance, along with an explanation of compliance with the Site Plan Review Regulations of the Town of Hopkinton.

Final Submission Requirements (after Planning Board action):

- Four (4) paper prints of the final plan set at full scale.
- Mylar(s) – The Merrimack County Registry of Deeds requires that the UPPER LEFT-HAND CORNER, INSIDE THE BORDER, of the plat to be RESERVED for recording information entered by the Registry - No smaller than 7" long X 1" wide.
- PDF of the final plan set, including architectural and site photographs - emailed or thumb drive.
- Recording Fees: (Separate Checks) Made payable to Merrimack County Registry of Deeds

Recording Fee	\$ 26.00 per Page (22" x 34")
LCHIP Fee	\$ 25.00 per Document

I represent to the best of my knowledge and belief that this application is being submitted in accordance with applicable regulations and ordinances of the Town of Hopkinton. I also understand that submittal of this application shall be deemed as granting permission for the Planning Board members and their designees to enter onto the property for purposes of inspections and review. Permission to visit the property extends from the date an application is submitted until approved work or construction is complete and any or all of the financial guarantees, if any, have been returned to the applicant, or until the application is formally denied. Furthermore, I agree that the proposed project will be performed in accordance with this application, the attached plans and specifications, and the regulations and ordinances of the Town of Hopkinton.

Applicant's Signature:  Date: 9/14/18
 Owner's Signature(s): SAME Date: _____

Application Filed: <u>9-14-18</u>	Fees: <u>\$ 230.-</u>	Office Use: <u>CK 1125</u>	Application #: <u>2018-10</u>
Notice(s) Posted/Mailed: _____	Complete/Consideration: _____		
Meeting(s)/Hearing(s): _____			
Approved/Denied: _____	<input type="checkbox"/> Conditions MCRD Filing: _____		
MCRD Document #: _____			

Narrative Description

The proposal is to operate as a Home Business a residential electrical business. The business space will be in my existing barn, consisting of a small office and storage area.

MERRIMACK COUNTY RECORDS *Kathi L. Guay* CPO, Register

⑦

Return To:
351 Park Ave, LLC
141 Red Chimney Road
Warner, NH 03278

1447
2-
25

2025.00 **WARRANTY DEED**

KNOW ALL MEN BY THESE PRESENTS, That, Kip R. Garvin, married, with a mailing address of 7 Timberline Dr., Concord, NH 03301, for consideration paid grants to 351 Park Ave, LLC, a New Hampshire Limited Liability Company, with a mailing address of 141 Red Chimney Rd., Warner, NH 03278, with WARRANTY COVENANTS:

A certain tract or parcel of land with all improvements thereon, situate in the Town of Hopkinton, Village of Contoocook, County of Merrimack and State of New Hampshire bounded and described as follows:

Beginning at an iron rod near a stump on the Westerly side of the highway leading from Contoocook to Davisville at corner of land now or formerly of Gertrude W. Hankins; thence

Westerly by said Hankins land 221-1/2 feet, more or less, to a split stone bound with an iron rod beside same at land now or formerly of the Contoocook Valley Fair Association, Inc.; thence

Southerly by said land of the Contoocook Valley Fair Association, Inc. 179 feet, amore or less, to an iron pin at land now or formerly of Ruth Bartlett Grinnell; thence

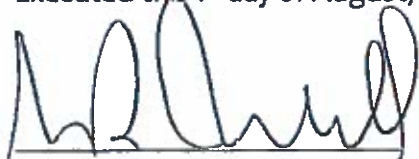
Easterly by said Grinnell land 250 feet, more or less, to a stone bound on the Westerly line of said highway leading from Contoocook to Davisville; thence

Northerly by said highway 189-1/2 feet, more or less, to the point of beginning.

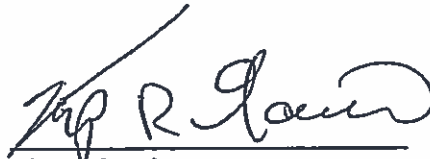
Meaning and intending to describe and convey the same premises as conveyed to Kip R. Garvin by virtue of a deed dated November 3, 2005 and recorded in the Merrimack County Registry of Deeds at Book 2839, Page 78.

This is not the homestead property of the Grantor or his spouse.

Executed this 1st day of August, 2016.



Witness

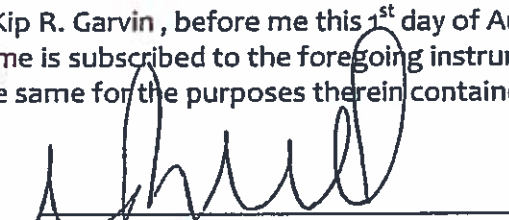


Kip R. Garvin

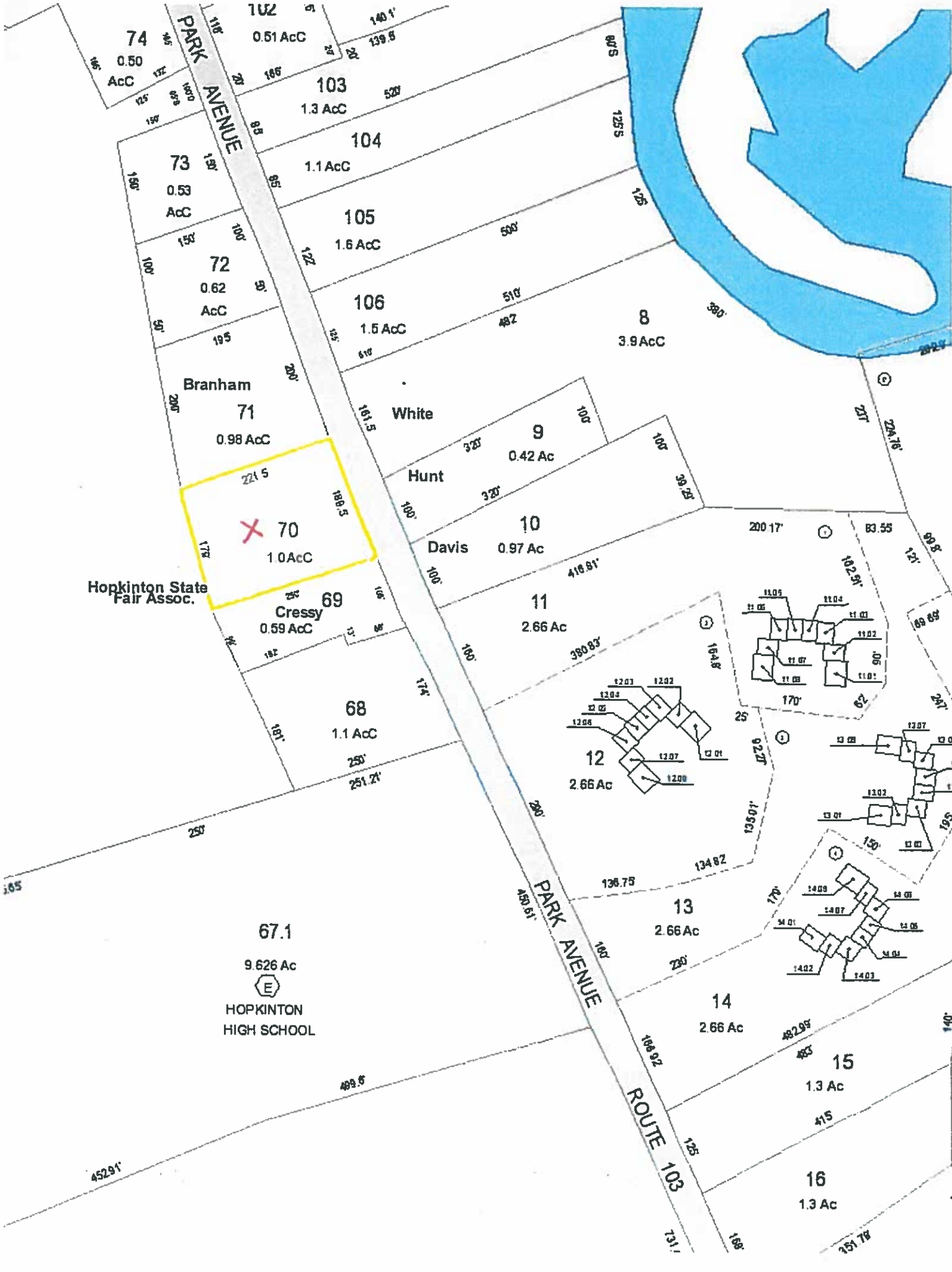
State of New Hampshire
County of Merrimack

Personally appeared the above named Kip R. Garvin, before me this 1st day of August, 2016 known to be the person whose name is subscribed to the foregoing instrument and acknowledged that he executed the same for the purposes therein contained.





Notary Public/Justice of the Peace
My Commission Expires:



74
0.50
AcC

702
0.51 AcC

103
1.3 AcC

73
0.53
AcC

104
1.1 AcC

105
1.6 AcC

72
0.62
AcC

106
1.5 AcC

8
3.9 AcC

Branham
71
0.98 AcC

White

9
0.42 Ac

70
1.0 AcC

Hunt

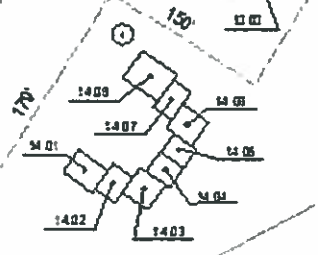
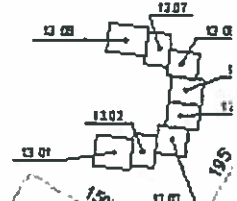
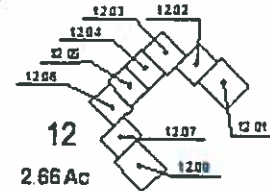
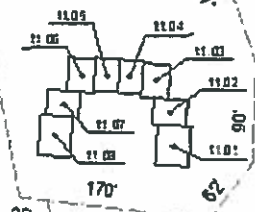
10
0.97 Ac

Hopkinton State
Fair Assoc.

69
Cressy
0.59 AcC

Davis

11
2.66 Ac



67.1

9.626 Ac



HOPKINTON
HIGH SCHOOL

PARK AVENUE

ROUTE 103

13
2.66 Ac

14
2.66 Ac

15
1.3 Ac

16
1.3 Ac



Abutters List Report

Hopkinton, NH
September 06, 2018

Subject Property:

Parcel Number: 222-070-000
CAMA Number: 222-070-000
Property Address: 351 PARK AVE

Mailing Address: 351 PARK AVE, LLC
141 RED CHIMNEY RD
WARNER, NH 03278

Abutters:

Parcel Number: 222-061-000
CAMA Number: 222-061-000
Property Address: 392 KEARSARGE AVE

Mailing Address: HOPKINTON STATE FAIR ASSOC
PO BOX 700
CONTOOCOOK, NH 03229

Parcel Number: 222-069-000
CAMA Number: 222-069-000
Property Address: 341 PARK AVE

Mailing Address: CRESSY (REV TR) LESTER & BONIT
341 PARK AVE
CONTOOCOOK, NH 03229

Parcel Number: 222-071-000
CAMA Number: 222-071-000
Property Address: 375 PARK AVE

Mailing Address: BRANHAM CHRISTOPHER M & KATE A
375 PARK AVE
CONTOOCOOK, NH 03229

Parcel Number: 225-008-000
CAMA Number: 225-008-000
Property Address: 364 PARK AVE

Mailing Address: WHITE EMILY A
364 PARK AVE
HOPKINTON, NH 03229

Parcel Number: 225-009-000
CAMA Number: 225-009-000
Property Address: 350 PARK AVE

Mailing Address: HUNT JON W & SUSAN
350 PARK AVE
CONTOOCOOK, NH 03229

Parcel Number: 225-010-000
CAMA Number: 225-010-000
Property Address: 342 PARK AVE

Mailing Address: DAVIS REBECCA E
37 FERRIS ST
SAINT ALBANS, VT 05478

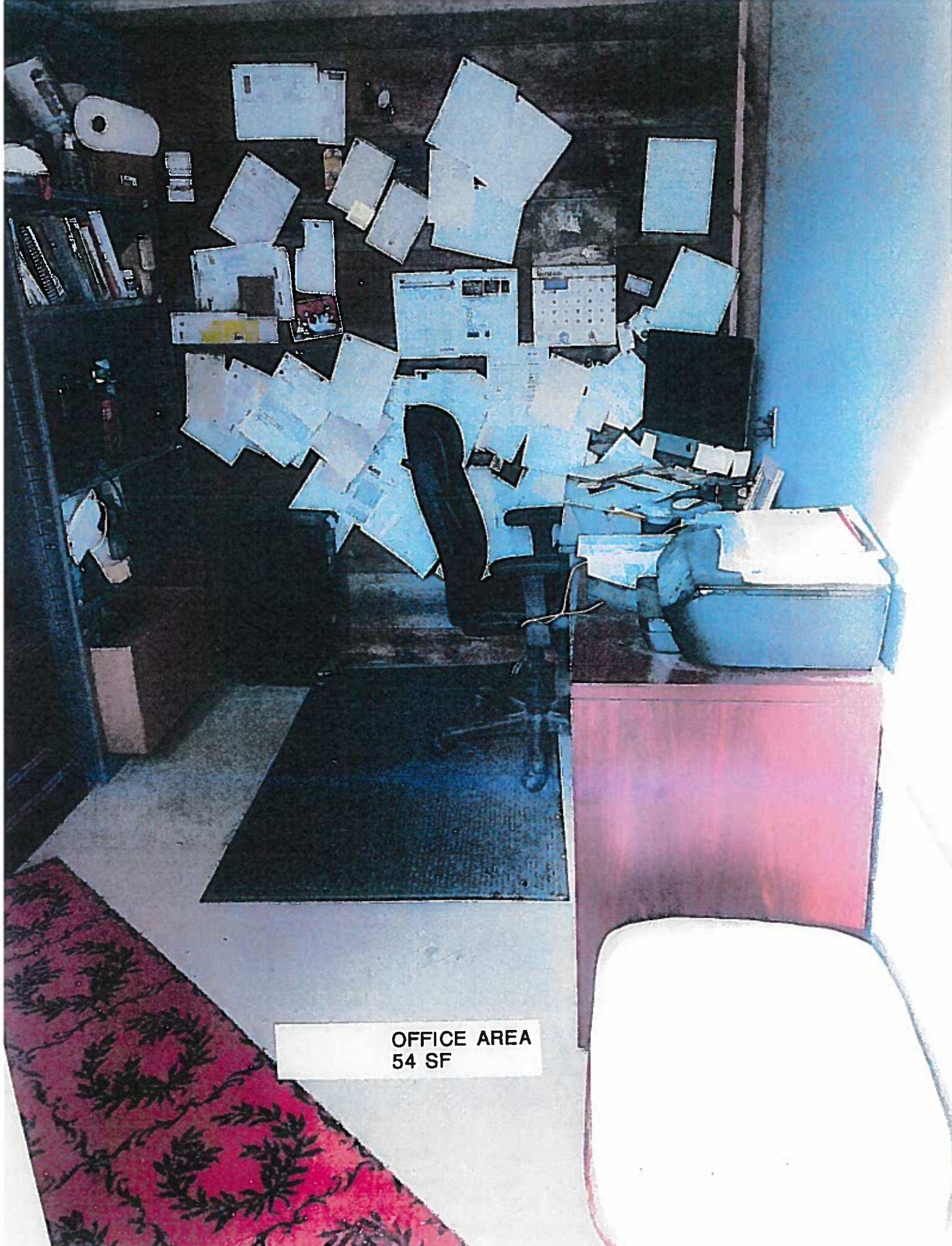


www.cai-tech.com

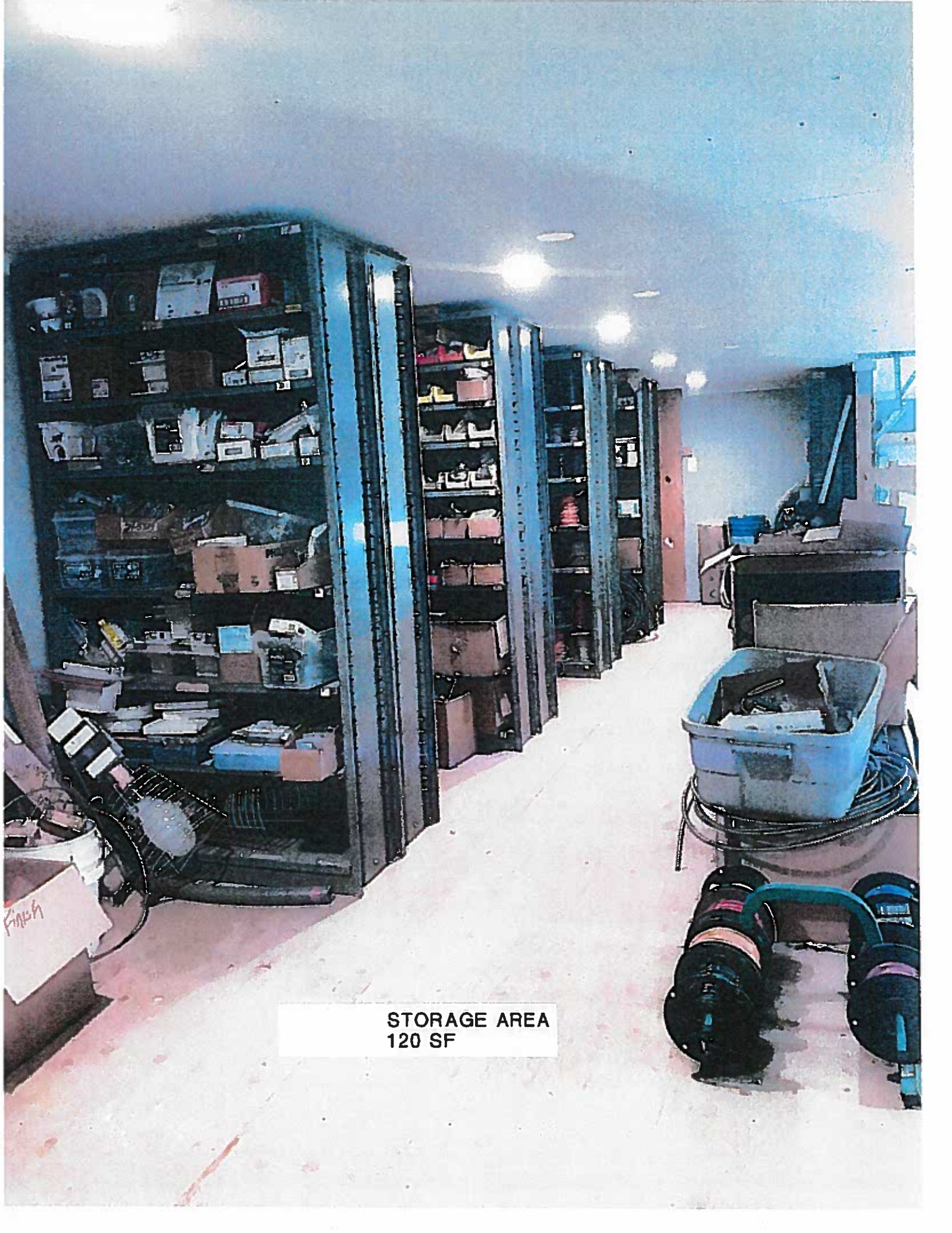
Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

9/6/2018

Page 1 of 1



OFFICE AREA
54 SF



**STORAGE AREA
120 SF**



Owner:
 351 Park Ave, LLC (Joseph Grogan)
 Tax Map 222, Lot 70, R-1 District

Residence: 1,500 SF (25%=375 SF)
 Home Business (office/Storage Areas): 174 SF+/-
 Parking ZO 6.3(a)(f): Residence = 2 Spaces
 Business = 1 Space



221.5



Town of Hopkinton

330 Main Street • Hopkinton, New Hampshire 03229 • www.hopkinton-nh.gov

Tel: 603-746-3170

Fax: 603-746-3049

PLANNING BOARD APPLICATION

- Site Plan Review Architectural Design Review (Commercial/Industrial - ZO Section IV-A)
- Preliminary Review (SD Section II) Subdivision Lot Line Adjustment/Annexation
- Conditional Use Permit (ZO Section III) Special Use Permit (ZO Section VIII)

PROJECT LOCATION: Dustin Road, Hopkinton/Webster MAP/LOT: / / ZONE: R-4
Hopkinton: 224/33 Webster: 717-54-3 & 7-54-4

APPLICANT: Keith & Tara Rutherford / Peter & Julie Smith

Address: 136 W. River Rd City: Hooksett State: NH Zip: 03106

Phone: 603-244-9412 Email: nhmudder@gmail.com

OWNER(s)

Name: Keith Rutherford & Tara Rutherford

Address: 136 W. River Rd City: Hooksett State: NH Zip: 03106

Phone: 603-244-9412 Email: nhmudder@gmail.com

Name: Peter Smith & Julie Smith

Address: 600 Deermeadow Road City: Webster State: NH Zip: 03303

Phone: 603-848-6525 Email: indians24pjs@yahoo.com

PROFESSIONALS (engineer, architect, surveyor, attorney, wetland/soil scientist, etc.):

Name: James Franklin Land Surveyor

Address: 173 Deerfield Rd City: Candia State: NH Zip: 03304

Phone: 603-483-3096 Email: jefls@comcast.net

Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Email: _____

Residential Recreational Agricultural Institutional Commercial/Industrial Accessory

Public Water Public Sewer Well Septic

Lots/units proposed: Lot Line Adj. Existing Building Area: NA Proposed Building Area: *NA

% Open Space: NA (Note: Building Area refers to gross area) *Proposed residence in Webster

Application Submission Requirements:

Original and ten (10) copies of the application, along with all supporting document(s), including reductions of the final plan(s) to no more than 11" x 17".

- Narrative description of proposal (include existing conditions and all related improvements).
- Application checklist.
- Planning Board/Zoning Board of Adjustment Minutes of Conceptual, Preliminary Review, or approval.
- Property deed and existing/proposed easements, covenants, and restrictions.
- Tax Map of subject parcel and abutting properties.
- Waiver(s) request from provisions of the Subdivision and/or Site Plan Regulations.

PLANNING BOARD APPLICATION

- Test Pit Data, Storm Water Management Plan, Traffic, School, Environmental and Fiscal Impact Analyses, and Phasing Plan (when applicable).
- Abutters List as defined by RSA 672:3 – Include Tax Map, Lot Number, Name and Mailing Addresses. If abutting property is under a condominium or other collective form of ownership, the term "abutter" means the officers of the collective or association. If abutting property is under a manufactured housing park form of ownership, the term "abutter" includes the manufactured housing park owner and the tenants who own the manufactured housing.
- Mailing labels – Include Applicant, Owner, Architect, Soil/Wetland Scientists, Abutters, and holders of Conservation/Preservation restrictions or easements.
- Four (4) paper prints of the plan(s) at full scale.
- Appropriate Filing Fee: (Non-refundable) Made payable to Town of Hopkinton

Major Subdivision	\$500.00	Application Fee, \$100.00 per Lot/Unit
Minor Subdivision	\$250.00	Application Fee, \$100.00 per Lot/Unit
Lot Line Adjustment/Annexation	\$100.00	Application Fee
Site Plan Review	\$300.00	Application Fee, \$100.00 per Unit (Res./Non-Res.)
Site Plan Review Change of Use	\$150.00	Application Fee
Conditional Use Permit	\$500.00	Application Fee (Wireless Telecommunications)
Public Notice Mailing	\$ 10.00	per Address (Owner, Applicant, Agent, Abutter)
Newspaper Notice	\$ 75.00	
- Conditional Use Permit (Wireless Telecommunications): If application is for Conditional Use Permit, please attach a detailed explanation of compliance with Section 3.10 of the Hopkinton Zoning Ordinance, along with an explanation of compliance with the Site Plan Review Regulations of the Town of Hopkinton.

Final Submission Requirements (after Planning Board action):

- Four (4) paper prints of the final plan set at full scale.
- Mylar(s) – The Merrimack County Registry of Deeds requires that the UPPER LEFT-HAND CORNER, INSIDE THE BORDER, of the plat to be RESERVED for recording information entered by the Registry - No smaller than 7" long X 1" wide.
- PDF of the final plan set, including architectural and site photographs - emailed or thumb drive.
- Recording Fees: (Separate Checks) Made payable to Merrimack County Registry of Deeds

Recording Fee	\$ 26.00	per Page (22" x 34")
LCHIP Fee	\$ 25.00	per Document

I represent to the best of my knowledge and belief that this application is being submitted in accordance with applicable regulations and ordinances of the Town of Hopkinton. I also understand that submittal of this application shall be deemed as granting permission for the Planning Board members and their designees to enter onto the property for purposes of inspections and review. Permission to visit the property extends from the date an application is submitted until approved work or construction is complete and any or all of the financial guarantees, if any, have been returned to the applicant, or until the application is formally denied. Furthermore, I agree that the proposed project will be performed in accordance with this application, the attached plans and specifications, and the regulations and ordinances of the Town of Hopkinton.

Applicant's Signature: Date: 9/14/18
 Owner's Signature(s): Date: 9/14/18
 Date: 9-14-18
 Date: 9/14/18

Application Filed: <u>9-17-18</u>	Fees: <u>\$ 415.-CK1180</u>	Office Use:	Application #: <u>2018-11</u>
Notice(s) Posted/Mailed: _____	Complete/Consideration: _____		
Meeting(s)/Hearing(s): _____			
Approved/Denied: _____	<input type="checkbox"/> Conditions	MCRD Filing: _____	
MCRD Document #: _____			

Narrative Description

The purpose of this plan is to create a lot line within the lot in Hopkinton. The proposed lot line adjustment in Hopkinton is so that both parcels are close to the same size.



Town of Hopkinton

330 Main Street • Hopkinton, New Hampshire 03229 • www.hopkinton-nh.gov

Tel: 603-746-3170

Fax: 603-746-3049

HOPKINTON PLANNING BOARD

MINUTES

August 14, 2018

The Hopkinton Planning Board met on Tuesday, August 14, 2018 at 6:30 PM in the Town Hall. Members present: Chairman Bruce Ellsworth, Vice-Chairman Michael Wilkey, Celeste Hemingson, Richard Steele, and James Fredyma. Members absent: Ex-Officio Sabrina Dunlap, Jane Bradstreet, Alternate Timothy Britain, and Alternate Clarke Kidder. Planning Director Karen Robertson was absent.

Chairman Ellsworth declared a quorum present and all members would be voting.

I. Review of the Minutes and Notice of Decision of June 12, 2018, and Minutes of July 10, 2018

Michael Wilkey, seconded by Celeste Hemingson, moved to APPROVE the Minutes of June 12, 2018, as presented. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

James Fredyma, seconded by Richard Steele, moved to APPROVE the Notice of Decision of June 12, 2018 as presented. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

James Fredyma, seconded by Celeste Hemingson, moved to APPROVE the Minutes of July 10, 2018, as presented. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

II. Conceptual Consultations.

Keith Rutherford sought guidance on a lot line adjustment for property that he, his wife, Peter Smith and his wife own jointly in Webster and Hopkinton. They own two adjoining lots with frontage on Dustin Road, Webster and back acreage in Hopkinton. One lot of approximately 5 acres and the second lot of approximately 23 acres will be combined and a new lot line will result in two approximately 14 acre lots. Both existing lots meet Webster's residential house lot size and road frontage requirements. Webster has approved building permits on both existing lots and the Smiths have begun construction. The Rutherfords and Smiths described this plan as they retirement homes. The Rutherfords and Smiths will be requesting approval of the lot line adjustment from the Webster Planning Board on Thursday, August 16, 2018. Chairman Ellsworth recommended they seek similar approval from the Hopkinton Planning Board at its next regular meeting, presuming Webster approves their request.

Adopted: 09/11/2018

**TOWN OF WEBSTER
PLANNING BOARD
DRAFT MEETING MINUTES AUGUST 16, 2018**

At 6:30 pm Acting Chairperson Lynmarie Lehmann convened the regularly scheduled meeting for the Planning Board and took attendance. Members present were Paul King and Alternate Member Kathy Bacon. Craig Fournier arrived after the meeting was convened. Acting Chairperson Lehmann appointed both of alternates to be acting members due to the Member Lehmann filling in for Chairperson Rauth and the member position vacated by the resignation of Susan Roman.

Members of the public in attendance were Keith and Tara Rutherford, Julie Smith and Jim Franklin and son, surveyors.

Acting Chairperson Lehmann deferred review of the July 19th minutes in order to conduct item number 5 on the agenda, the conceptual consultation for a lot line adjustment regarding lots 7-54-3 and 7-54-4 on Dustin Road (street number assigned to 7-54-4 is 9 Dustin Road). Please note that a conceptual consultation is non-binding.

Mr. Keith Rutherford, one of the four property owners, was invited to make his presentation. At this time, Mr. Rutherford presented plot plans drawn by James Franklin, surveyor, to the Board for their review. The intention for the lot line adjustment is to evenly divide the land between the two lots. Lot 7-54-4 in Webster is part of a 25 acre lot in Hopkinton; it just so happened the town boundary dissects the lot. Mr. Rutherford and his surveyor, Mr. Franklin, made a successful presentation to the Hopkinton Planning Board earlier in the week. Mr. Rutherford will have to make formal applications to both towns for the lot line adjustments. After review of the plot plan and a brief discussion, the Planning Board had no objections. Mr. Rutherford will begin the application process to come before the Planning Board per the town's Subdivision Regulations. Acting Chairperson Lehmann stated when Mr. Rutherford does come before the Board, there won't be a lot of questions, and this looked pretty straight forward. Mr. Rutherford et al thanked the Board for their time.

At this time Acting Chairperson Lehmann informed the Board of a possible Site Plan Review application presentation during the September 20th meeting from Joe DiPrima, owner of the Cozy Pond Camping Resort. Mrs. Larson stated Mr. DiPrima had made application to the ZBA for a Commercial Special Exception to be presented at their public hearing on September 11th. If the ZBA approves the application, Mr. DiPrima will present his Site Plan Review application to the Planning Board on September 20th.

The next two items on the agenda, Scenic Roads and update of the Master Plan, were deferred until the next meeting when Chairperson Rauth will be able to address them.

At this time the Board reviewed the draft minutes from July 19th. Acting Member Fournier made a motion to accept the minutes as written; seconded by Acting Member Bacon and approved unanimously.

At 6:44 pm Member King made a motion to adjourn; seconded by Acting Member Fournier and approved unanimously.

These draft minutes were prepared by Therese E. Larson, Land Use Coordinator.

7:29 pm Site Plan Review Public Hearing was closed. Chairperson Rauth stated it had been nice working with Mr. DiPrima and he reciprocated.

* The next item on the agenda was **PB Case 18-07 Lot Line Adjustment/Annexation Application from Keith & Tara Rutherford, Peter and Julie Smith owners of lots 7-54-3 and 7-54-4 on Dustin Road.**

Chairperson Rauth invited Mr. Rutherford to make his presentation to the Board. There were several copies of his site plan available for the Board members to refer to. Mr. Rutherford explained that two couples, together, own two pieces of property. One of those lots is in Hopkinton and Webster. He stated they are trying to divide the land so each couple has an even share of river front and of property. Mr. Rutherford referred to the site plan to show the current lot line and then the new lot line. A brief discussion followed about logging, soil type and process of building the new homes and their driveways.

There were no abutters present and no comments from the public were made.

Member Lehmann made a motion to approve the Lot Line Adjustment as proposed on the plan; seconded by Member King and approved unanimously. The approval is contingent upon a member or members walking the bounds and submission of Mylars.

Mr. Rutherford thanked the Board for their time.

At this time the Board reviewed the draft minutes from August 16th. Member Lehmann made a motion to accept the Planning Board minutes from August 16, 2018 as written; seconded by Member King and approved unanimously.

The next item on the agenda was to discuss the Planning Board Scenic Roads Subcommittee. Chairperson Rauth stated the committee had had a couple of meetings. She stated they contacted NHMA with some questions which clarified some things for her with regards to the final draft. She stated the main thing was that if a tree or a stone wall was to be removed by the town or a utility it requires a public hearing. She stated the committee was considering whether they would want to expand that – the administrative process as well as the criteria. A result of this process was that there needs to be more understanding and communication about scenic road maintenance. Chairperson Rauth stated that the subcommittee did sit down with the Road Agent twice and they learned why certain things were done in certain ways and what the issues were. She stated she thought it would be helpful for the residents and abutters as to when the maintenance was going to occur especially if there is going to be significant work done for preventative maintenance and ditching. Chairperson Rauth stated the committee thought that at regularly scheduled Select Board meetings that the Road Agent could present a plan for the maintenance and a schedule; trying to hold a public hearing prior to that type of work might be arduous. She stated having it on the Select Board meeting agenda would give it a chance to be presented twice a month. After a brief discussion, Select Board Member Schadler stated that the first Select Board meeting of the month there is a Department Head meeting with the Select Board that the Road Agent is required to be at so that he can tell the Board what he has planned for the next month and to report what has been done. Chairperson Rauth stated that the committee felt that by making a specific recommendation about scenic road maintenance to the Select Board it would be covered more carefully in meetings that citizens can come to. A lengthy and in depth discussion ensued covering topics of ditching, widening of the scenic roads, storm water runoff and the issues of boundaries and the town's right of way.

Chairperson Rauth stated to the Board members that she appreciated all their feedback and the subcommittee will do the best they can to put it all together and get it to the Select Board.

The next item on the agenda was an update of the Master Plan. Chairperson Rauth stated there will be a Master Plan meeting Tuesday, September 25th at 6:30 pm in the Select Board's conference room. She stated it was going really well. This month she stated they were going to talk about the chapters on Historic and Cultural, Resources, Housing and

MERRIMACK COUNTY RECORDS *Kathi L. Guay* CPO, Register

Return to:

634 Cross Country Rd.
Pembroke, NH 03275

\$975

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS, that we, **LUCILLE LADD** and **VERA B. BUCK**, AS TRUSTEES OF THE **LUCILLE LADD 2004 REVOCABLE TRUST**, under declaration of trust dated December 17, 2004 as may be amended, having an address of 4 Loudon Ridge Road, Loudon, Merrimack County, New Hampshire, **SALLY L. COLE** and **ROBERT A. COLE**, AS TRUSTEES OF THE **SALLY L. COLE REVOCABLE TRUST**, under declaration of trust dated November 23, 2009, as may be amended, having an address of 14 Presby Lane, Loudon, Merrimack County, New Hampshire, **DANIEL T. LADD** and **KAREN H. LADD**, AS TRUSTEES OF THE **KAREN H. LADD REVOCABLE TRUST 2006 REVOCABLE TRUST**, of 592 Loudon Ridge Road, Loudon, Merrimack County, New Hampshire, and **BETTY GAIL LADD FIFIELD**, married, of 207 Shaker Road, Canterbury, Merrimack County, New Hampshire, for consideration paid, grant to **KEITH M. RUTHERFORD** and **TARA L. RUTHERFORD**, husband and wife, of 634 Cross Country Road, Pembroke, Merrimack County, New Hampshire and to **PETER J. SMITH** and **JULIE L. SMITH**, husband and wife, of 977 Laconia Road, Belmont, Belknap County, New Hampshire, as tenants in common, with QUITCLAIM COVENANTS the following described land and buildings:

*LM12
TR
JS
JS*

Certain tracts or parcels of land on Dustin Road, situated partly in the Town of Hopkinton, and partly in the Town of Webster, County of Merrimack, and State of New Hampshire, more particularly described as follows:

Being shown as Lots #3 and #4 on a plan of land entitled "Subdivision Land of Lucille A. Ladd, Betty Gail Fifield, Sally Ladd Cole & Karen H. Ladd in Webster & Hopkinton, N.H. November 1, 1988 Scale 1"=100' ", prepared by Cornerstone Surveyors Inc. and recorded in the Merrimack Registry of Deeds on April 26, 1989 as Plan #11004. Reference is hereby made to said plan for a more particular description.

Containing approximately 31.6 acres, more or less.

Being a portion of the same premises conveyed to Lucille A. Ladd, Betty Gail Ladd Fifield, Sally Ladd Cole and Karen H. Ladd by deed of E. Stuart Rumery, as Executor under the Will of Dorothy M. Terry, said deed being dated November 2, 1987 and recorded in the Merrimack County Registry of Deeds in Book 1694, Page 0166.

Being further described in the Warranty Deed conveying an undivided one-quarter (1/4) interest in the property from Sally L. Cole (aka Sally Ladd Cole) to Sally L. Cole and Robert A. Cole, as Trustees of the Sally L. Cole Revocable Trust, said deed being dated July 23, 2010 and recorded in the Merrimack County Registry of Deeds in Book 3205, Page 1616.

Being further described in the Warranty Deed conveying an undivided one-quarter (1/4) interest in the property from Lucille Ladd (a/ka/ Lucille A. Ladd) to Lucille Ladd and Vera B. Buck, as Trustees of the Lucille Ladd 2004 Revocable Trust, said deed being dated July 16, 2010 and recorded in the Merrimack County Registry of Deeds in Book 3205, Page 1619.

Being further described in the Quitclaim Deed conveying an undivided one-quarter (1/4) interest in the property from Karen H. Ladd to Daniel T. Ladd and Karen H Ladd, as Trustees of the Karen H. Ladd 2006 Revocable Trust, said deed being dated July 25, 2006 and recorded in the Merrimack County Registry of Deeds in Book 2913, Page 1900.

Excepting and reserving that portion of land conveyed to James Cirillo by deed of Lucille A. Ladd, Betty Gail Ladd Fifield, Sally Ladd Cole and Karen H. Ladd by deed dated May 28, 2002 and recorded in the Merrimack County Registry of Deeds in Book 2369, Page 1535.

Excepting and reserving that portion of land conveyed to Bruce E. Benoit and Tammy E. Benoit by deed of Lucille A. Ladd, Sally Ladd Cole, Betty Gail Fifield and Karen H. Ladd, by deed dated June 13, 2002 and recorded in the Merrimack County Registry of Deeds in Book 2375, Page 676.

Subject to Current Use Taxation.

This is not homestead property of the Grantors or their spouses.

KATHI
TR
JS
P.S

Witness our hands and seals this 26th day of April, 2017.

[Signature]
Witness S. William Dahar II

Lucille Ladd, Trustee
Lucille Ladd, as Trustee of the Lucille Ladd
2004 Revocable Trust

[Signature]
Witness S. William Dahar II

Vera B. Buck, Trustee
Vera B. Buck, as Trustee of the Lucille Ladd
2004 Revocable Trust

[Signature]
Witness S. William Dahar II

Sally L. Cole, Trustee
Sally L. Cole, as Trustee of the Sally L. Cole
Revocable Trust

[Signature]
Witness S. William Dahar II

Robert A. Cole, Trustee
Robert A. Cole, as Trustee of the Sally L.
Cole Revocable Trust

[Signature]
Witness S. William Dahar II

Karen H. Ladd, trustee
Karen H. Ladd, as Trustee of the Karen H.
Ladd 2006 Revocable Trust

[Signature]
Witness S. William Dahar II

Daniel T. Ladd, Trustee
Daniel T. Ladd, as Trustee of the Karen H.
Ladd 2006 Revocable Trust

[Signature]
Witness S. William Dahar II

Betty Gail Ladd Fifield
Betty Gail Ladd Fifield

KMR
DL
GS
JS

STATE OF NEW HAMPSHIRE
COUNTY OF MERRIMACK

Dated: April 26 2017

The foregoing instrument was acknowledged before me this 26th day of April, 2017, by Lucille Ladd, as Trustee of the Lucille Ladd 2004 Revocable Trust.

Before me,



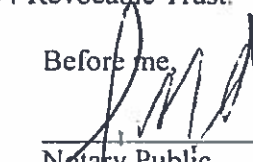
Notary Public S. William Dahar II
My Commission Expires: 02/01/2022

STATE OF NEW HAMPSHIRE
COUNTY OF HILLSBOROUGH

Dated: April 26, 2017

The foregoing instrument was acknowledged before me this 26th day of April, 2017, by Vera B. Buck, as Trustee of the Lucille Ladd 2004 Revocable Trust.

Before me,



Notary Public S. William Dahar II
My Commission Expires: 02/01/2022

STATE OF NEW HAMPSHIRE
COUNTY OF MERRIMACK

Dated: April 26, 2017

The foregoing instrument was acknowledged before me this 26th day of April, 2017, by Sally L. Cole, as Trustee of the Sally L. Cole Revocable Trust.

Before me,



Notary Public S. William Dahar II
My Commission Expires: 02/01/2022

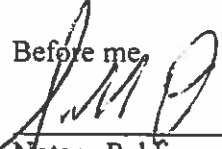



KMK
TR
JS
PS

STATE OF NEW HAMPSHIRE
COUNTY OF MERRIMACK

Dated: April 26, 2017

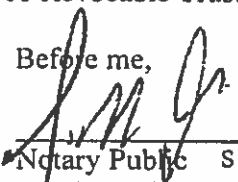
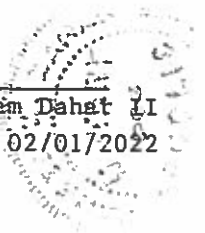
The foregoing instrument was acknowledged before me this 26th day of April, 2017, by Robert A. Cole, as Trustee of the Sally L. Cole Revocable Trust.

Before me,

Notary Public S. William Dahar II
My Commission Expires: 02/01/2022


STATE OF NEW HAMPSHIRE
COUNTY OF MERRIMACK

Dated: April 26, 2017

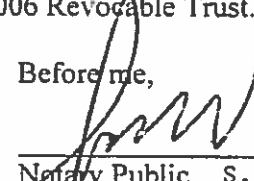
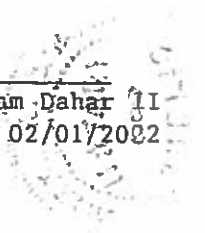
The foregoing instrument was acknowledged before me this 26th day of April, 2017, by Karen H. Ladd, as Trustee of the Karen H. Ladd 2006 Revocable Trust.

Before me,

Notary Public S. William Dahar II
My Commission Expires: 02/01/2022


STATE OF NEW HAMPSHIRE
COUNTY OF MERRIMACK

Dated: April 26, 2017

The foregoing instrument was acknowledged before me this 26th day of April, 2017, by Daniel T. Ladd, as Trustee of the Karen H. Ladd 2006 Revocable Trust.

Before me,

Notary Public S. William Dahar II
My Commission Expires: 02/01/2022


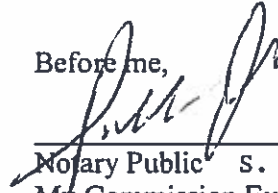
KMK
TR
JS
PS

STATE OF NEW HAMPSHIRE
COUNTY OF MERRIMACK

Dated: April 26, 2017

The foregoing instrument was acknowledged before me this 26th day of April, 2017, by
Betty Gail Ladd Fifield.

Before me,



Notary Public S. William Daher, II
My Commission Expires: 02/01/2022



KMR
TR
JS
PS

T OF HOPKINTON ABUTTERS:

- RCEL 222-097 MEADOWS OF HOPKINTON, INC., 136 FLINTROCK RD., CONTOOCOOK, NH 03229
- RCEL 223-049 MARTHA LAFLAME, 64 EVERGREEN LN., CONTOOCOOK, NH 03229
- RCEL 223-050 WINIFRED LANGTRY, 50 EVERGREEN LN., CONTOOCOOK, NH 03229
- RCEL 223-051 TRACEY LAWLER, 40 EVERGREEN LN., CONTOOCOOK, NH 03229
- RCEL 223-052 WILLIAM & SHIRLEY DONOGHUE, 30 EVERGREEN LN., CONTOOCOOK, NH 03229
- RCEL 223-053 CATHERINE HADLEY, 20 EVERGREEN LN., CONTOOCOOK, NH 03229
- RCEL 223-054 ESTER BOSTIC, 8 EVERGREEN LN., CONTOOCOOK, NH 03229
- RCEL 224-002 JOHN TEAHAN, 161 DEER PATH, CONTOOCOOK, NH 03229
- RCEL 224-003 ESME CAHILL IRREV. TRUST, 183 DEER PATH, CONTOOCOOK, NH 03229
- RCEL 224-004 GEOFFREY & JOAN MIRANTZ, 189 DEER PATH, CONTOOCOOK, NH 03229
- RCEL 224-005 CHARLES & ELIZABETH O'NEILL, 199 DEER PATH, CONTOOCOOK, NH 03229
- RCEL 224-006 RICHARD & BONNIE PRATT, 213 DEER PATH, CONTOOCOOK, NH 03229
- RCEL 224-007 GERTRUDE PAGE & JOSEPH PROVENCHER, 233 DEER PATH, CONTOOCOOK, NH 032
- RCEL 224-029-2 KENDALL TEMPER, 512 DUSTIN RD., CONTOOCOOK, NH 03229
- RCEL 224-030 DANIEL OBER, 543 DUSTIN RD., CONTOOCOOK, NH 03229
- RCEL 224-031 JANE & MICHAEL DOHERTY, 573 DUSTIN RD., HOPKINTON, NH 03229
- RCEL 224-032 GLEN & KAREN GLANVILLE, 595 DUSTIN RD., CONTOOCOOK, NH 03229

T OF WEBSTER ABUTTERS:

- RCEL 7-49 STATE OF NEW HAMPSHIRE *40 NH Office of Strategic Initiatives, 101 Pleasant St. Concord NH*
- RCEL 7-53 TOWN OF WEBSTER, 945 BATTLE ST., WEBSTER, NH 03303
- RCEL 7-54-2 MARK & ROSE STEVENS, 2 BLACKBERRY WAY, UNIT 104, MANCHESTER, NH 03102
- RCEL 7-55 THERRESA FINNEMORE, 22 DUSTIN RD., WEBSTER, NH 03303
- RCEL 7-56 RICHARD DUFORD, 52 DUSTIN RD., WEBSTER, NH 03303

NERS OF BOTH PARCELS:

TH & TARA RUTHERFORD, AND PETER & JULIE SMITH
3 W. RIVER ROAD, HOOKSETT, NH 03106



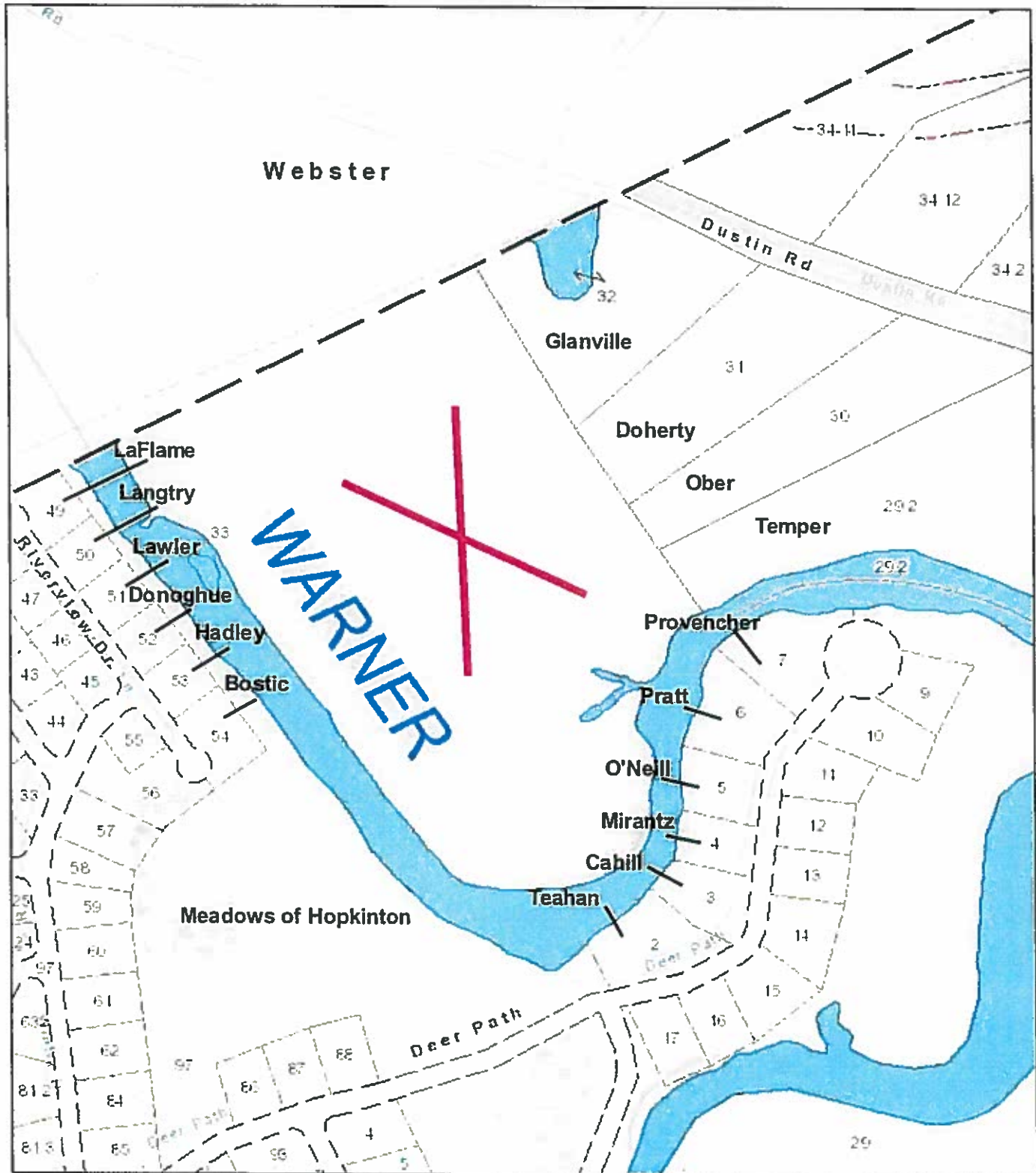
Hopkinton, NH

1 inch = 268 Feet



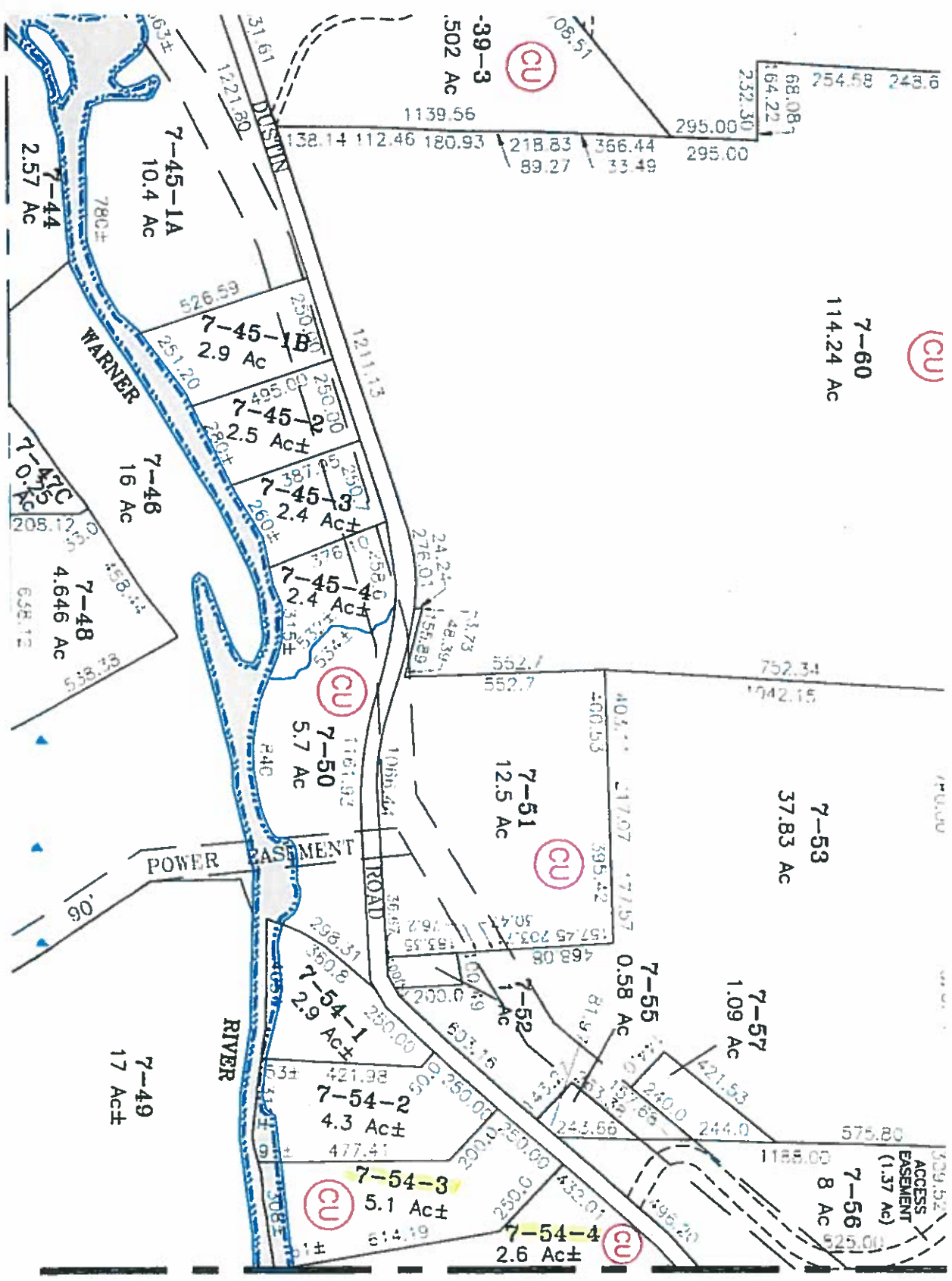
September 18, 2018

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Town of Webster's Tax Map 7 (portion of)



7-60
114.24 Ac



7-53
37.83 Ac

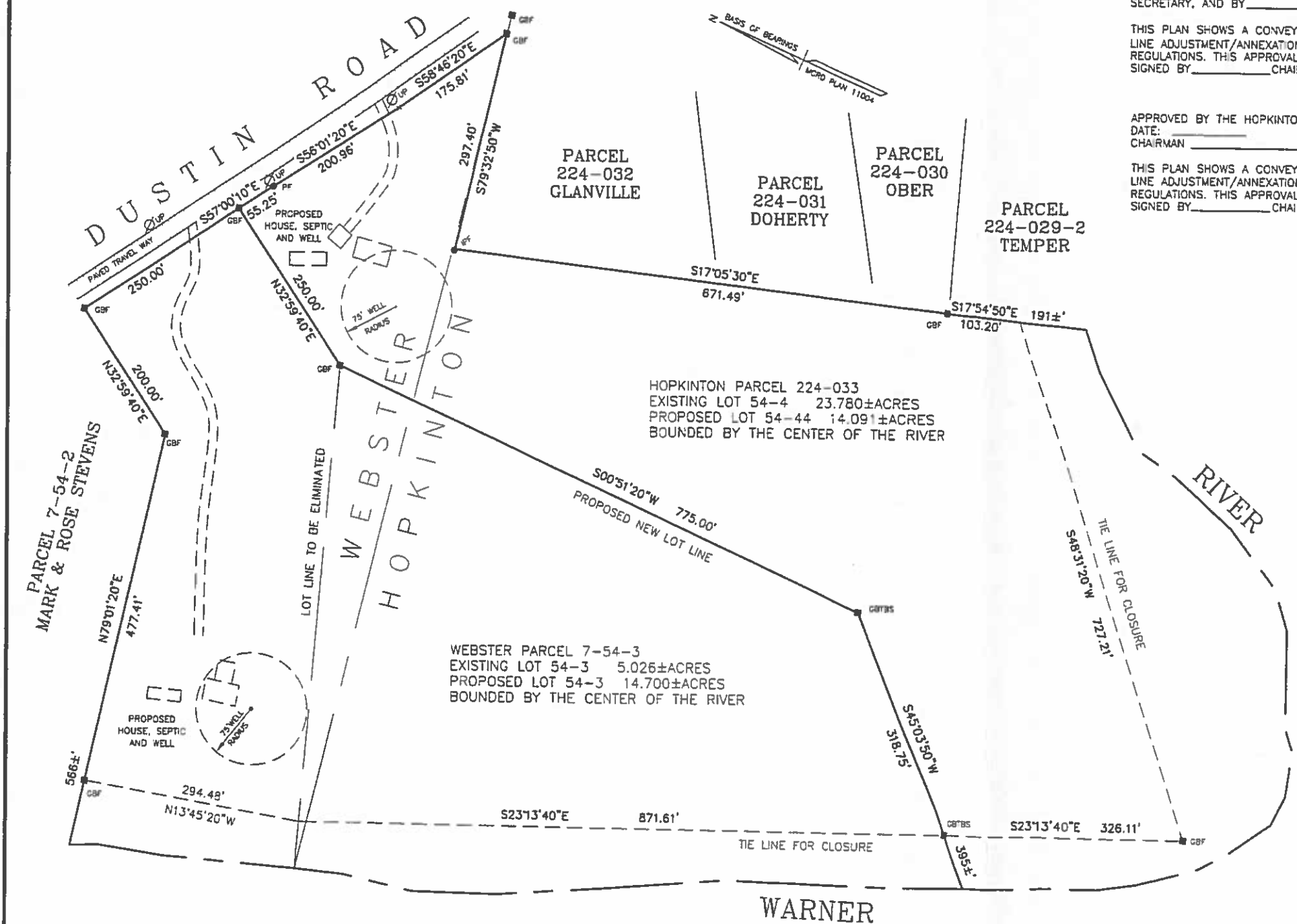
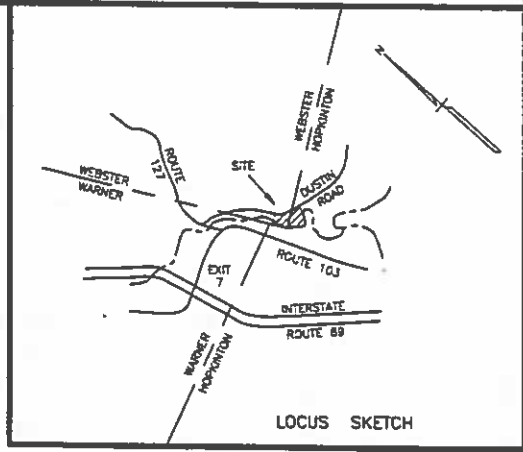


APPROVED BY THE WEBSTER PLANNING BOARD ON _____
 CERTIFIED BY _____ CHAIR, BY _____
 SECRETARY, AND BY _____ BOARD MEMBER

THIS PLAN SHOWS A CONVEYANCE OF LAND FOR THE PURPOSE OF LOT
 LINE ADJUSTMENT/ANNEXATION AS DEFINED IN THE WEBSTER SUBDIVISION
 REGULATIONS. THIS APPROVAL DOES NOT CONSTITUTE A SUBDIVISION.
 SIGNED BY _____ CHAIR, AND _____ SECRETARY

APPROVED BY THE HOPKINTON PLANNING BOARD ON _____
 DATE: _____
 CHAIRMAN _____

THIS PLAN SHOWS A CONVEYANCE OF LAND FOR THE PURPOSE OF LOT
 LINE ADJUSTMENT/ANNEXATION AS DEFINED IN THE HOPKINTON SUBDIVISION
 REGULATIONS. THIS APPROVAL DOES NOT CONSTITUTE A SUBDIVISION.
 SIGNED BY _____ CHAIR, AND _____ SECRETARY



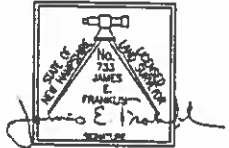
- LIST OF HOPKINTON ABUTTERS:
- PARCEL 222-097 MEADOWS OF HOPKINTON, INC., 136 FLINTROCK RD., CONTOOCCOOK, NH 03229
 - PARCEL 223-049 MARTHA LAFLAME, 84 EVERGREEN LN., CONTOOCCOOK, NH 03229
 - PARCEL 223-050 WINIFRED LANGTRY, 50 EVERGREEN LN., CONTOOCCOOK, NH 03229
 - PARCEL 223-051 TRACEY LAWLOR, 40 EVERGREEN LN., CONTOOCCOOK, NH 03229
 - PARCEL 223-052 WILLIAM & SHIRLEY DONOGHUE, 30 EVERGREEN LN., CONTOOCCOOK, NH 03229
 - PARCEL 223-053 CATHERINE HADLEY, 20 EVERGREEN LN., CONTOOCCOOK, NH 03229
 - PARCEL 223-054 ESTER BOSTIC, 8 EVERGREEN LN., CONTOOCCOOK, NH 03229
 - PARCEL 224-002 JOHN TEAHAN, 181 DEER PATH, CONTOOCCOOK, NH 03229
 - PARCEL 224-003 ESMÉ CAMILL IRREV TRUST, 183 DEER PATH, CONTOOCCOOK, NH 03229
 - PARCEL 224-004 GEOFFREY & JOAN WRANTZ, 189 DEER PATH, CONTOOCCOOK, NH 03229
 - PARCEL 224-005 CHARLES & ELIZABETH O'NEILL, 199 DEER PATH, CONTOOCCOOK, NH 03229
 - PARCEL 224-006 RICHARD & BONNIE PRATT, 213 DEER PATH, CONTOOCCOOK, NH 03229
 - PARCEL 224-007 GERTRUDE PAGE & JOSEPH PROVENCHER, 233 DEER PATH, CONTOOCCOOK, NH 03229
 - PARCEL 224-029-2 KENDALL TEMPER, 512 DUSTIN RD., CONTOOCCOOK, NH 03229
 - PARCEL 224-030 DANIEL OBER, 543 DUSTIN RD., CONTOOCCOOK, NH 03229
 - PARCEL 224-031 JANE & MICHAEL DOHERTY, 573 DUSTIN RD., HOPKINTON, NH 03229
 - PARCEL 224-032 GLEN & KAREN GLANVILLE, 565 DUSTIN RD., CONTOOCCOOK, NH 03229

- LIST OF WEBSTER ABUTTERS:
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 - PARCEL 7-53 TOWN OF WEBSTER, 945 BATTLE ST., WEBSTER, NH 03303
 - PARCEL 7-54-2 MARK & ROSE STEVENS, 2 BLACKBERRY WAY, UNIT 104, MANCHESTER, NH 03102
 - PARCEL 7-55 THERESA FINNEMORE, 22 DUSTIN RD., WEBSTER, NH 03303
 - PARCEL 7-56 RICHARD DUFORD, 52 DUSTIN RD., WEBSTER, NH 03303

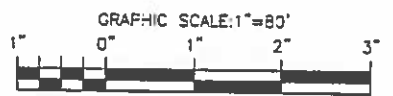
OWNERS OF BOTH PARCELS:
 KEITH & TARA RUTHERFORD, AND PETER & JULIE SMITH
 136 W. RIVER ROAD, HOOKSETT, NH 03106

LOT LINE ADJUSTMENT
 LANDS OF
 KEITH & TARA RUTHERFORD
 AND
 PETER & JULIE SMITH
 ASSESSOR'S MAP 224 PARCEL 33
 HOPKINTON, NEW HAMPSHIRE
 AND
 ASSESSOR'S MAP 7
 LOTS 7-54-3 AND 7-54-4
 DUSTIN ROAD, WEBSTER, NEW HAMPSHIRE
 SCALE: 1"=80' ~ SEPTEMBER 14, 2018

THIS PLAN IS THE RESULT OF A STANDARD
 URBAN PROPERTY SURVEY, WITH AN ERROR
 OF CLOSURE OF 1" : 10,000



James E. Franklin, LLC
 Licensed Land Surveyor
 New Hampshire ~ Massachusetts ~ Connecticut
 173 Deerfield Rd., Candia, NH 03034
 Tel. (603) 483-3088



TO CONVERT DISTANCES SHOWN TO METERS, MULTIPLY BY 0.3048006

- UP UTILITY POLE
- RBF - REBAR FOUND
- DHF - DRILL HOLE FOUND
- DHS - DRILL HOLE SET
- IPF - IRON PIPE FOUND
- GBF - GRANITE BOUND FOUND
- GBTBS - GRANITE BOUND TO BE SET