

Town of Hopkinton

330 Main Street • Hopkinton, New Hampshire 03229 • www.hopkinton-nh.gov *Tel*: 603-746-3170 *Fax*: 603-746-3049

PUBLIC NOTICE - AGENDA OCTOBER 9, 2018

Notice is hereby given that the **Hopkinton Planning Board** will meet on Tuesday, October 9, 2018, at 6:30 PM in the Hopkinton Town Hall, 330 Main Street, Hopkinton, NH, to review and take action on the following:

- I. Call to Order.
- II. Approval of Meeting Minutes of September 11, 2018.
- III. Conceptual Consultations.
- IV. Applications.

#2018-8 Dave Barkie requesting Site Plan Review for retail, closed storage and associated outside storage on property owned by Lisa Thorne, located off Maple Street in the M-1 district, shown on Tax Map 227 as Lot 40.

- a) Determination Completeness
- b) Public Hearing
- c) Deliberation and Action on Application

#2018-10 Joseph Grogan requesting Site Plan Review for an electrical business as a Home Business, located at 351 Park Avenue, owned by 351 Park Ave, LLC, in the R-1 district, shown on Tax Map 222 as Lot 70.

- a) Determination Completeness
- b) Public Hearing
- c) Deliberation and Action on Application

#2018-11 Keith & Tara Rutherford/Peter & Julie Smith requesting a Lot Line Adjustment involving properties located off Dustin Road, at the Hopkinton/Webster Town Line, in Hopkinton's R-4 district, shown on Hopkinton's Tax Map 224 as Lot 33 and Webster's Tax Map 7 as Lots 7-54-3 & 7-54-4.

- d) Determination Completeness
- e) Public Hearing
- f) Deliberation and Action on Application

V. Other Business

- Draft Zoning Amendments.
- Any other business to legally come before the meeting.
- VI. Adjournment.



Town of Hopkinton

330 Main Street • Hopkinton, New Hampshire 03229 • www.hopkinton-nh.gov

Tel: 603-746-3170

Fax: 603-746-3049

HOPKINTON PLANNING BOARD MINUTES SEPTEMBER 11, 2018

Members present: Vice Chairman Michael Wilkey, James Fredyma Jane Bradstreet, Rich Steele, Celeste Hemingson, and Alternate Clarke Kidder. Absent: Chairman Bruce Ellsworth, Ex-Officio Sabrina Dunlap, and Alternate Timothy Britain. Staff present: Planning Director Karen Robertson.

- I. Call to Order. Vice Chairman Wilkey called the meeting to order at 6:30 PM in the Hopkinton Town Hall. Due to the absence of regular members, Mr. Kidder was designated as a voting member.
- II. Review of the Minutes and Notice of Decision of August 14, 2018.

Mrs. Hemingson, seconded by Mr. Steele, motioned to APPROVE the Minutes of August 14, 2018, with a revision that clarifies the motion to approve the application of River House Properties, LLC (#2018-7). The motion is to indicate that approval was conditioned upon a final agreement with the Director of Public Works concerning whether the driveway access and egress shall be counterclockwise or clockwise around the building. With six members voting, four voted in favor (Wilkey, Fredyma, Steele, and Hemingson) and two voted in abstention (Bradstreet and Kidder).

Mrs. Hemingson, seconded by Mr. Steele, motioned to APPROVE the Notice of Decision of August 14, 2018, with a revision that clarifies the motion to approve the application of River House Properties, LLC (#2018-7). The motion is to indicate that approval was conditioned upon a final agreement with the Director of Public Works concerning whether the driveway access and egress shall be counterclockwise or clockwise around the building. With six members voting, four voted in favor (Wilkey, Fredyma, Steele, and Hemingson) and two voted in abstention (Bradstreet and Kidder).

III. Applications.

#2018-8 Dave Barkie requesting Site Plan Review for retail, closed storage and associated outside storage on property owned by Lisa Thorne, located off Maple Street in the M-1 district, Tax Map 227 Lot 40. Review was POSTPONED at the request of the Applicant.

#2018-9 Deborah Allen requesting Site Plan Review to operate a year-round farm-stand and to engage in agritourism activities, located at 258 Dustin Road, owned by Deborah and Mark Allen, in the R-3 district, Tax Map 224 Lot 39.

The Applicant received approval at the September 5, 2018, meeting of the Zoning Board of Adjustment to operate a year-round farm-stand.

Mrs. Allen's farm consists of a small number of sheep. At her farm stand she plans to sell sheep yogurt and other milk products, including products produced from cow milk. The cow milk will come from other dairy farms. Eventually, she also plans to sell homemade cheese.

Mr. Kidder, seconded by Mrs. Bradstreet, motioned to ACCEPT Application #2018-09 as complete and for consideration. Motion carried unanimously in the affirmative.

There being no public present, Vice Chairman Wilkey opened and closed the public hearing portion of the meeting.

Mrs. Allen presented photographs of the inside of the existing barn where she will make and refrigerate the yogurt and cheese. All sales will be by way of an honor system.

Mrs. Bradstreet inquired about adequate lighting during winter months, when it gets dark early, and the hours of operation. Mrs. Allen noted that the hours will be from 7 AM to 7 PM and that there are motion lights on the property.

Mr. Kidder, seconded by Mrs. Hemingson, motioned to **APPROVE** Application #2018-09 as presented. Motion carried unanimously in the affirmative (Wilkey, Fredyma, Steele, Hemingson, Bradstreet, and Kidder).

IV. Adjournment. Mrs. Bradstreet, seconded by Mr. Kidder, motioned to ADJOURN the meeting 6:50 PM. The next regular scheduled meeting of the Hopkinton Planning Board is at 6:30 PM on Tuesday, October 9, 2018 at the Hopkinton Town Hall.

Karen Robertson Planning Director



Town of Hopkinton

330 Main Street • Hopkinton, New Hampshire 03229 • www.hopkinton-nh.gov

Tel: 603 746-3170 Fax: 603 746-2952

HOPKINTON PLANNING BOARD NOTICE OF DECISION SEPTEMBER 11, 2018

Notice is hereby given that the Hopkinton Planning Board met on Tuesday, September 11, 2018, at 6:30 PM in the Hopkinton Town Hall, 330 Main Street, Hopkinton, and made the following decision(s):

I. Review of the Minutes and Notice of Decision of August 14, 2018.

Celeste Hemingson, seconded by Rich Steele, motioned to **APPROVE** the Minutes of August 14, 2018, with a revision that clarifies the motion to approve the application of River House Properties, LLC (#2018-7). The motion is to indicate that approval was conditioned upon a final agreement with the Director of Public Works concerning whether the driveway access and egress shall be counterclockwise or clockwise around the building. With six members voting, four voted in favor (Wilkey, Fredyma, Steele, and Hemingson) and two voted in abstention (Bradstreet and Kidder).

Celeste Hemingson, seconded by Rich Steele, motioned to **APPROVE** the Notice of Decision of August 14, 2018, with a revision that clarifies the motion to approve the application of River House Properties, LLC (#2018-7). The motion is to indicate that approval was conditioned upon a final agreement with the Director of Public Works concerning whether the driveway access and egress shall be counterclockwise or clockwise around the building. With six members voting, four voted in favor (Wilkey, Fredyma, Steele, and Hemingson) and two voted in abstention (Bradstreet and Kidder).

II. Applications.

#2018-8 Dave Barkie requesting Site Plan Review for retail, closed storage and associated outside storage on property owned by Lisa Thorne, located off Maple Street in the M-1 district, Tax Map 227 Lot 40. Review was POSTPONED at the request of the Applicant.

#2018-9 Deborah Allen requested Site Plan Review to operate a year-round farm-stand and to engage in agritourism activities, located at 258 Dustin Road, owned by Deborah and Mark Allen, in the R-3 district, Tax Map 224 Lot 39.

Clarke Kidder, seconded by Jane Bradstreet, motioned to **ACCEPT** Application #2018-09 as complete and for consideration. Motion carried unanimously in the affirmative.

Clarke Kidder, seconded by Celeste Hemingson, motioned to **APPROVE** Application #2018-09 as presented. Motion carried unanimously in the affirmative (Wilkey, Fredyma, Steele, Hemingson, Bradstreet, and Kidder).

III. Adjournment. Jane Bradstreet, seconded by Clarke Kidder, motioned to ADJOURN the meeting 6:50 PM. The next regular scheduled meeting of the Board is at 6:30 PM on Tuesday, October 9, 2018 at the Hopkinton Town Hall.

Karen Robertson Planning Director



Town of Hopkinton
Planning Department
330 Main Street
Hopkinton, NH 03229

Phone: (603) 746-4487
Fax: (603) 746-2952
E-mail: planzone@tds.net
Web: www.hopkinton-nh.gov

TOWN OF HOPKINTON, NH APPLICATION TO PLANNING BOARD

This application is for: 🗌 Subdivision 🔛 Lot Line Adjustment/Annexation/Merger 🖾 Site Plan Review
Conditional Use Permit (ZO Section III) 🐧 Architectural Design Review (ZO Section IV-A)
☐ Special Use Permit (ZO Section VIII) ☐ Preliminary Review (SD Section II)
Name, mailing address and telephone number of Applicant: Dave Barkie, 1681 Valley Road, Washington, N.H. 03280, (603) 495-3229
Name, mailing address and telephone number of property owner: Lisa Thorne, 519 Maple Street Contoocook, N.H. 03229, (603) 746-1086
Name, mailing address and telephone number of engineer, architect, soil scientist, wetland scientist and land surveyor:
Name and mailing addresses of holders of conservation preservation, or agricultural preservation restrictions or easements: N/A
Location of Site: 519 Maple Street Zone: M-1 Tax Map(s): 227 Lot(s): 40
Number of lots and/or units proposed: 2
Type of use of Unit(s) and/or Lot(s):
Residential Temporary Residential Recreational Agricultural Institutional Commercial Industrial Accessory
Type of Sewage (check one):
Type of Water Supply (check one): Town Dug Well Artesian
Please submit the following with the completed application:
□ Narrative description of proposal.
☐ Copies of any Planning Board meeting minutes from Conceptual Consultation or Preliminary Review.
☑ Copy of property deed, easements and covenants and restrictions, if any, for subject property.
☑ Copy of the property tax map showing subject parcel and abutting properties.
☑ Coples of any ZBA Notices of Decision for project.

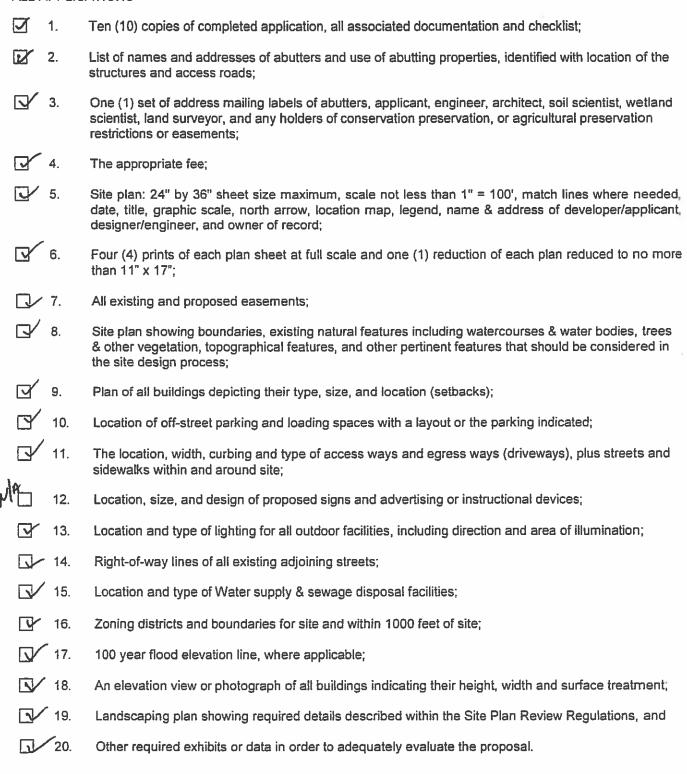
TOWN OF HOPKINTON, NH APPLICATION TO PLANNING BOARD

	Site Plan Regulations/Subdivision Regulations/Zoning Ordinance — Read carefully to insure that all applicable requirements in the Site Review Regulations and/or Subdivision Regulations have been addressed. <u>If requesting waiver(s) from any of the provisions, please submit request in writing at the time of submittal of application/plans.</u> Plans must be complete at the time of submittal.
	Abutters List as defined by RSA 672:3—Include Tax Map, Lot Number, Name and Mailing Address of all abutters, including those across a street, brook or stream. Names should be those of current owners.
	One (1) set of addressed mailing labels of abutters, applicant, engineer, architect, soil scientist, wetland scientist, land surveyor, and of holders of conservation preservation, or agricultural preservation restrictions or easements.
	Four (4) paper prints of the final plan(s) at full scale.
	Eleven (11) copies of the application, along with all supporting document(s), including reductions of the final plan(s) reduced to no more than 11×17 inches.
	Appropriate filing fee: (Non-refundable) Made payable to Town of Hopkinton
	Major Subdivision
	\$150.00 Change of Use Condition Use Permit\$500.00 Application Fee (Wireless Telecommunications)
	\$150.00 Application Fee (Co-Location) Owner/Applicant/Agent Notice\$10.00 Fee per Address Abutter Notice\$10.00 Fee per Address Newspaper NoticeActual Cost
	Recording Fees: Separate Checks Payable to Merrimack County Registry of Deeds
	Recording Fee\$26.00 per Page (22" x 34") LCHIP Fee\$25.00 per Document
	Conditional Use Permit: If application is for Conditional Use Permit, please attach a detail explanation of compliance with Section 3.10 of the Hopkinton Zoning Ordinance along with explanation of compliance with the Site Plan Review Regulations of the Town of Hopkinton.
H	he undersigned Applicant is familiar with the Subdivision Regulations, Site Plan Review Regulations, and the opkinton Zoning Ordinance and agrees that the proposed actions will be performed in accordance with this oplication, the attached plans and specifications, the Ordinance, By-Laws and Regulations of the Town. The opplicant also certifies that any plot plan submitted is accurate.
	ncomplete and/or vague answers constitute an incomplete application, as does omission of the application fees, and therefore, the application will not be scheduled for a Public Hearing.
D	ate: 8/20/18 Signature of Applicant: D. Blui Member Summitted lings U.
D	ate: 8/20118 Signature of Owner: Aca a Thomas
A N C	ompleted Application Filed: mount of Fees Paid: otice Advertised & Posted: ertified Notices Mailed: ccepted for Consideration:

Town of Hopkinton, NH Site Plan Review Checklist

In cases where not all items are applicable, draw a line through the items that are not applicable. All requests for waivers must be in writing with the application.

ALL APPLICATIONS



Town of Hopkinton, NH Site Plan Review Checklist

PROJECTS REQUIRING NEW OR ADDITIONAL BUILDINGS OR CHANGES TO THE EXTERIOR DIMENSIONS OF EXISTING OR CHANGES TO EXISTING CONTOURS AND FINISHED GRADE ELEVATIONS, INCLUDING TYPE, EXTENT, AND LOCATION OF LANDSCAPING, PARKING AND OPEN SPACE AREAS SHALL SUBMIT THE FOLLOWING IN ADDITION TO ABOVE:

	1.	Reproducible mylar, to be retained by the Planning Board at its option;
	2.	Plan of all buildings with their type, size, location (setbacks) and elevation of first floor indicated: (assume permanent onsite elevation);
	3.	The size and proposed location of water supply and sewage facilities and provision for future expansion of sewage and water facilities, and all distances from existing water and sewage facilities on the site and on abutting properties to a distance of 200 feet;
	4.	The location, elevation and layout of catch basins and other surface drainage features;
	´5.	Existing and proposed contours and finished grade elevations – all contours shall be a minimum of 2-foot intervals;
	6.	The type, extent and location of existing and proposed landscaping and open space areas indicating what existing landscaping and open space areas will be retained;
	7.	The size and location of all public service connections – gas, power, telephone, fire alarm, (overhead or underground);
Ū-	8.	Surveyed property lines showing their angles, distances, radius, lengths of arcs, control angles, along property lines and monument locations and names of all abutters;
P□	9.	If a subdivision, the lines and names of all proposed streets, lanes, ways, or easements intended to be dedicated for public use shall be indicated and all Subdivision Regulations shall apply, and
IJ∕	10.	Erosion and sedimentation control plan.

List of Abutters						
Map Lot(s) Property Owner(s) Name		Property Owner(s) Name	Mailing Address	Office Use Only		
227	4	Southworth-Milton, Inc.	100 Quarry Drive Milford, MA 01757			
227	6	Brenda J. Bailey	512 Maple Street Contoocook, N.H. 03229			
227	7	Dorothy & Gary Graziano, Sr. and Gary Graziano, Jr.	496 Maple Street Contoocook, N.H. 03229			
227 39		Helen L. Barnard Revocable Trust c/o Robert W. Barnard	3675 Amberly Circle, Unit C301 Naples, FL 34112			
227 41 Virginia & Woodbury Roberts		Virginia & Woodbury Roberts	575 Maple Street Contoocook, N.H. 03229			
		Professi	onals			
Applicant		David Barkie	1681 Valley Road Washington, N.H. 03280			
Surveyor		Arthur Siciliano, Jr.	52A Hall Avenue Henniker, N.H. 0322 9 -42			
Wetland		Thomas Carr	P.O. Box 118			
Scientist		Meridian Land Services, Inc.	Milford, N.H. 03055			
Eng	ineer	Anthony Costello	43 Bear Hill Road			
		A.C. Engineering & Consulting	Washington, N.H. 03280			

1400008131 Recorded in Merrimack County, NH In the Records of Kathi L. Guay, CPO, Register 2: 3440 PG: 1871, 5/23/2014 10:07 AM LCHIP \$25.00 RECORDING \$14.00 SURCHARGE \$2.00

MERRIMACK COUNTY RECORDS 9 (22) 2. 44 CPO, Regussi

Return to: Lisa A. Thorne

1449

519 Maple St.

Hopkinton, NH 03229

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS, That We, Thomas K. Thome, married, of 189 Carter Hill Road, Concord, NH 03303 and Lisa A. Thome, Married, of 519 Maple Street, Hopkinton, NH 03229, for consideration paid, grant to Lisa A. Thome, Married, of 519 Maple Street, Hopkinton, NH 03229, with QUITCLAIM covenants,

A certain tract or parcel of land, with the improvements thereon, in the Town of HOPKINTON, County of MERRIMACK, and State of New Hampshire, bounded and described as follows:

Beginning at the east side of the highway known as Highway 127 at the northeast corner of these granted premises;

Thence in a general easterly direction along a stone wall about thirty-seven (37) rods to an iron pin at the end of the wall;

Thence in a general southerly direction along a wire fence abut thirty-four (34) rods to an iron post;

Thence in a general westerly line along a fence about thirty-seen (37) rods to an iron pin at the end of a stone wall at the highway;

Thence in a general northerly direction along the stone wall on the easterly side of the highway about thirty-four (34) rods to the point begun at.

Meaning and Intending to describe and convey the same premises conveyed to Thomas K. Thorne and Lisa A. Thorne by deed dated October 8, 2010 and recorded at Book 3219, Page 195 of the Merrimack County Registry of Deed.

This conveyance is made pursuant to the Final Decree of Divorce in the matter of Lisa A. Thorne and Thomas K. Thorne, 6th Circuit Court, Concord Family Division, Case Number 629-2013-DM-00469, dated April 18, 2014, and is exempt from transfer tax pursuant to New Hampshire RSA 78-B:2, XIII. I, Thomas K. Thorne, hereby release to said Grantee all rights of homestead and all other interests therein. Signed _____ Jones K. Shorne Thomas K. Thorne Signed Lisa A. Thorne STATE OF NEW HAMPSHIRE MERRIMACK, SS. This instrument was acknowledged before me on _____May____ Thomas K. Thorne. Notary Public / Justice of the Peace-My Commission Expires: 40 you + 23, 2016 STATE OF NEW HAMPSHIRE MERRIMACK, SS. 2014, by Lisa This instrument was acknowledged before me on _ A. Thorne. Notary Public / Justice of the Peace My Commission Expires

Thorne Property CAI Technologies Hopkinton, NH 1 inch = 500 Feet December 13, 2017 www.cai-tech.com 8.2

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes

or misuse or misrepresentation of this map.

Drainage Summary for

~ Commercial Site Development ~

Tax Map 227 / Lot 40-1

519 Maple Street Contoocook, New Hampshire

Prepared for:

Summit Holdings, LLC

August 27, 2018



Prepared by:

A.C.Engineering & Consulting
43 Bear Hill Road
East Washington, N.H. 03280

1. Project Description

This project will consist of the clearing and re-grading of land for the construction of a 3,600 s.f. metal framed building with associated paved parking and access. Disturbance activities will include clearing and grubbing within the limits of the work area, the installation of sediment and erosion controls, removal and stockpile of topsoil, excavation to parking sub grade and preparation for final planting and seeding. Approximately 39,000 s.f. (0.9 acres) of land will be disturbed by construction activities. There are no proposed wetland impacts for this project.

2. Site Conditions

The existing site is located on Maple Street in Contoocook, N.H. The property is mostly meadow with trees located across the front, right side and rear property lines as well as small trees around a wetland swale running through the property. This parcel is part of a conditionally approved subdivision with the abutting property to the north. There are three out buildings on the property and a gravel drive is used to access to them from the northerly property. Soils on the property are classified by NRCS as a Metacomet fine sandy loam with slopes ranging from 3 to 15%. Runoff from the site flows on to the southerly abutting property through a wetland running north-south through the property, and to an existing 18" culvert near the southwest corner of the property and passing under Maple Street.

3. Methodology

Runoff computations have been estimated using the SCS TR-55/TR-20 methodology as implemented by HydroCAD 10.00 computer software. The site has been designed to decrease peak flows and volumes for the 10-year storm event. Summaries for the 2 and 50 year storm events have also been provided.

4. Results

Site Runoff	Peak	Flow	Volume		
18" Culvert (1S, 10S)	Pre- Development	Post Development	Pre- Development	Post Development	
2 Year Storm	0.90 cfs	1.00 cfs	0.108 af	0.114 af	
10 Year Storm	2.04 cfs	2.04 cfs	0.228 af	0.224 af	
50 Year Storm	3.96 cfs	3.72 cfs	0.433 af	0.406 af	

Site Runoff Through	Peak	Flow	Volume		
Wetland (2P, 21P)	Pre- Development	Post Development	Pre- Development	Post Development	
2 Year Storm	2.12 cfs	2.09 cfs	0.472 af	0.466 af	
10 Year Storm	3.94 cfs	3.85 cfs	1.019 af	1.008 af	
50 Year Storm	7.11 cfs	7.40 cfs	1.971 af	1.968 af	

5. Erosion Control

<u>Control Measures</u>: Install hay bales, check dams, silt fence and stump grindings in locations shown on Grading Plan. Sediment and erosion control measures shall be in place prior to any excavation operations including the removal of stumps and the removal and stockpile of topsoil. It is recommended that all stumps be ground into mulch and that the mulch be used for erosion control.

Construct additional temporary berms, ditches, traps and basins as may be required during the various phases of construction. Inspect and maintain sediment and erosion control measures on a weekly basis and after every rainfall of 0.5" or greater.

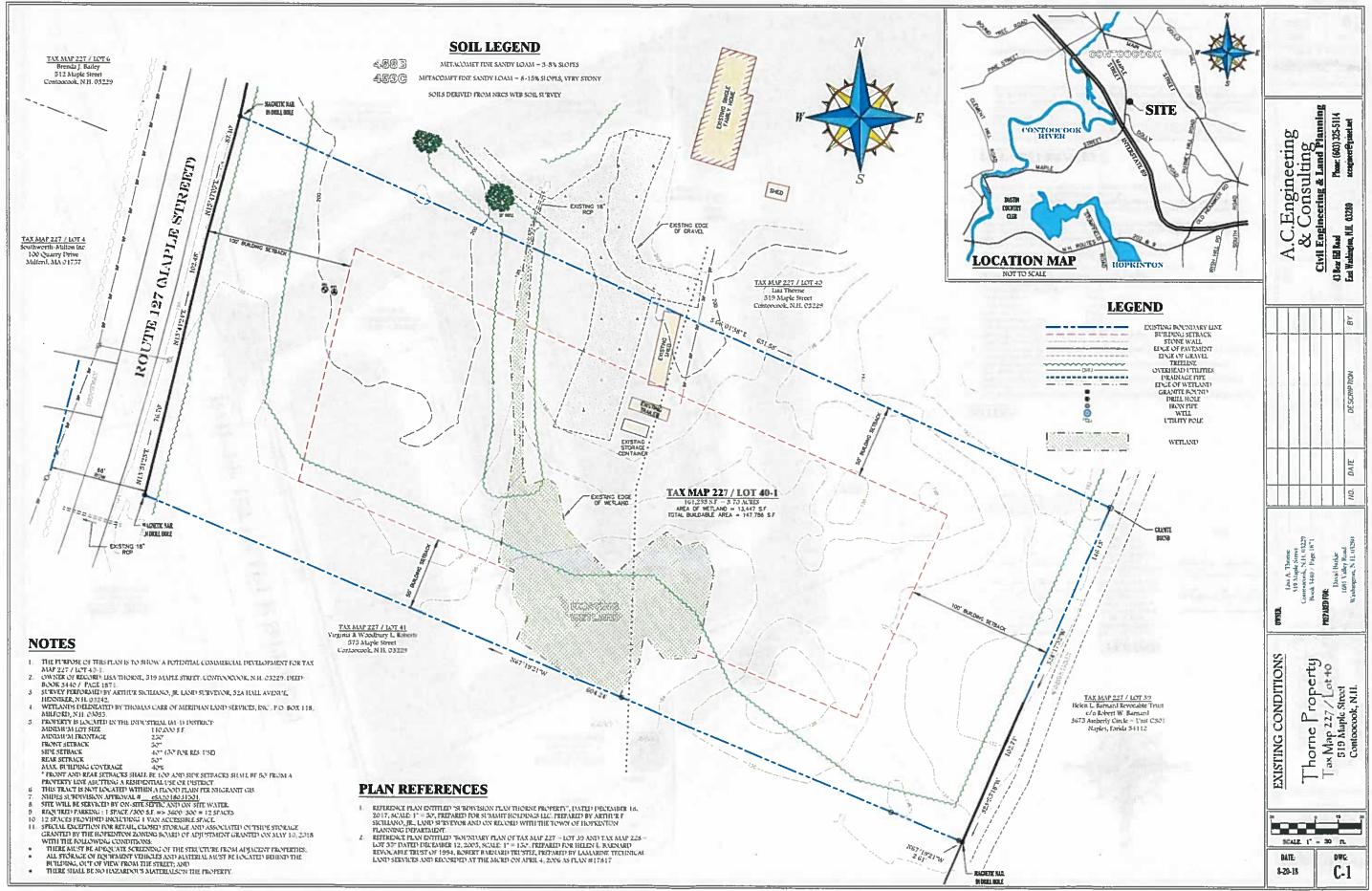
Existing Vegetation & Topsoil: Existing vegetation is to remain undisturbed wherever possible. Stripped topsoil shall be stockpiled, without compaction, and stabilized against erosion. Topsoil stockpiles and disturbed areas where construction activity will temporarily cease for at least 21 days shall be stabilized with temporary seed and straw mulch or stump grindings.

<u>Drainage Structures</u>: Install dry wells and incorporate appropriate sedimentation control measures. The installation of all underground utilities should coincide with that of the drainage structures.

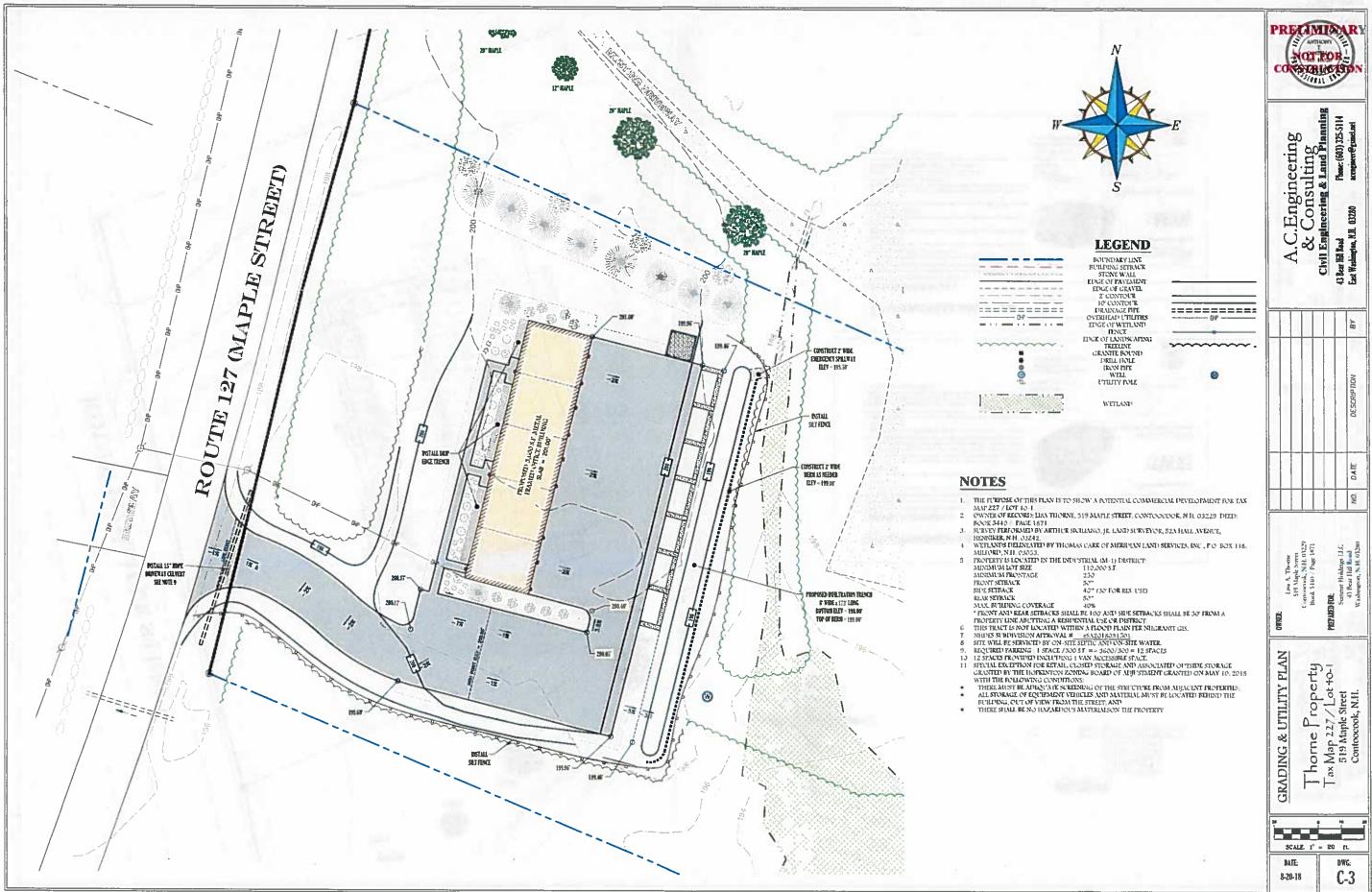
6. Storm Water Control

Roof runoff from the front of the building will be collected in drip line trenches and infiltrated into the ground.

Roof and parking runoff for the back of the building will be collected in a small grass swale/detention area located between the parking area and existing wetland swale. Runoff will be infiltrated up to a depth of 6" after which the additional runoff will exit the swale through an emergency spillway and be directed into the existing wetland swale.

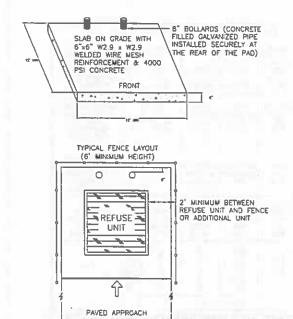






College

DUMPSTER PAD DETAIL



NOTES:

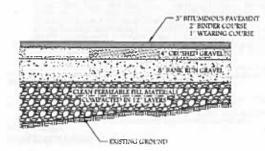
1. DUMPSTER PADS AND ASSOCIATED SCREENING SHALL BE PLACED WHERE THE REFUSE BINS CAN BE UNICADED WITH A SINGLE TURNING MOVEMENT WITH A 35' FRONT LOADING TRUCK. THE WIDTH OF THE GATE SHOULD BE TAKEN INTO ACCOUNT WHEN REVIEWING TURNING MOVEMENTS.

2. GATES SHALL BE PROVIDED UNLESS THE DUMPSTER IS BLOCKED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND ABUTTING PROPERTIES BY BILLIDINGS OR WALLS.

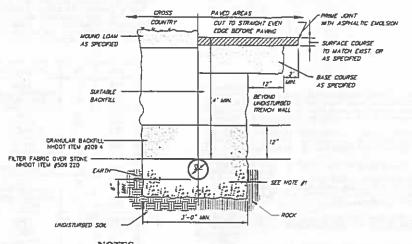
- BUILDINGS OR WALLS

 3. TRASH CONTAINERS SHALL BE LOCATED A MINIMUM DISTANCE OF 25'
 FROM ANY DRAINAGE STRUCTURE, INLET OR STORMWATER FACILITY.

PAVEMENT DETAIL

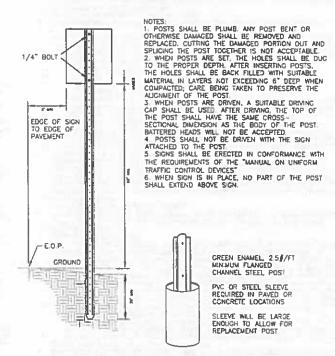


TYPICAL STORM DRAINAGE TRENCH DETAIL

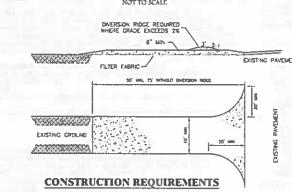


- 1. FOR ADS N=12 PIPE BEDDING SHALL BE 5/4" STONE TO THE CROWN OF THE PIPE
- 2. AT A 100 POOT INTERVAL BEDDING TO BE REPLACED WITH GRANULAR BACKFILL FOR A DISTANCE OF 5 FEET
 3. ALL AGGREGATE SHALL BE COMPACTED TO 93% MODIFIED PROCTOR.

SIGN POST DETAIL



STABILIZED CONSTRUCTION ENTRANCE



- 1 STONE SIZE 3" COARSE AGGREGATE.

 1 STONE SIZE 3" COARSE AGGREGATE.

 2 THICKNESS 6" MIN

 5 FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRICE TO PLACING OF STONE.

 8 LEWITH NOT LESS THAN 50" EXCEPT ON A SHICLE RESIDENCE LOT WHERE A 30" MIN LENGTH WOULD APPLY.

 7 WICTH 10" MIN, BUT NOT LESS THAN THE FULL WOTH AT POINTS WHERE BUCKNESS OR ECRESS OCCURS.

 8. SURFACE WATER ALL SURFACE WATER FLOWING OR DIFFERD TOWARD COMMITTED THE ENTRANCE.

 9. MANTENANCE: THE ENGANGLE DE PERD MORGESS THE ENTRANCE.

 9. MANTENANCE: THE SCHOOL BUT DESCRIPTION OF PUBLIC RICHTS—OF-WAY MUST BE REJOYED MANTENANCE OR TRACKED ONTO PUBLIC RICHTS—OF-WAY MUST BE REJOYED MANTENANCE OR TRACKED ONTO PUBLIC RICHTS—OF-WAY MUST BE REJOYED MANTENANCE OR TRACKED ONTO PUBLIC RICHTS—OF-WAY MUST BE REJOYED MANTENANCE OR TRACKED ONTO PUBLIC RICHTS—OF-WAY MUST BE REJOYED MANTENANCE OR TRACKED ONTO PUBLIC RICHTS—OF-WAY MUST BE REJOYED MANTENANCE OR TRACKED ONTO PUBLIC RICHTS—OF-WAY MUST BE REJOYED SEDIMENT TRAPPING DEVOCC.

 10. WHEN WASHING IS REQUIRED. TO AND APPROVED SEDIMENT TRAPPING DEVOCC.

 11. PERDODO INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVOCD AFTER EACH RAIN.

17-1 1/2" CRUSHED 0.25 GEOTEXTILE FABRIC SLOPE BOTTOM AWAY FROM BUILDING

DRIP EDGE TRENCH DETAIL

DATE NO. Lisa A. Thorne 519 Maple Street Commonwal, N.R. 03229 Stock 3440 | Page 1871 Thorne Property horne Property ax Map 227 / Lot 40-1 519 Maple Street Contoocook, N.II. SCALE: 1" = 20 ft.

A.C.Engineering
& Consulting
Civil Engineering & Land Planning
(3 Per 158 Red
A Schington, N.E. 03280 sempirer@grind.net

DWC **C-6**

BATE:

8-20-18

	VOSA HIII	TSLIKET COMP COMPLET IN SCHWIEZE COMP	10		TH LT/ASO
ZHON THS ZHON ZHON THS	EXCELLENT EXCELLENT	EXCELENT EXCELENT	FAIR	d a	LOS COOD LEAD WHITHCHITOS LEVY VELVS A
AIAT ROOM AIAT TWALKIDKI	COOD FAIR EXCELLINE GOOD	GOOD EXCELLING GOOD	COOD COOD COOD	H C D	ITCHEVILORYE SILES CON INITIASILA (-SE COND VREYS LYREING TOLE LYREING TOLE TOLITA (-SED)
SIAT SIAT	EXCELLENT EXCELLENT	GOOD EXCELENT EXCELENT	0000 0000 0000	3 8 V	MYLEMYAS' CHIEK CHYRRES CHIEK CHYRRES CHIEK CHYRRES WALLEN WALLEN WALLEN
TAIR GOOD EXCELLENT FOOR	COOD EXCELLENT COOD EXCELLENT	GOOD GOOD FAIR TXLEEXT	MOOR MOOR MOOR MAIN MINI MINI	A D D D	VIEVS IDBLOSVI PORTOMAS W UITS VIETS
POORLY	WOUNTERNAL TEAM	METT DKYINED	ржонсит	SEED AUXTURE SEE TABLE	26.1
	NINAGE	NU TIOS			

A NATE OF 120 POLYMEN TRANSMENT SHOWED BE SEEDED AT SHOWED TO A HUGHEN OF MEMORITY OF HEADERN AT A COURSE WOMEN TO BE MOWIN TO BE SEEDED AT

REDUCEDOR LEADIN IT LITE WE CORES OF THE WORLD BY HEIGH OR STANDARD AND COLORED TO RESIDENCE TO CONSTRUCT THE STANDARD TO STAN MEHTYRIS YAD OUT COVIDER OTHER DESIGNAT MEHTYRIS ILLO WOLE DILLO W :S3LON

3 60	120	(E)3(L)S(1) TIVL	9
007	100	TVLOL	100
112	20	REVITATION WILEGRASS	- 1
SUL	20	CERTIFIC RED FESCURE.	
071	012	TATOT	DOM:
610	90	AZTIAN	3
0.43	30	TALLIESCUE	
07.0	90	TOTAL	8
0.83	G1	REED CANARYGRASS(I)	1
cto	9	JOLOTE	(£)(J
SZ'0	01	HOURISTOOP TRUE	
01 1	99	TVLOL	S12 272
020	8	BIRDSHOOT TREFOIL	
64.0	30	CREETING KED TESCUE	(6)3
SPO	20	TALL PESCUE	LEVEL
0.95 CR 1.3	40 OK 22	TVLOL	
61.0	OF.	OR FLATTEA	
0.33	91	CEOWN PETCH	66346
62.0	01	DESCRIPTION OF THE PROPERTY OF	Maria I
550	12	LVIT LEZCELE	
56.0	45	TVIOL	
0.03	Z	JOHER	
SFD	OZ.	CALIFING RED RECUE	V
EF0	OZ	TALL TESCUE	
180001/881	THR/VC	SHOULES	BUTTAIN

(1) Low phosphate fertilizes is defined by the Comprehenter Shortchen Act as less than 2% phosphorus. The University of New Hampshire Cooperative Science of the Comprehenter and by a 1% phosphorus and as \$11.5 or Extension has been diversity and set as the comprehenter and by a 1% phosphorus and as \$11.5 or 10.2 (2) EAW release found in the Mission in the Comprehenter and a feet for the integer will not be immediately available. Typically, a 12 the 2.2 or 12 the Mission in the Cooperative Science of the mission in the Cooperative Science of the Mission in the Cooperative Science of the Mission of Cooperative Extension, mitragen for Lawra likel consist of Equators and clover are not necessary for grass lawras, however, according to the UNII Cooperative Extension, mitragen for Lawra likel consist of Equators and clover are not necessary.

- - - MANUSCH THE PARTY OF THE PARTY
- * TANGERIS (EC., ARTICIS) USE TRUBELED WEST AND ATTER ANY DECEMBER 15, TO ACCEPTANCE IN THE TOLD THE PLANTING STRANGE.

 * AT A MUMBER OF THE OIL STRANGES TRUBELED TO ACTIVE THE TRUBELED SO IN THE TRUBELED WITH THE TRUBELED TO ACTIVE THE TRUBELED SO ACTIVE SHOPE. THE STRANGES SHOPE TO BE EXCEPTED WITH THE TRUBELED TO ACTIVE THE TRUBELED SO ACTIVE SHOPE. THE STRANGES SHOPE TO BE EXCEPTED WITH THE TRUBELED TO ACTIVE THE TRUBELED TO ACTIVE THE TRUBELED SO ACTIVE SHOPE. THE STRANGES SHOPE TO BE EXCEPTED WITH THE TRUBELED TO TRUBELED THE STRANGES SHOPE. THE STRANGES SHOPE TO TRUBE THE TRUBELED TO TRUBE THE TRUBELED TO TRUBE THE TRUBE SHOPE THE STRANGES SHOPE. THE TRUBE TRUBE TRUBE TRUBE TRUBE TRUBE THE TRUBE TR
- - *LEMPORARY VEGETATION*

I KEET) CVAVEA, CEVZZ IZ ON LIJE INAVZIAE ZLECJEZ MVJCIJ ITZL DAE LO

3 60	120	(E)3(L)SSLI TEVL	9
007	100	TVLOL	
112	20	REVITATION WAS TECHNOLOGY	1
115	20	CREETENG RED FESCURED	
071	09	TATOT	DESTINATION OF THE PERSON OF T
0.73	90	VZIIVU	3
0.43	30	TALLIESCUE	
07.0	20	TATOT	
0.83	G1	RIED CANARYGRASS(I)	1
oro	9	JOIGH	(E)(3)
67.0	10	HOUSEOUT TRUTOIL	
01 1	29	TOTAL	C. C. C.
02.0	8	BIRDSPOOT TREFOIL	1000
64.0	30	CREETING RED FESCUE	(6) 3
SPO	20	TALESCUE	1000
0.95 OR 1.35	40 OK 22	TVLOL	
0.75	OF.	NATTEA	
0.33	SI	ILDUCA MACKED	(C) (I
623	01	DODGE CHE CHILDREN	100
รรบ	gi	LVIT HZCLE	
		200,000 1111	-
56.0	15	TVIOL	
0.03	7	TOTAL	
SF:0	07	CULTING RED RECUE	V
510	OZ	AUDERI LIAT	
180001/881	DV/SR3	STECTES	24'JTXIIA

SEED MIXLORES FOR

- WCHIGAD' INTERFECT OTHER TRAIDSARRY STAIRLISES TO STURING STAIRLISES OF COTEMINATE PROTECTION WAS STANDARD TO THE TRAIDSARRY STAIRLISE OF COURT STAIRLISES OF STAIRLISES O DOMETRICAL TO A MILITAL PROPERTY OF THE PROPER
- VORTAL SEED INVOIDENCE SEED INVOICED BY THE 4-1.

 ATTY SEED INVOICEMENT BY HAND, CYCLOME SEEDER, THEIL, CYTTIFACKE TYTE SEEDIE ON HYDROCHEDER (SALRANG SEED AND THEILINGER)

 VORTAL SEED INVOICEMENT BY HAND, CYCLOME SEEDER, THEIL, CYTTIFACKE THY EASTER ON HYDROCHEDER (SALRANG SEED AND THEILINGER)

 VORTAL SEED INVOICEMENT BY HAND, CYCLOME SEEDER, THEIL, CYTTIFACKE THY SEED IN TO SOE STRINGE SEED AND THEILINGER.

 VORTAL SEED IN STRING SEEDER.
- THOGRIPH DESTRUCTOR (N. 1203-120) OR DEPTATE ATTR. DATE HORSENE CONSUMERATION WHEN ASTROCK CANCELLON ACT.

 THE TROAD AS STATE REQUESTANT FOR ANY WATER BODY HOTICALD BY THE COMBINISMS MICHAEL NOTICE WHILL STATE BOTY WATER BODY. THESE THAT HOSE HOUSE THE ALTER AND ACT.

 THE TROAD AS THE REQUESTANT FOR ANY WATER BODY HOTICALD BY THE COMBINISMS MICHAELY STATED TO A ANY BE SONY. THESE THAT HOSE HOLD ANY OF STATED TO A ANY BE SECURIOUS. WHILL STATE BODY THE STATED ANY OF THE MICHAELY STATED TO A ANY BE SECURIOR. WHILL STATED ANY OF THE MICHAELY STATED ANY OF TH
- MATERIA DE MANO ES CRILICET PURITIES PARA SE VALHED VI. DIE SALE DIE 600 LOGARIS LES VOETE 08 19°S LOGARIS LES 10°000 SÓGARE LUEL OL FOM

 *** VILLY, TWITZLOGE VALD DECENIC COST VALIGHMENDE DE 10°C IN EXPLICACE IN COST LES 10°C IN EXPLITED DE 10°C
- MHER LIFE SOIF HVS BEEN COVENCLED BY CONSTRUCTION OFFENDORS, LOSSIN SOIF TO A PRETILI OF 2 INCHES BEDORG APPLIAN, TREFIDEDE, LIMITAND STORES AND TRANSPORT. SO AS NAT TO INTERESE WITH THE SEEDING AREA.
- - STORED CYLCH SIED WAS RESIGNED OF STORE
- ON STOLES 41 OF SEEDLE? HET INFO MEASURE HOURS DECENTAGE HORISOMLY CROOKE MUNICIPE DUE DIED DE DEED OF HE DESCRIPTOR HE SEEDLE HET DE DE LE PARES DE COMMENT HE SEED OF HE HE DESCRIPTOR DE SEEDLE DE LE PARES DE COMMENT HE SEEDLE DE LE PARES DE COMMENT HORISOME WISTERS DE COMMENT HORISOME PRECEDED DE DESCRIPTOR DESCRIPT
 - SPECIFICATIONS

WYINLENVICE BEGUIBENERLS

- BICH VE WIJCHING BIOLID BE BRITYBURLED. VEROCIVED MUIT ELETIC HIVM VAD BURNC BURNE ELINE ELINET IL BUT RIVERTYBURN IS NOU WHIELID BU IVIE EVIT OUHER ELYBRITYHON RUVBUETS IVIE EVIT ETERICE WAS EVIT BERUTHE IN ENVEROUVEE OF OURWINGER BEORDE EKOLETHON VERHEIT VEROUETHOUWE BURNET BURNE LEVROPINES SHOULD IN CRED EXEMPRIALEY HE SERVILLE VIEW UND THE WAYERSHELD SHELD STOLES SHEEVERING
- MULHICAR PAID LESENDED LESEVED AND PRIVATE SEARCH OF PRIVATE THAT THAT THE PROPERTY OF THE PROPERTY OF THE CONTROLL WHIT COURS AND CECKSON CONTROL
 MULHICAR SEXUADIONS WHIT COURSE RESERVED AN INVESTIGATION OF THE SEXUADIONS WHITE SEXUADION CONTROL SEXUADIONS WHITE SEXUA
- - CONSIDERATIONS

WASHING AND A MINIMUM OF TWO TEST WIDE.

ACAST DATE MANUFACTOR AND ARTS.

ACAST AS MANUFACTOR THE BARBLER ARET BE A MINIMARY OF 12" HIGH, AS AREASTED ON THE UTHILL SIDE OF THE SILVAS

MOGITI DEVISTE DIREZ DO MYCH LEDDE DIE BYRSTER LINBOLICH LINGUESCHE BYNDE OB HYNL

LIE RYKRIEN WILZ BE LIYCED YUNGC Y BIYMLAN I THE CONDOLLE TU WAN BE DIECEZE BIYML

LIE RYKRIEN WILZ BE LIYCED YUNGC Y BIYMLAN I THE CONDOLLE 'LL WAN BE DIECEZEVEN LO

SOTHERE BYRTH SOLD BE BELALETH SO YAD BYO

LIE BYRTH SOLD BE BELALETH SO YAD BYO

LIE ORGYNIC LONDON MITDE, DIE BIRBOLS YAD BY BYDNEY

LIE ORGYNIC LONDON MITDE, DIE BIRBOLS YAD BY BYDNEY

LIE ORGYNIC LONDON MITDE, DIE BIRBOLS YAD BY BYDNEY

LIE ORGYNIC LONDON MITDE, DIE BURBOLS YAD BY BYDNEY BYDNEY

LIE ORGYNIC LONDON MITDE, DIE BURBOLS WAN BYDNEY BYD

LEGITE SEXTECATIONS PROFILE TEMPORARIES REGION BEAVERED.

STILL SOUTH CONTROL ALTON

SPECIFICATIONS

CONSIDERATIONS

MAINTENANCE REQUIREMENTS

VIEW SEEDED VAD METCHED.

I MCH. (A ELIM. 108: LO TOSE BYGROG V O.32: MCH. RCHERA' VARIA V WYGWIAN 16. SOR. LO

VELLOTE SIZE BE ALIGHEL SHOUTH BE 1000 LYSZINC V S., KCHERÁ SOZ LO 1008 LYSZINC V

"HIE OKCYRIC WYLLE COMILIAL SHOUTH BE 1000 LYSZINC V S., KCHERÁ SOZ LO 1008 LYSZINC V

COVIDZINO RICHIE TO SOLIVENTAL SHOUTH BE BELLATEN 28 PALD EGNALIT LHE WYSZ

"WYL COMILYIN DOCISE TERZ LHYN 64, IN LWWILLER ERSHOM COMISOT PHY WIRZ HE HEFT ON

"BOOGLYON OL LHE BYGROUN COSZINOT WAS SHOUTH BE RESTORED WITH THE LEE HERE ON

"COVIDABILOW OL LHE BYCROLING CONZINOT WAS SHOUTH WAS LEE HERE ON

"BOOGLZ ARITH OLS BYCROLING TO CONZINOT WAS CONTROLLED LHE WITH

LRCHOLZ ARITH OLS BYCROLING TO CONZINOT WAS CONTROLLED LHE WITH

LRCHOLZ ARITH OL SHOUTH CHARLE VALHE GENERAL CON YOUTH WAS THE WAS LITTURED BY WHICH CHARLE WAS LITTURED AND WAS THE CHARLE WAS LITTURED WHO WAS THE WAS LITTURED WHO WAS THE WAS LITTURED WHO WAS THE WAS LITTURED WAS ONE OF THE WAS LITTURED WAS DAYN WAS LOOKED LAND WAS THE WAS LOOKED AND WAS THE W

HOOD CHIES OR GROUND BARK SHOULD BE APPLED AT A BATE OF 10 TO 20 TONS 1TR ACKE OR

WOOD CHIES OR GROUND BARK SHOULD BE APPLED AT A BATE OF 10 TO 20 TONS 1TR ACKE OR

SOOD CHIES OF GROUND BARK SHOULD BE APPLED AT A BATE OF 10 TO 20 TONS 1TR ACKE OR

SOOD CHIES OF GROUND BARK SHOULD BE APPLED AT A BATE OF 10 TO 20 TONS 1TR ACKE OR

SOOD CHIES OF GROUND BARK SHOULD BE APPLED AT A BATE OF 10 TO 20 TONS 1TR ACKE OR

SOOD CHIES OF GROUND BARK SHOULD BE APPLED AT A BATE OF 10 TO 20 TONS 1TR ACKE OR

SOOD CHIES OF GROUND BARK SHOULD BE APPLED AT A BATE OF 10 TO 20 TONS 1TR ACKE OR

SOOD CHIES OF GROUND BARK SHOULD BE APPLED AT A BATE OF 10 TO 20 TONS 1TR ACKE OR

SOOD CHIES OF GROUND BARK SHOULD BE APPLED AT A BATE OF 10 TO 20 TONS 1TR ACKE OR

SOOD CHIES OF GROUND BARK SHOULD BE APPLED AT A BATE OF 10 TO 20 TONS 1TR ACKE OR

SOOD CHIES OF GROUND BARK SHOULD BE APPLED AT A BATE OF 10 TO 20 TONS 1TR ACKE OR

SOOD CHIES OF TONS 1TR ACKE OR

SOOD CHIES OR

SOOD CHIES OF TONS 1TR ACKE OR

VELV AUTHOR OF DESIGNAL HER WHITCH MAIT MEND LO BE REVIOLED IN THE STRUCTURE VAND THE CHAPTER OF STRUCTURE AND STR

VILITATION WHITE AND BY MANALYPEL SEE LALICATE 40-00 TRAWER DO SO FOR WHELD A COURT WITH MANALYPEL FOR CONTROL WAS ALLEVAN WHITE TO ANALYPE TO SO CONTROL WAS ALLEVAN WHITE TO ANALYPE TO BE ANALYPE TO WAS ALLEVAN WHITE TO ANALYPE TO SEE SECONVIEW WHITE THE SECONVIEW WHITE THE SECONVIEW WAS ALLEVED WHITE THE SECONVIEW WHITE THE SECONVIEW WAS ALLEVED WAS

WY WARK AND VACIOUS ILD LIE SOIT SHEWET. INSIVIT NELLING WALBERT VECOSSING LO

*** MELLING SHEWE WHICH SIGHT BE SOIT SHEWET. INSIVIT NELLING WALBERT WHO OLDS IND LIE WALDS SHEWED AND LIE WALD SHEWED AND LIE WALD SHEWED AND LIE WALD SHEWED AND LIE WALD SHEWED AND LIE SHOWN WHICH SHOWN BE SHOWN BY A SHOWN BY SHOWN BY

 OBTOVIC VILITIES INCITABING IVA VAD SLEVAN RICOLTD BE VIR DIRED LETE OF CADESIEVERE.
 HVI, OR SLEVIE, VILITIES INCITABING. DISTURBANCE, ROCHARDOS, AND THE GATE FOR LOCKED AND THE CONDITIONS, SOILS, SLOPE, DISTURBANCE, SOILS, SLOPE, DISTURBANCE, FOR AUTHURES SHOT US BE RASED ON SITE CONDITIONS, SOILS, SLOPE, DISTURBANCE, FOR AUTHURES SHOT WAS

MUTCHING SHORTD BE CONSTITED MILITIA LHE FOITOMING SEICHIED LIVE SERIODS LIKOW

IL THE MULTIN MEDIS TO BE REMONED, STREAD IT OUT THIS CADMENT, EXORED OF MULTICATOR, IT MULTIN BE DESCRIBED. MULTICATOR WHICH HE WING THE STREAD IT OUT THIS LANDSCANE.

VILLY MEACH TRUE TO A STORM EVENT THIS IS ARTHOCHEL IN EXTERMINE OF SIGNIFICANT
AS WITHIN 100 FILE OF LAKES, FOUTES, STREAMS, AND WETLANDS, IT WILL BE INCESSARY TO
ATTEMPT AS A MOUTOR WEATHER FREINCHOOSE TO HAVE ADEQUATE IN EXTERMINE OF SIGNIFICANT
ATTEMPT. SIGNIFICANT
ATTEMPT.

ATTEMPT OF A STORM FOUTE TO THE STREAM OF SIGNIFICANT.

ATTEMPT OF A STORM FOUTE TO THE STREAM OF SIGNIFICANT.

ATTEMPT OF A STORM FOUTE TO THE STREAM OF SIGNIFICANT.

ATTEMPT OF A STORM FOUTE TO THE STREAM OF SIGNIFICANT.

ATTEMPT OF A STORM FOUTE TO THE STREAM OF SIGNIFICANT.

ATTEMPT OF A STORM FOUTE TO THE STREAM OF SIGNIFICANT.

ATTEMPT OF A STORM FOUTE TO THE STREAM OF SIGNIFICANT.

ATTEMPT OF A STORM FOUTE TO THE STREAM OF SIGNIFICANT.

ATTEMPT OF A STORM FOUTE TO THE STREAM OF SIGNIFICANT.

ATTEMPT OF A STORM FOUTE TO THE STREAM OF SIGNIFICANT.

ATTEMPT OF A STORM FOUTE TO THE STREAM OF SIGNIFICANT.

ATTEMPT OF A STORM FOUTE TO THE STREAM OF SIGNIFICANT.

ATTEMPT OF SIGNIFICANT OF SIGNIFICANT OF SIGNIFICANT.

ATTEMPT OF SIGNIFICANT OF SIGNIFIC

JHICKPLEY WHEN LIE WILCH IS DICOMPOSED COCCED WILL SCHWING! TRODIED OF

VAN EXCLARGE TRAVES OF SIGHT OF WAY OF THE STATE OF THE STORY OF THE STATE O

EPRYVNEKEL VILITER CYN HE DEED IN CAAR KCELICH MEEL ERWES AME VAD GROEMD. LYTT (EVAL SELLEVBER 12) VAD OAES MINIER (SELLEVBER 12 - VIVA 12)

WITHIN TOO TIET OF STREAMS, WETAANDS AND IS LAKE WATHERSHEDS, TRACEARMY MUTCH ON THE OF STREAMS SHOULD BE MUTCH SHAPE THAN THAT EXPENDENCE OF SHOULD ON'T SECRETARY SHOULD BE MUTCHED TO BE MUTCHED TO

LEMPORARY & PERMANENT MULCHING

MULCII ANCILORING SHOULD BE USED ON SLOITS WITH GRADIENTS GELATER THAN 5% IN LATE

(2) Slow referse Certificate must be all least 50% slow release nitrogen components, which means that foll of the nitrogen will have been certificate for all the release integrate to become scalible.

Slow referse for the respective for the recently reduce the respective for the respective for plants and referse are necessary for great lawns, lowerer, accepting to the UNH Cooperative Extension, mitrogen lettilisers for lawns that countries and clover to recently for guarant covers.

arrealquestig #Z meth and as to A nedrostory benchmeth switch and yet benthal, at vailand stategestig wed. ()
smoothpeeld styme and also at M hall steel then highered baned said interaped or independ to M to the switch
general arrangement benchmen temperal from the structure of #1 - #0 three maintain temperal from part and produced from the structure of the str

- STEDING KYLES WEST BETWOREASTD FOR WHEN HYDROSTEDING.
- MOOD LIBIT MUTATE. 30 OND BY COUNTY OF SOME AND HOUR OF WHAT WASHINGTON WASHINGTON OF SOME WASHINGTON OF SOME WASHINGTON OF SOME CRITICAL ARTAS IS NOT RECOMMENDED UTILISES BY INCREMENDED THE SEED, THE USE OF THE BETTING THE RECORD IN SHOWN ON HAVE BETTING WHICH OW SHOWS AND STREET A
- EVERNE LO FCOGEA VAD EVOCAH LIJE FOIF VAD LO REMOAE EARIVEE ZLOME FVECEF LIFVA 'E INCLIEF IN MAISA HADBOSETHING (HADBVILTIC VILLTICVILON)' LIGENEE LIJE SEEDBED VE SLICHIED VBOA'E OR BA HVAD
- OCIDERE EZEFE MOLICIPON PRO COMETIL MEMPRICA SED SEVERINNUON (MENCLIFIC REVENENC OCIDERE EZEFE E LIBE COMBILION E NOI VOREND TRAINFEST. LEVEDSEVA SEVERINNUON VEVEZEZE SOE
- OCLORES IBLIT BLIDE ALDIE COMBILION IS COLUMNIANT INFOLLERAL LEVIDOR WITH STATES OF ARTESTAL DAY COMBILION WITH A STATES OF A
- JAVL HOLT HER WILTER WAY. BE TELL ON SOIL STRENGT SEEDING ORBANIONS ROOTED BE ON THE CONTINUES HOUTED BE UNITED WAY. BE LETTLY ON SOIL STRENGT SHELLING SHEAL HE TROOF HAD RESERVING HAVE SEEDING SHELLING SHELING SHELLING SHELLING
- EDÜRÜNÜNÜLÜ 12 UN YALA MYLER SODA MOLDELID BA LIHE COMMENDERINE SHORETYAD MOLDELIDIN VELF WARRELDERI EROLITE 12 YALATED AMILIER 25 ULER 12 ALARE RARVEE MYLER ETRABALIONA VER VALATED LO VERVE ERLANDER 25 LITEL VIN 25 DEL 12 EN OWN VELFALER, MYLER GOLDA AN DELEMENTER EKCELL. URUITISER SHOLTY) BE VEZUNCUED LO VETON. DHOENHYLE STOM RETEVERES MULROFEN LEMENTSIE MAREN MUCH PARCENTALLY OXIDID AT A MATE OF 3 TONS PIR ACEL (156 LB. PTR. 1,000 SQUART PERT).
- IZELITETRUI DA ELOG ECO ECO DE EXCLEVITAL VILLA TWESLONE EXCLAVITALLO SO LEXCISLI, VI VI. BIE EVIL DE 600 LOCADS ELE VOET DE 13°E LOCADS ELE 1700 SÓLAVE UEL DE DOM BICRELIVIE NOL EFFRET DA STATUT DE AVEYER SUES DE MAIRE LIVENCE EL CELLECHE ENTES WAY, EN LITETE DE COLOR DE VILLETO ATTACHMENTAL AND PRETIDES ALCCCRING TO SOIL TEST RECOMMENDATIONS, IT SOIL TESTING IS
- WHICE SEERING HEST HIGHESTEINING, IT TRAITIC HAS LETT THE SONE COMPACTED. THE AREA AREA TO SOUTH OF THE SONE COMPACTED BY SOUTH OF STANDING STANDIN
- DEBBE, SUCH AS WHEE, CASH, TREE ROOFS, CONCRETE, CLODS, LUMINS, TRASH OR OTHER UNSUTABLE.
- THE REAL PROPERTY IS VALUE OF THE SOIL AS MEASURE TO SHEND OF A EXCHENGENCE OF THE SOURCE IN AN INSTALLABOUR TO SHEND AS THE CASH OF SHILL SOURCE SURVINES OF THE SOURCE OF THE THAT THE SHENDER THE THE SHENDER SOURCE SOURCE SHOULD BE SOURCE IN ANY INSTALLABOUR SHENDER THE TRAINING SHOULD BE SOURCE TO SHENDER THE SHENDER THE SHENDER THE SHENDER THE SHENDER SHEND
 - HONLING CLEVELLO LINE DIRECTION OF THE SLOTE TO CATCH SELD AND MEDICE REPORT
 - OR STORES IT OR ELEGANT HIS LIMIT EXEMPTION RIGHTED INCIDENCE CREVING HORIZOMLYT TROOMS VILLED WITH THE HORIZOMLY TROOMS INCIDENCE THE HIS LIMIT EXEMPTION RIGHT.

 VILLEGAND RIGHT OR ELEGANT HIS CREVEN OF THE HIS LIMITAL HORIZOMLY REPORTED FOR A HIS LIMITAL WAS A RETURN OF THE HIS LIMITAL HIS VILLEGAN OF THE HIS V
 - VALUE SEDIVICES CONV
- INSTALL VEEDED EROSION AND SEPTIMENT CONTROL MEASURES SUCH AS SILTATION RABBIES, DIVERSIONS, SPECIFICATIONS
- EXCURSION DARKS THE LEBOD OF VEGETATION ESTABLISHED.
- COURTMON DESIGNS THE LESSON OF RETAINING WITCH I SEED TO RECVIDE EXCISION WAS RECORDED TO THE PROBLEM OF THE PR
- DEMANDENT SEEDLE MEDIA MACAS SHOPLE BE INSTRUCTED AT LIAST MONTHER PREDUCTIVE CONTINUE LIMIN THE CONSTRUCTION, INSTRUCTIONS, AMMONTMANACE, AND CONSECUTIVE ACTIONS SHOPLE CONTINUE LIMIN THE CONSTRUCTION, INSTRUCTION OF LIABILITY OF THE SITE.

MAINTENANCE REQUIREMENTS

- STEERER WATER AND GROUNDWATER OF ALITY
- ALBERTAL MAD AND GENORAL DESCRIPTION OF DESCRIPTION AND ANGELVILON WHAT IS THE WANAVORD TO INCOME.

 ZUMN DO A INTELLATION A HAY INVALIDED THAT OR NO TROSION CONDEROF.

 CARRILLATA FOR AN OCION VEROCONNICE RECOVERDAL VEROR AND THAT RESALT. IN VALINFORMER

 LECHER SEEDED EXILARATION AND ALLE AS OLI GENTELL SEED VER INVOLCEVAL IN ALLE MACLICE LYBERS LO CONSIDERATIONS

PERMANENT VEGETATION

R1-02-9

3170

EROSION CONTROL 1

Thorne Property

Tax Map 227 / Lot 40-1

519 Maple Street
Contoxcook, N.H.



A.C.I &c Civil Engin (3 ber Hil Red Eni Waterjee, N.H. (

Consulting
Consulting
Manufering & Land Planning
There (683) 3253114
NII 63240 Acceptated at the control of the

SOIL STOCKPILING

CONSIDERATIONS

- SOIL STOCKPILES SHOULD BE SITED ON THE SITE IN COMPLIANCE WITH ALL FERMIT CONDITIONS GOVERNING SETBACKS FROM ADJACENT PROPERTY LINES AND WATER RESOURCES GROULFUNG WITLANDS). SOIL AND EROSION CONTROL PRACTICES AT STOCKPILES SHOULD BE REGULARLY
- INSPECTED AND SHOULD BE ADJUSTED IMMEDIATELY TO RISPOND TO ONGOING CONSTRUCTION OPERATIONS, AS THE DELIVERY OF NEW MATERIALS OR THE REMOVAL OF MATERIALS FOR INCORPORATION DITIO THE WORK MAY REQUIRE MODIFICATION AND UTDATING OF THE PROTECTIVE MEASURES TO KEEP THEM

MAINTENANCE REQUIREMENTS

- INSPECT ALL SOIL STOCKFILES IMMEDIATELY AFTER STORM EVENTS AND AT THE FREQUENCIES SPECIFIED IN THE PROJECT EROSION AND SEDIMENT CONTROL FLAN AND IN AFTLICABLE PERMITS, AT A MINIMUM, INSPECT WEEKLY DURING WET WEATHER PERIODS TO VERIFY THAT EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE AND FUNCTIONING PROPERLY.
- REPAIR AND/OR REPLACE PERIALETER CONTROLS AND STOCKPILE COVERINGS AS NEEDED TO KEEP THEM PUNCTIONING PROPERLY.

SPECIFICATIONS

- LOCATE STOCKFILES A MINIMUM OF 50 ITET AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE COURSES, AND INLETS.

 FROTECT ALL STUCKFILES FROM STORMWATER RUN-ON USING TEMPORARY
- FERIMETER MEASURIS SUCIT AS DIVERSIONS, BERMS, SANDRAGS, OR OTHER APPROVED PRACTICE
- STOCKPILES SHOULD BE SURROUNDED BY SEDIMENT BARRIERS AS DESCRIBED IN STOCK STALES SHOULD BE SURKED WHEN BY SEDMILENT BARRIERS AS TISE RIBED IN THE MANUAL, TO PREVENT AUGRATION OF MATERIAL BEYOND THE IMMEDIATE CONTINUES OF THE STOCKPILLS.

 LIMITEMENT WIND EROSION CONTROL PRACTICES AS ATTROPRIATE ON ALL
- STOCKPILED MATERIAL.
- FLACE BAGGED MATERIALS ON PALLETS AND UNDER COVER.
- TROTECTION OF INACTIVE STOCKFILES
 INACTIVE SOIL STOCKFILES SHOULD BE COVERED WITH ANCHORED TARES OF FROTELTIED WITH SOIL STABILIZATION MEASURES (TEMPORARY SEED AND MUTCH) OR OTHER TEMPORARY STABILIZATION PRACTICE) AND TEMPORARY PERIMETER SEDIMENT BARRIERS AT ALL TIMES.
- SILIDATIVE STOCKFILES OF CONCRETE RUBBLE, ASPHALT CONCRETE RUBBLE
 AGGREGATE MATERIALS, AND OTHER SIMILAR MATERIALS SHOULD BE PROTICTED
 WITH TEMPORARY SEPIMENT PERMETER BARRIERS AT ALL TIMES. IF THE MATERIALS ARE A SOURCE OF DUST, THEY SHOULD ALSO BE CONTRED

PROTECTION OF ACTIVE STOCKFILEN

- ALL STOCKPILES SHOULD BE SIREOUNDED WITH TEMPORARY LINEAR SEDIMENT BARRIERS FRIOR TO THE ONSET OF PRECIPITATION. PERLINETER BARRIERS SHOULD BE ALLINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKFILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF FACIL WORKING DAY
- WHEN A STORM EVENT IS PREDICTED, STOCKPILES SHOULD BE PROTECTED WITH

DIVERSION CHANNEL

MAINTENANCE REQUIREMENTS

BERM (DIRE), FLOW CHANNEL OUTLET OR SEDIMENT TRAFFING FACILITY, AS NECESSARY

DIVERSIONS SHOULD BE DESIGNED TO MEET THE CRITERIA IN THE POLICYWAYS TABLE:

THE DIKE SHOULD BE LOCATED TO AUDIANIZE DAMAGES BY CONSTRUCTION OPERATIONS AND TRAFFIC

CONSIDERATIONS

SPECIFICATIONS

CONSTRUCTION SPECIFICATIONS

OR AS PART OF THE CONSTRUCTION.

COMPACTED TO PREVENT FAILURE.

DESIGN SPECIFICATIONS:

SURFACE ROUGHENING

CONSIDERATIONS

- CRADED AREAS WITH SMOOTH, HARD SURFACES MAY BE INTIMALY ATTRACTIVE, BUT SUCH SURFACES INCREASE THE POTENTIAL FOR EROSION. A ROUGH, LOOSE SOIL SURFACE GIVES A MULCHING EFFECT THAT FROVIDES MORE FAVORABLE MOISTURE CONDITIONS THAN HARD, SMOOTH SURFACES, THIS AIDS SEED
- METHORS FOR ACHIEVENG A ROUGHENED SOIL SURFACE ON A SLOPE INCLUDE TRACKING, FURROWING, AND SERRATING (OR GROOVING) SELECTION OF THE METHOD IS BASED ON SLOPE STEEPNESS, MOWING REQUIREMENTS, AND WHETHER THE SLOPE IS FORMED BY CUTTING OR FILLING

MAINTENANCE REQUIREMENTS

- ANY SIGN OF RILL OR GULLY EROSION SHOULD BE IMMEDIATELY INVESTIGATED
- PERIODICALLY INSPECT SEEDED SLOPES FOR BILLS OR OTHER SIGNS OF PROSION FILL THESE AREAS SUGITLY ABOVE THE ORIGINAL GRADE, RESELD, AND MITCH AS SOON AS POSSIBLE, BUT NO MORE THAN 3 DAYS FOLLOWING INSPECTION.

SPECIFICATIONS

CUT SLOPE ROUGHENING:

- GROOVE THE SLOTE USING MACHINERY TO CREATE A SERIES OF RIDGES AND DEFENSIONS THAT RUN ACROSS THE SLOPE, ON THE CONTOUR.

 FILL SLOPE ROLGHENING:

 IN CLEARAL, FILL SLOTES WITH A GRADIENT STEEPER THAN 3:1 SHOULD BE
- CONSTRUCTED IN LIFES NOT TO EXCEED 12 INCHES, COMPACTING EACH HET THE CONTRACTOR SHOULD REFER TO THE PROJECT GEOTECHNICAL REPORT FOR
- SPECIFIC GRIDANCE.
 THE FACE OF THE SLOPE SHOULD CONSIST OF LOOSE, UNCOMPACTED THAT 4-6
- USE GROOVING OR TRACKING TO ROUGHEN THE FACE OF THE SLOPES, IF NDCESSARY
- AFTLY SEED, FERTILIZER AND STRAW MULCH, AND THEN TRACK OR PUNCIF IN THE ANULCII WITH THE BULLDOZER.

 DO NOT BLADE OR SCRAPE THE FINAL SLOPE FACE.
- CUTS, FILLS, AND GRADED AREAS:

TEMPORARY DIVERSIONS MUST BE STABILIZED IMMEDIATELY FOLLOWING INSTALLATION TO PREVENT EROSION OF THE DIVERSION ITSELF.
 THE GRADIENT ALONG THE HADW PATH MUST HAVE A POSITIVE GRADE TO ASSURE DRAINAGE, RET SHOULD NOT BE SO STEPP AS TO RESULT IN EROSION DUE TO HIGH PEDACTIVE CHANNEL FOR HANDEL FOR HEROSION OCCURS DURING CONSTRUCTION, CORRECTIVE ACTION SHOULD BE TAKEN TO STABILIZE THE CHANNEL AND BERM, FLATTEN THE GRADIENT OF THE CHANNEL, OR OTHERWISE ILLIMINAL THE CAUSE OF EROSION.

GRADING. THE USEFUL LIFE OF THE PRACTICE CAN BE EXTENDED BY STABILIZENG THE DISC WITH DECISION OF THE CHEWARD EQUIPMENT RATIO.

TEARDRAKY DIVERSION DIRES ARE OFTEN USED AS A FERMITIE CONTROL IN ASSOCIATION WITH A SEPLIMENT TRAP OR A SEPLIMENT BASIN, OR A SERIES OF SEDIMENT-TRAPPING ACCURING ACCURING AN INDICATE TO LARGE CONSTRUCTION SITES. IF INSTALLED PROFERLY AND IN THE HEST PHASE OF GRADING.

MAINTENANCE COSTS ARE VERY LOW.

DIVERSIONS ARE TYPICALLY INSTALLED USING MATERIAL AVAILABLE ON THE SITE AND CAN USUALLY BE CONSTRUCTED WITH FOURDAMENT STEPLED FOR

MAINTENANCE COSTS ARE VEXT LOW.

DIVERSIONS THAT ARE LOCATED UTSLOPE OF A CONSTRUCTION AREA SHOULD NOT THEMSELVES BE LOCATED BELOW HIGH SEPAMENT-PRODUCING AREAS UNLESS LAND TREATMENT FRACTICES OR STRUCTURAL MEASURES, DESIGNED TO PREVENT DAMAGING ACCUMINATIONS OF SEDIMENT IN THE CHANNELS, ARE INSTALLED WITH OR BEFORE THE DIVERSIONS. THE EXCEPTION IS WHERE THE DIVERSION IS USED TO DIVERT SEPAMENT-LADEN WATER TO A SEDIMENTATION

WHERE DIVERSIONS CARRY CONCENTRATED FLOWS, THEIR OUTLETS MAY REQUIRE TREATMENT OR STRUCTURES TO DISSIPATE ENERGY AND RE DISTERSE THE FLOW OR RE-CREATE SHEET FLOW INTO LYDISTURBED LITEARY AREAS, WHERE THE RUNOIT CAN BE ABSORBED, UNTREATED, SEDIMENT LADEN RUNOIT SHOULD NOT BE DISCHARGED TO SUCH UNDISTURBED AREAS.

THE MEASURE SHOULD BE INSPECTED WEEKLY AND AFTER EVERY STORM OF 1/4 INCH OR MORE IN A 24-HOUR FERSOD, REPAIRS SHOULD BE MADE TO THE

BEIM IDIES, TLOW CHANNEL, OUTLET OR SEPMENT TRUTING FACILITY, AS NELESSARY
DIVERSION DIESE USED TO TRAP SEDIMENT SHOULD BE ENDECTED AND CLEANED OUT AFTER EVERY SIGNIFICANT STORM.

DAMAGES CAUSED BY CONSTRUCTION TRAFFIC OR OTHER ACTIVITY MUST BE REPAIRED BEFORE THE EXICO OF EACH WORKING DAY.

If INSTRUTION INDICATES VEGETATION HAS NOT BEEN ISTABLISHED OR HAS BEEN DAMAGED, THE AFFECTED AREAS MUST BE RESERVED IMMEDIATELY.

ONCE DIVERSIONS HAVE BEEN STABLISHED, THEY SHOULD BE MOVED PERSONOLARY TO AUMINEM A HEALTH VEGETATIVE COVER, BUT THE GRASS SHOULD NOT BE CUT SHORTER THAN 4 INCHES. DIVERSION RUDGES CAN BE HAZARDOUS TO MOW, AND EQUIPMENT OFTRATORS SHOULD BE MADE AWARE OF THIS

TEMPORARY DIVERSION DIRES SHOULD BE INSTALLED AS AN INITIAL STEP IN THE LAND-DISTURBING ACTIVITY. THEY MUST BE PUNCTIONAL PRIOR TO EXPOSURE OF SOILS IN THE AREA BEING SERVED BY THE DIVERSION.

ALL DITCHES OR GULLES WITHIN THE LIMITS OF THE DIVERSION SHOULD BE FILLED, AND TREES AND OTHER ORSTRUCTIONS SHOULD BE REMOVED BEFORE

WHERE THE DIVERSION CROSSES AN UNDERGROUND UTILITY OR OTHER STRUCTURE, MEASURES SHOULD BE EMPLOYED TO PREVENT DAMAGE TO THE UTILITY, AND TO PREVENT SETTLEMENT OR DISPLACEMENT OF TRENCH BACKFILL AS A RESULT OF THE PLACEMENT OF THE DIVERSION.

ONCE SOIL IS EXPOSED FOR A DIVERSION CHANNEL, IT SHOULD BE IMMEDIATELY SHAPED, GRADED AND STABILIZED. THE DIVERSION CHANNEL, IT SHOULD BE IMMEDIATELY SHAPED, GRADED AND STABILIZED. THE DIVERSION CHANNEL, IT SHOULD BE IMMEDIATELY SHAPED, GRADED AND STABILIZED. THE DIVERSION CHANNEL, IT SHOULD BE IMMEDIATELY SHAPED, GRADED AND STABILIZED.

DIVERSIONS MUST BE COMMETELY STABILIZED PEIOR TO DIRECTING RENORT TO THEM.

WHERE VEGETATION IS USED FOR STABILIZATION, DISTURBED AREAS SHOULD BE ISTABILISHED TO GRASS IMMEDIATELY AFTER CONSTRUCTION. SEEDING
FREPARATION, SEEDING, FERTILIZING, AND MULCHING SHOULD COMPLY WITH TEMPORARY VEGETATION AND PERMANENT VEGETATION PRACTICES

DESCRIBED IN THIS MANUAL.

IF THE SOILS OF WINTER CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NONVEGETATIVE MEANS, SUCH AS EROSION

CONTROL MATS OR A CRAPED STONE LINING MAY SELUSED.
 EACH DIVERSION MUST HAVE AN ADEQUATE OUTLET, THE OUTLET MUST CONVEY RUNOFFTO A POINT WHERE OUTLOW WILL NOT CAUSE DAMAGE. THE OUTLET SHOULD BE INSTALLED AND STABILIZED BEFORE THE CONSTRUCTION OF THE DIVERSION.

TEMPORARY OF PERMANENT SEEDING AND MUTCH SHOULD BE APPLIED TO THE DIKE IMMEDIATELY POLICYWING ITS CONSTRUCTION

- ALAKE MOWED SLOTES NO STEETER THAN 3.1.
- SOUGHER THESE AREAS TO SHALLOW GROOVES BY NORMAL TILLING, DISKING, OR HARROWING. THE FINAL PASS OF ANY SUCH TILLAGE SHOULD BE ON THE CONTOUR.
- ALAKE GROOVES FORMED BY SUCH IMPLEMENTS CLOSE TOGETHER (LESS THAN 10 INCHES), AND NOT LESS THAN 1 INCH DEEP.
- EXCESSIVE ROUGHNESS IS UNDESIGNABLE WHERE MOUTING IS PLANNED
- SECESSIVE ROY GISTESS IS UNDESKRIBE, WITHER MOVING IS FLASHED.

 PROCEDIFIOR WITH TRACEED AMERICANSEY

 LEATH ROUGHESING WITH TRACEED MACHINERY TO SOLIS WITH A SAMPY TEXTURAL COMPONENT TO AVOID FINDLY COMPACTION OF THE SOIL SURFACE.

 OPERATE TRACEED AMCHINERY UP ANY POWN THE SLOPE TO LEAVE. HORIZONTAL DEPRESSIONS IN THE SOIL DO NOT BACK. BLADE DURING THE FINAL
- IMMEDIATELY SEED AND MULCH ROUGHENED AREAS TO OBTAIN OPTIMI'M SEEDGEMINATION AND GROWTH.

DUST CONTROL

CONSIDERATIONS

- PHASE CONSTRUCTION AND SEQUENCE EARTH DISTURBANCE ACTIVITIES TO REPUCE THE AREA OF LAND DISTURBED AT ANY ONE TIME.
- MAINTAIN AS MUCH NATURAL VEGETATION AS IS PRACTICABLE.
- USE TRAINIC CONTROL TO RESTRICT TRAINE TO PREDETERALINED ROUTES.
- USE TEMPORARY MULCHING, PERMANENT MULCHING, TEMPORARY VEGETATIVE COVER PERMANENT VEGETATIVE COVER, OR SODDING TO REDUCE THE NEED FOR DUST CONTROL
- USE MECHANICAL SWEEPERS ON PAVED SURFACES WHERE NECESSARY TO PREVENT DUST BUILDUF, STATIONARY SOURCES OF DUST (I.E., ROCK CRUSHERS) SHOULD UTILIZE FINE WATER SPRAYS TO CONTROL DUST.
- APPLY WATER, OR OTHER DUST INHIBITING AGENTS OR TACKIFIERS, AS AFTROVED BY THE MIDES.

MAINTENANCE REQUIREMENTS

 WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPUTITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROL

SPECIFICATIONS

- MOISTEN EXPOSED SOIL SURFACES PERIODICALLY WITH ADEQUATE WATER TO CONTROL
- AVOID EXCESSIVE APPLICATION OF WATER THAT WOULD RESULT IN AIGBILIZING SEDIMENT AND SUBSEQUENT DEPOSITION IN NATURAL WATERBODIES STONE APPLICATION:
- COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL
- IN AREAS ADJACENT TO WATTEWAYS, USE ONLY CHEATICALLY STABLE OF WASHING AGGRESATE.
 OTHER CAMBURCLUL PROPERTY.

TOUR TT. 30

- THE USE OF OTHER COMMERCIAL PRODUCTS (I.E., TACKIFIERS) TO STABILIZE EXPOSEDS SURFACES FOR DUST CONTROL WILL BE SUBJECT TO ACCEPTANCE BY MIDDES ON A PROJECT SPECIFIC BASIS.
 OTHER PRACTICES:
- APPLY OTHER TEMPORARY AND PERMANENT STABILIZATION FRACTICES AS SPECIFIED IN THIS MANUAL.
- CALCIUM CHLORIDE CANNOT BE APPLIED IN WATERSHEDS WITH CHLORIDE-IMPAIRED WATERBODIES, ELSEWHERE, IT SHOULD ONLY BE USED WHEN OTHER METHODS ARE NOT
- PRACTICAL, AND TOHLOWING THESE GUIDELINES:

 FOR DRY ATTLICATION, USE A COMMISSIONAL CHEMICAL PRODUCT THAT IS EITHER

 LOOSE DRY GRANULES OR FLAKES, TIME ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP THE SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT
- PARAMETER FOR HOLD APPLICATIONS, THE APPLICATION RATE WILL VARY DEPENDING ON THE RELATIVE QUALITY OF MATERIALS IN A GIVEN ROAD SURFACE. SOME CALCUM CHILDRIDE SUPTILIES MAY REQUIRE A BOAD SAMILE BEFORE RECOMMENDING AN APPLICATION RATE. TYPICALLY, SOIS CALCUM CHILORIDE IS RECOMMENDED FOR MOST GRAVEL ROADS.

DIVERSION CHANNEL SPECIFICATIONS DESIGN PARAMETER THE CONDITION OF THE OUTLET AREA, SUIT TOPOGRAPHY, GROUND

250111011	SLOPE SHOULD DETERMINE THE LOCATION OF THE DIVERSION.		
DRAINAGE AREA	< 5 ACRES		

2-YEAR, 24 HOU'R DESIGN STORM

10% OF BERM HEIGHT TO ALLOW FOI SETTLEMENT

CONVEYANCE CAPACITY DESIGN VID OCTO 2.5 TO 4.5 FEET/SEC, DEPENDING ON

BERAI/CHANNEL SIDE SLOPE 2.1 OR FLATTER

BERM TOP WIDTH 2 FEET, MUNIMIN'M 1.5 FEET MAXIMUM, EXCEPT FOR POTAL DEPTH TOP OF BERM BERM OVERFILL OF AFTROXIMATELY

TO BOTTOM OF CHANNE

0.5 FEET MENUMEN CHANNEL SHAPE PARABOLIC OR TRAFEZOIDAL

STABILIZATION VEGETATION OF RIFEAF POSITIVE GRADE TO OUTLET. CHANNELS < 2% DO NOT REQUIRE GRADIENT STABILIZATION UNLESS EXCESSIVE EROSION IS OBSERVED DURING ROUTINE INSPECTION, CHANNELS : 2% SHOULD BE STABILIZED.

SEDIMENT LADEN WATER MUST BE DIVERTED INTO SEDIMENT TRAP OF SEDIMENT BASIN. RUNOIT FROM UNDISTURBED AREAS AU'ST OUTLET DISCHARGE AT ETHER A NATURALLY

STABILIZED LEVEL STREADER, APRON

TEMPORARY EROSION CONTROL BLANKET

CONSIDERATIONS

EKOSION CONTROL BLANKETS CAN BE APPLIED TO STEEP SLOPES, VEGETATED WATERWAYS, AND OTHER AREAS EXOSON CONTROL BEAUTITY AND EATHERN TO STEET SLOT ES, VERLINAED WALENWAYS, AND UTILIZABLE
SENSITIVE TO EROSION, TO SUTTIEMENT VEGETATION DURING ENTIAL ESTABLISHMENT AND HELP FROVIDE
SAFE CONVEYANCE OF RUNOFF OVER THE PROTECTED SURFACE.

DURING THE GROWING SEASON (APRIL 15 - SETTEMBER 15) USE ALVIS (OR MULCH AND NETTING) ON:

- THE BASE OF GRASSED WATERWAYS
- STEEP SLOPES (15% OR GREATER)
- ANY DISTURBED SOLL WITHIN 100 FEET OF LAKES, STREAMS AND WETLANDS
 DURING THE LATE FALL AND WINTER (SEPTEMBER 15 APRIL 15) USE HEAVY GRADE MATS ON ALL AREAS
 NOTED ABOVE FLUS USE LIGHTER GRADE MATS (OR MULCH AND NETTING) CN;
- SIDE SLOPES OF GRASSED WATERWAYS MODERATE SLOPES (CREATER THAN 8%) THERE MAY BE CASES WHERE MATS WILL BE NEEDED ON SLOPES
- PLATTER THAN 84, DEPENDING ON SITE CONDITIONS AND THE LENGTH OF THE SLOPE.

 THE MOST CERTICAL ASPECT OF INSTALLING MATS IS OBTAINING IREA CONTINUOUS CONTACT BETWEEN THE MAT SI DIE SOIL. WITHOUT SUCICI CONTACT, THE MAT SI USELES AND EROSION OCCURS.

 INSTALL MATS AND STAPLE IN ACCORDANCE WITH THE MAINTACTURERS RECOMMISTIOATHONS.
- THE DESIGNER MUST EXERCISE CARE TO CHOOSE THE TYPE OF BLANKET OR MAINTING WHICH IS APPROPRIATE FOR THE SPECIFIC OBJECTIVES AND STEE CONDITIONS OF THE PROJECT. THERE ARE MANY SALE SHABILIZATION PRODUCTS AVAILABLE, AND A THOROUGH REVIEW BY AN ENGINEER OR EROSION CONTROL PROFESSIONAL IS NECESSARY TO EVALUATE THE ATMANAGES, PUSADVANTAGES, AND CONSTRUCTION REQUIREMENTS OF THE AMANUFACTURED PROOF OF THE AMANUFACTURE

MAINTENANCE REQUIREMENTS

- ALL BLANKET AND MAYS SHOULD BE INSPECTED WEEKLY DURING THE CONSTRUCTION PERIOD, AND AFTER ANY RAINFALL EVENT EXCELDING VIEWCH IN A 24-HOUR FEBIOD.

 ANY FAILURE SHOULD BE REPAIRED IMMEDIATELY, IF WASHOUT OF THE SLOFE, DISPLACEMENT OF THE MAT,
- OR DAMAGE TO THE MAT OCCURS, THE AFFECTED SLOPE SHALL BE REPAIRED AND RESURDED, AND THE AFFECTED AREA OF MAT SHALL BE RE-INSTALLED OR REIT ACTO

SPECIFICATIONS

SITE FREPARATION

- FROPER SITE PREPARATION IS ESSENTIAL TO ENSURE COMPLETE CONTACT OF THE PROTECTION MATTING WITH
- GRADE AND SHAFE AREA OF INSTALLATION.

 REMOVE ALL ROCKS, CLODS, TRASH, VEGETATIVE OR OTHER OBSTRUCTIONS SO THAT THE INSTALLED BLANKETS WILL HAVE DIRECT CONTACT WITH THE SOIL.
- PREPARE SEEDBED BY LOOSENING 2-3 INCHES OF TOPSOIL ABOVE FINAL GRADE.
- INCORPORATE AMENDMENTS, SUCH AS LIME AND FERTILIZER, INTO SOIL ACCORDING TO SOIL TEST AND THE
- SEED AREA BEFORE BLANKET INSTALLATION FOR EROSION CONTROL AND REVEGETATION, SEEDING AFTER ALST
- INSTALLATION IS OFTEN SPECIFIED FOR TURE REINFORCEMENT APPLICATION. WHEN SEEDING PRIOR TO BLANKET INSTALLATION, ALL CHICK SIATIS AND OTHER AREAS DISTURBED DURING INSTALLATION AUST BE
- WHERE SOIL TILLING IS SPECIFIED, SEED THE MAYTTING AND THE ENTIRE DISTURBED AREA AFTER INSTALLATION AND PRIOR TO TILLING THE MAT WITH SOIL.

 INSTALLING AND ANCHORING PLANKETS:
- BLANKETS SHALL BE INSTALLED AND ANCHORED FIR THE MANUFACTURER'S SPECIFICATIONS, IF THE MANUFACTURERS INSTRUCTIONS DIFFER FROM THOSE LISTED BELOW, THE MANUFACTURERS INSTRUCTIONS
- SHOULD BE FOLLOWED.

 BLANKERT SHALL BE FLACELY WITHIN 24 HOURS AFTER SOWING SEEP IN THAT AREA.

 U-SHAFED WHEE STAFES, METAL GEOTEXTHE STAKE FINS, OR TRAINIGULAR WOODEN STAKES CAN BE USED TO
- ANCHOR MATS TO THE GROUND SURFACE.
- WIRE STAPLES SHOUTD BE A MINIMPLA CLAIMER AS SPECIFIED BY THE MUNICIPALITY FOR
- ARTAL STAKE FIRS SHOULD BE 3/16-INCH DIAMETER STEEL WITH A 1 1/2 INCH STEEL WASHER AT THE HEAD OF THE PIN, OR AS STELLHED BY THE MANUTACTURER.

 WIRE STAPLES AND METAL STAKES SHOULD BE DRIVEN FLUSH TO THE SOIL SURFACE, ALL AND HORS SHOULD. HAVE SUFFICIENT GROUND PENETRATION TO RESIST RULOUT LONGER ANCHORS MAY BE REQUIRED FOR LOOSE SOILS.

ANTHE LATER ON COURS BLANKETS SHALL BE INSTALLED ON SLOPES PER THE ALANUFACTURER'S SPECIFICATIONS. IF THE MANUFACTURER'S INSTRUCTIONS DIFFER FROM THOSE LISTED BELOW, THE ALANUFACTURER'S INSTRUCTIONS

- BLANKETS SHALL BE LAID LOOSELY OVER THE SOILS. MAINTAINING CONTACT WITH THE SOIL, AND NOT
- BLANKETS SHALL BE ANCHORED AT THE TOP OF THE SLOPE IN A TRENCH TO FREVENT RUNOFF FROM L'NIDERMINING THE MAT. SUBSEQUENT ALVIS MIOULD BE OVERLANTED BY THE UTSLOPE MAY, BACKFILL
- TRENCH AND TAMP EARTH FIRMLY. BLANKETS SHALL BE UNROLLED IN THE DIRECTION OF THE WATER FLOW, OVERLAPPING THE EDGES BY A
- MINIMUM OF 4 INCHES AND STAPLING THE ERGES, AS DIRECTED BY THE MANNETACTIVES.
 WHEN BLANKETS MUST BE SPLICED, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH G INCH MINIMUM OVERLAP STAPLE THROUGH OVERLAPPED AREA. APPROXIMATELY 12 INCHES APART, OR AS SPECIFIED BY AUANUTACTURER. LAY BLANKETS LOOSELY AND MAINTAIN DIRECT CONTACT WITH THE SOIL - DO NOT STRETCH.
- EARNERS SHALL BE STAPLED SUFFICIENTLY TO ANCHOR BLANKET AND MAINTAIN CONTACT WITH THE SOIL.
 STAPLES SHALL BE FLACED DOWN THE CENTER AND STAGGEED WITH THE STAPLES FLACED ALONG THE
 DOGS, STAPLING PATTERN AND NUMBER OF STAPLES WILL DEED ON STEED-SESS OF SLOPE AND
 MANUFACTURES ANCHORING METHOD'S, FOLLOW MANUFACTURERS INSTRUCTIONS. INSTALLATION IN CHANNELS
- BLANKETS SHALL BE INSTALLED IN CHANNELS FEE THE MANUFACTURER'S SPECIFICATIONS. IT THE ANAUTACTURES INSTRUCTIONS DIFFER FROM THOSE LISTED BELOW, THE MANUTACTURES INSTRUCTIONS SHOULD BE FOLLOWED.

 DIG INITIAL ANCHOR TRENCH ACROSS THE CHANNEL AT THE LOWER END OF THE PROJECT AREA.
- EXCAVATE INTERMITTENT CHECK SLOTS, ACROSS THE CHANNEL AT 23-30 FOOT INTERVALS ALONG THE CHANNEL OR AS SPECIFIED BY MANUFACTURER.
- CUT LONGITUDINAL CHANNEL ANCHOR SLOTS ALONG EACH SIDE OF THE INSTALLATION TO BURY EDGES OF ANTING WHENEVER DSSIBLE EXTEND MATTING 2.3 INCHES ABOVE THE CREST OF CHANNEL SIDE SLOTES.
 BEGINNING AT THE DOWNSTREAM END AND IN THE CENTER OF THE CHANNEL, FLACE THE DRITAL END OF THE
 FIRST ROLL IN THE ANCHOR TRENCH AND SECURE WITH FASTENING DEVICES, AS DIRECTED BY THE
- MANUFACTURER, NOTE: MATTING WILL INITIALLY BE UINIDE DOWN IN ANCHOR TRENCH.
 IN THE SAME MANNER, POSITION ADJACENT ROLLS IN ANCHOR TRENCH, OVERLAPTING THE PRECEDING ROLL. A MINIAUTH OF S INCHES.

 SECURE THESE ENTIAL EXIST OF MATE WITH ANCHORS AT MANUFACTURERS SPECIFIED INTERVALS, BACKFILL

 ANTI COMPACT SOIL.

 UNROLL CENTER STRIP OF MATTING UPSTREAM, STOP AT NEXT CHECK SLOT OR TERMINAL ANCHOR TRENCH.
- UNROLL ADDIEST STEP OF MATTERS UTSTREAM, STOP AT NEXT CHECK SLOT OR TERMINAL ANCHOR TRENCH.
 UNROLL ADDICENT MATS UPSTREAM IN SAMILAR FASHION, MAINTAINING A S-INCH MINIMAL OVERLAP,
 FOLD AND SECURE ALL ROLLS OF MATTING SNIGLY INTO ALL TRANSVERSE CHECK SLOTS. LAY MAT IN THE
 BOTTOM OF THE SLOT THEN FOLD BANK AGAINST ITSELF, ANCHOR THROUGH BOTH LAYERS OF MAT AT
 AMAUVACTURES S SPECIFIED INTERVALS, THEN BACKFILL AND COMPACT SOIL, CONTINUE ROLLING ALL MAT
 WHYTIS UPSTREAM TO THE NEXT CHECK SLOT OR TERMINAL ANCHOR TRENCH.
- ALTERNATE METHOD FOR NONCRITICAL INSTALLATIONS: PLACE TWO ROWS OF ANCHORS ON 6-INCH CENTER AT 28-30 FIET INTERVALS IN LIEU OF EXCAVATED CHECK SLOTS.

 ### SHINGLE LAP FFLICED ENTS BY A ALIMAMUAL OF I FOOT WITH L'ESTREAM ALAT ON TOF TO FREVENT L'PLIFTING

 ### WATER OR BEGLIN NEW ROLLS IN A CHECK SLOT. ANCHOR OVERLAITED AREA BY ILACING TWO ROWS OF

 ANCHORS. I POOT APART ON 1-FOOT INTERVALS.
- PLACE EDGES OF OUTSIDE MATS IN PREVIOUSLY EXCAVATED LONGITUDINAL SLOTS, ANCHOR USING PRESCRIBED STAFLE PATTERN, BACKFILL AND COMPACT SOIL

OTHER ANCHORS AS RECOMMENDED BY THE MANUFACTURER

ANCHOR, FILL AND COMPACT UTSTREAM END OF MAT IN A TERMINAL TRENCH, AS DIRECTED BY SECURE MAT TO GROUND SURFACE USING U-SHAFED WIRE STAPLES, GEOTEXTILE FIRS, WOODEN STAKES, OR

A.C. Engineering & Civil Engineering & Land Planning 438er Hill Neal Planning Planning East Washington, N.E. (1811) 8 roperty /Lot to-1 Street k, N.H. Aorne Property ax Map 227/Lot 40-1 519 Maple Street Contoccook, N.H. DWC: 8-20-18 JULYAZ SHEET BOF 9

21-02-9

SILVE

Thorne Property
Tax Map 227 / Lot 40-1
519 Maple Sirect
Contocook, N.I.

TTY25 OI JON ANCHORING DETAIL EWBEDDING DELVII HYA BYFE BYKKIEK OWNERS M. J. D. JIVE OV JIVOS OL LON DELVIT OF BALE CHANNEL BARRIER YND ENEBL 100, IN DIVINYCE ONLIEL DYLCHES ATCE HYLBYTES ENEBL 120, IN BOYDSIDE DYLCHES



NOIE GOINIZ Y SHORTD BE HIGHER THAN POINT B



MITCH MED KEINING OF BEILVIE UNWORD BYTES MIGNEL VETVE INNE BEICH LERWYNEMEN. SEVENTEED: KREIFEL VAND BEINING OF BEILVIE UNWORD BYTES LEGVILET SEBYN BYTES LIERWYNEMEN. SEVENTEED:

INTER KOCK LEVGED BEFORM LHE VIIDDET BYFE MEIT DISSEVLE LHE EMIKGA OL LHE LYTTRIG MYLEK YND KEDLOG DOMNELKEYW ON THE DOWNSHIT RIDE OF THE PARKET AND SHOULD BE RELIEF IT TO 4 EXCITS ABOVE THE CEOUND ON THE LITERABLE OF THE E WORDIT THE DECKE HARD THE EXCENSION OF THE PROBLEM CONTROL IT. THE RECENT CONTROL TO THE GROWN THE PROBLEM OF THE PROBLEM AND THE PROBLEM AN

DIVIDIVILITA ALIIITI LEOM V ALIVIM EVIT EVERIER LEALE LO INCIRCUS EVERIER LILICITICA. IL IS LICCITI LE BA BEAGH, PUT VAA CWA CWA EURACA SULVIM SCALLERID GAER LIJE VETV I LIT VAA CWA BELMETA EVITE BA MELICINCI DOGE SULVIM BELANESA LILE EVITZI TOGGE SULVIM SCALLERID GAER LIJE VETV LIEA CWA BOSE HYXYED DO DOGENISAL MIESA LILE BYTTZ DISINUCEVILE

MOOD STAKES, 2 BY 2 INCHES BY FIRST ALL FORCE THE BALLS TOGETHER DRUCE THE STALES BUT ARE NOT KENOMBLEARING BECAUSE.

TOWARD THE PREVIOUSELY LAID BALL TO FORCE THE BALLS TOGETHER DRUCE THE STALES BUT ARE NOT KENOMBLEARING BECAUSE. SECURITY ANCHOL EACH BALE BY DELVING AT LEAST TWO STAKES IT BOUGH THE BALE, DELVE THE FIRST STAKE IN EACH BALE.

NOTE, STRAW BALES SHOULD BE USED, NOT HAY BALES. DESCRIPCIONES AND CALCETTE BALL TO FALL AFART.

LIS 30 OL STYN

EVILIES LIEVA VICASE LITELIOLE VAN BOLLANG OL LITERVITS' IL LITE HANDING IR LEVETO IA COMEVEC, MEDI LITE SOLF LE MIT SOCAN VIT EVITES VILAL EE ELIHER MET SOLFAN OR ZEERIC-LITE) ERSELVE BVITZ SO LEVEL BELGEN OR COMEVELD VANOLAND LEHE BIDES INTOM THE VIDDITE BYTE MIT DISSIBLE THE EAERCH OF THE EATHING MALES AND EDUNCE, EORIGENET WE EXCHOL:
VARIATE THAT SEDWELL FOREM SEN OUR MIT DOWN EDINES THEORICH OF OATS THE BAYRIES SELL NOT VEGEND IN SOCK LIVEED DOUBTHING HIS BOLLOW OF THE EXP BALES ARE AT A HIGHER LEVANDON THAN THE TOP OF THE LOWEST WHO PILE BALE TO IVECE BALES IN THE TRENCH WITH THERE EXIST THE SPACES BETWIEN THE BALES. EXTEND THE BALES. EXTEND THE BASELET TO SPACEL A

FOM TENCHMARE ORIGINED LETERINGTAYS TO THE LEOW, AND WITH ENDS OF MAKENE SATES TICKELY ABUTING ONE EXCLASE. BASELES TAKE BALLS IN A SUBJECT AND STREET STATES TO THE PROPERTY OF A SUBJECT OF THE PROPERTY STATES TO A SUBJECT OF THE PROPERTY STATES AND STREET.

CHYNNET LTOM VILTICVIIONS

MONTHS WHEN WET MEMOVY THE STRAW BALLS WHEN THE USLOFF AREAS HAVE BEEV FERMANEULLY STABILIZED. INSLECT AND REPAIR OR REPLACE DAMACED BALES PROMPTLY STRAW BALES TYPICALLY DETERORATE WITH THREE

CROWND FEVEL ON THE DOWNHILL SIDE OF THE BARRIER AND SHOULD BE BUILT UP TO INCHES ABOVE THE CROUND PACICULT THE TRENCH WITH THE EXCAVATED SOIL AND COMPACT IT THE BACKOTLL SOIL SHOULD CONFORM TO THE BY RUNGER AND TRANSFORTED TO HOLLS IN THE BARRIER, INHICH IT TEMPS TO SEAL.

VSEY DWILDIALETA FILMIT LROW Y ZIMW. BY FEBYRSTER LETIOR LD ERCHEVEE EVERTEE ELLICIENCA, Y ZIL IZ LACKED FLA FLUT VAL CYLZ BELMEEN BY FEB BA MEDCENC FOOSE ZIMWA BELMEEN LHE BY FEB FOOSE ZIMYM SCYLLESED OACK LINE

RECOMMENDED BECVESE THEY CAN TOSE HAZARD TO EQUIPMENT WHEN THE BALES DISTATEMENTS. THE CROFFUD MOOD STYKEE'S BASTICGHES BASTEEL VER BEEL KERYK CVN YTEO BE REED VE ZLYKEE' BAL VEE NOL BVFE LOMYKD LIJE LEEALOGER FYID BVFE LO LOBCE LIJE BYFEZ LOCELIJEK DBRAE LIJE ZLYKEZ VL FEVZL I 175 LEEL INLO

RECORTS ANCHOR BYOH BYOH BYOH BYOH DRIVING YATERVALANO SAVKER LABORCH AHE BYTE DRIVE THE HRST SAVKE IN EVCH THE SOIL, IT WILL SOON DISINTECRATE AND CAUSE THE BALE TO FALL APART NOTE, STRAW BALES SHOULD BE USED, NOT

THE RIDES BYTHEK HIVN VIONG THE LOTS VND BOLLOWS OF THE BYTES SO THAT BUDDINGS AND CONTEXT WITH BUDDINGS OF THE CONTEXT BY THE BUDDINGS OF THE OWNER FROM THE STATES OF THAT BUDDINGS OF THE SAFE OWNER THE STATES OF THE STATES O ILL RIMLOKLYNT JO LIBEAEYT SEDINEYT HROW ESCYLING THROUGH THE SEVCES BETWEEN THE BYTES.

T. FLYCE BYTES IN THE TRENCH MITH THEIR ENDS THOUTTY VRILLING' CORNER. VROLTMENT IS NOT VCCELIVBRE V TICHT. DIFOR OUT OF SUSPENSION BEFORE IT REACHES THE BARRIER.

THE SLOPE, IT POSSIBLE. THIS PLACEMENT WILL PROVIDE ACCESS FOR MAINTENANCE AND ALLOW COARSE SEDIMENT TO EXCANSE A LINCH DIEST TRENCH THE WIDTH OF A BALLE AND THE LENGTH. OF THE PROPOSED BARBUER, THE BARBUER.

SHEEL EFOM VEBLICATIONS

BYTE INSLITTION

EARAL.

THROACHOLD THE MINITE SEASON, SHALL BE CLEARED OF ANY ACCUMINATED SHOW AFTER EACH STORM. OL 2 INCHES OL CHLEHED CEVALT ELE MILIVAL LIEW SON S' OB IL CONCLUENCES ALVO CONLINE.

20 VALEN MONEMER 1921H INCONTITUE BOYLO ON EVERTING SLAWCES SENTE BE LICOLICALED MALLE V WINNERS AND THE STANDARD STANDARD. COMISOT REVAILED VALIGORAVIE FOR THE DESIGNATION CONDITIONS.

UOR WHICH ARE DISTURBED AITER OCTORER 1 STALL BESTÄBLLIZED WITH STONE OR ERORION 3) VIT DULCHES ON SAVITS MIRCH DO NOT EXHIBIT A MINIMARY OF 85% VICEIATIVE GROWTH BY OCTOBER VIETA ENEMAZ!

TAGGERIALISTS PROSEN OR ON REOGEN CHOLAND VAD SILVED BY COVERTIED BY VIDAVACE OF THANK OF STREET HIE EPOCEMENT OF EROSION CONTROL BLANKING OR MUTCH AND METANG SHALL WOT WOLLD OF CIVIL SHALL SHALL OF CIVIL SHA SEEDING AND PLACING 3 TO 4 TAWN OF METCH FER ACRE, SECTION WITH ANCHORED METTING, ELSEWHERE. SEVERITEES AN ACCUSE VALUE INSERVED INCOMING CONTROL SEVERIES ON SECURITIES AND SERVED VALUE. ACCLANIAL CROWNII RA OCLORER FARFO OR MIRCH VRE INZULRATO VILER OCLORER FALIAT OR VERTICAL OCLORER FARFOLD OCCURRED FARFOLD OCCU

WINTER CONSTRUCTION NOTES

SLONE LEVELD OALSE I EL OCLAIDE OF VROVE STELL HEARING MENDES HIVIT HE REVIOUR OF DEDICATE.

LIFE CONVEYEDD STARVEE SHYLT VELKOXIVIVEE LIFE VAND CHYDIS HIGHAN OR ORDIERED. WHEN ORDISED! CERCIO DELWALILLO SETINA MILEA CRANT BLANCET IS SHOWN, THE GRAVEL BUTACED IN LATES NOT EXCEPZING 12" IN DETRI CAMPLESSANGY PASICACAGE THE CAUSACTING ANALYSISTEM.

INVALUES THE SECOND THE SHARE THE SECOND WITH SECOND TO DETAIL IN SECOND VALUES AND SEADLY THE PROPERTY OF THE

CONTRACT COMPORAL TO SALE

CONTRIBUTION FOR THE CONCINENT STATE CONCINENT LOS TO S. 1.2.

SINTE LOS BITTERS AND SET TO STATE CONCINENT STATE CONTRIBUTION OF THE STATE CONTRIBU

0.30 HONIZ/I-I HOMEZE

ZERE ZE X byzeme be mediated by the state of the state of the state of the mediate of the mediated of the state of the sta TYZZ COVIICZID OL BLYITZ

ACTIVITE OF 3 CLUMEDSTRANDER AND OLDIE WASS RANGING BELANTS. F & C. AND THE MANDER OF THE CLASS B STONE SHALL BE REDGELAR IN SHALE WITH ATTRONOMORIES SON OF THE MASS HAVING A AMENDER OF THE THE MASS RANGING BETATERS I.E. S. CT. AND THE MANS RANGING BETATES. A S. CT. AND THE MASS HAVING A AMENDER. THE MASS RANGING BETATERS I.E. S. CT. AND THE MANS RANGING BETATES. AGITARI OF 12 CF, AFROXIMATALY SON OF THE MASS RANGING RETVERS 5.4. IZ CF, AFROXIMATELY OF OF

CHARLES THE CONSIST OF PREMIUM AND PACES RANGING BETWEEN AS A CHURCH A DESCRIPTION OF PROPERTY OF A DIVINIA MORE THAT SHALL BE A WITH SECURITY OF A PROPER OF A STORE OF STORE OF STATES SHALL BE ATTACKED AS TO THE ANGEL WITH WITH WITH A DIVINIA MORE AS TO THE ANGEL AND A MUNIMUM OF VOIDS. TAKE STORE THE SHALL BE ATTACKED AND THE ANGEL SHOWN AND A STORE OF STATES AND A STATE SHALL BE ATTACKED AS TO THE ANGEL SHOWN AND TAKE STORE THE CONTROL OF STATES AND A S

SLONE FILL SPECIFICATIONS

JAVOS OL LON SITL LENCE DELVITS

STEL LENCE LINGOLOH SWALL SWALE NOTE POINTS A SHOULD BE HIGHER THAN POINT B TOP VIEW





TO COMPORA WITH THE EMSTING TOTOGRAPHY AND VEGETATED. CENTRAL DELOCALS LITYLAND SERVICED OF ITAL IN LITYLE ALIE AND AND REPORT SHALL BE CHARLES

- THEY REACH APPLICATIONALIZEY ONE-HALF THE HEIGHT OF THE BARKEE REPORTED BY ALOUTED BE INSTITUTED AFTER EVERY STOKEN THE DESCRIPTION OF TRANSPORTED WHEN
- LINCE LIFE EVERIC CRIVITE RETRIEVED LEGGED.

 IN LIFE LYBRIC ON Y SITE LEGGE SHOULD DECONIEURE OF THE DETAILED THE OF THE SALIVACIONAL ESTANDA TARA CENTRO SENTE EL MADE ENABRADENTE.
- SHE HEACES SHALL BE INSPECTION MANDAMENT ANTIR EACH RAINTALL AND AT LEAST PAILY DURING EROLOYGED

WYINLENVNCE

- TO NOTHEORIE OF THE TENTO THE TELL HE STATE INTERTED OF GENERAL OF GENERAL DE LIVIES TANKELINIAN A SCUVER INCHES
- WOOD FORTS SIEVE BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUL CROSS SECTIONAL AREA OF 3 O 6" LEACT LOSES SHALL HE A ARKENDARI OF SE INCHES LONG AND DRIVEN A ARKENDARIO OF 16 INCHES INTO THE GROWIN.
- WHEN EWO SECTIONS OF THESE CLOTH ADJOIN EVOT OTHER SHALL SECULATIONS OF DISCHES, FOUNDED, AND LHE LOS VID SECLION VAD BOLLOW HILLS CIVILH SHYTT BE LYSLINED SECLIOTY LO LHE WOASA MASE LISNE MILH HIS SLIVEID IAESA 14 ENCHEZ VI
 - WOALS MIRE IZACE SILVIT BE LYSLINED SECURITY TO THE TEACH MAIN MIRE THE ON SIMPLEY
- THE FABRIC SHALL BE EARLIEDING A MUNICIPAL BE EXCITES LYIO THE GROUND AND THE SOIL COAPPACTED OVER THE THE CEOTESTILE FARIO SHALL MEET THE PESSON COTTEN FOR SILT REACHS.

SITL EENCE CONSTRUCTION SPECIFICATIONS

PROCESUED DISTINUES HAVE BEEN CONTINUED AND SEVERISHED. TOT DISTURBANCE, OTHER THAN THAN SHOWN ON THE APPROXIMATION OF USE CULT COURSE THE ROADING AND

T.) V WIGHTH, WI OL. 2. OL KON-BEOGLE WYLDSTYF 2I, MI YE 2LONE OR BIL BY LIYE BEIN INGLYTED OR BY WIGHTEN OL 2. OL KON-BENGLYLED CROWNED THE REVERSE BE WARD WY BYE CO. GREE BEYNED REVERSE BE WARD.

VER VETY SHYTT BE COZSIDERED REVERTE BLOKE OL LIFE HOTOMEKE HIVE OCCLARED:

VA VETY SHYTT BE COZSIDERED REVERTE BLOKE OL LIFE HOTOMEKE HIVE OCCLARED:

THE PHYSIPPEN PET THAT MAY BE DISTURBED AND UNSTABILIZED IS DACRES. . VIT VELVE SHVIT BE SLYBITISED MILLION 12 DV22 OF MILLYT DESLETATION. . NO DISLICEBED VETVS VET LO BE TELL GAZLVEITZED LOR FONCER LIEVA TI DAV.

11 NEWOLE LEVILORVEL DEORION COALING WEYGLEE 16 COWILTEE LEWYNING SEITHING VAID FANDSCYLENG 2 ROBLET VAID WYNIALYN YTT ERORION VAID SEDWYRMLYLION WEVGLEES MEETEL VAID MELHEN I'V HOLES OL U.E. OL EVILLYTT 2 ROBLET VAID WYNIALYN YTT ERORION VAID SEDWYRMLYLION WEVGLEES MEETEL VAID MELHEN I'V HOLES OL U.E. OL EVILLYTT

AMECHED WITHIN 72 HOURS OF ACHIEVING THAL CIANTS.

CONSTRUCT TRANSARY DIVERSION CHANNELS, AS REQUIRED.

CONSTRUCT TRANSARY DIVERSION CHANNELS, AS REQUIRED.

A. PALLY, OR AS REQUIRED, CONSTRUCT TRANSORARY HEADS, SHET TRACES SEDIMINAT TRANS, ETC. MUTCH AND SEED AS PROPRIED. C. BECH FEMANGAL AND TRAINGRARY BEDING AND AUGEFRING. ALL AND HIL GEOFFS HALL BE LOAMED, SEEDING AND

TOTAL PROPERTY OF THE PROPERTY

ON SITE SEED AND MULCII STOCKHILE SWALES SHALE HE STABILIZED HEIGH ROW TO PRESENTE HEAR STEWN THE STABILIZED WITHIN TE HOURS OF CONSTRUCT DAYING, SWALES AND PRESENCE STATEM.

4. CONSTRUCT DESTREAM DEACHAGE SYSTEMS.

5. CURRENCET DAYING, SWALES AND TABILIZED SHALE MEDIT TOCKE, STATE AND FEDERAL BEGINNELTED WITHIN TE HOURS OF CONSTRUCT DAYING, SWALES AND TABILIZED WITHIN TE STABILIZED WITHIN THE STABI

WEVERERS RIVIT BE INSIVITED LIBOR TO VAN EVELD WOMING GLEVENDAS BENOAF VAN SLOCIENTE FOVYN OM RUE FOR BE-FINE CONSLIEGE, LEVEDBYBE SERWIEM, VAN ENGRON COMINGE FLYCHTLES HERVELLE BEINVERM VAN ENGRON COMINGE L. CUT AND CLEAR TREES ONLY TO LIAUTS OF CUT, THE SLOFES,

CONSTRUCTION SEQUENCE

VIT CRYDED VIEWS RIGHED BE LERWINGELED REVENDED INVESTED INVESTED LOTTOWING UNITED CRYDERGY WIT GROUD VERVE RICH. THE BELEEVINGLED, EVENETED INVESTED FOR DESTRUCTION CHRORISES.
WILLIAGE TO SURFIELD ON IT WORK IS INTERCEDED. TO RECIPION OF THE PURPLE OF OTHER ADDRESS.
STABLES ALL CEADED PRESS WITH EXCELLATION, CHEMISTS AND CONDOCE HANGE THE GEOURD COVIDE AS SOON AS DETRIBUTED FOR THE MESSAGE HANGE THE COORDISTON.
BETTER OF STRUCK TO THE COORDIST PRESSED FOR THE STRUCK TO AND THE PURPLE AND THE ADDRESS TO THE ADDRESS OF THE GEOLOGY.

STRUCK OF THE COORDIST DESIRED FOR MESSAGE TO THE STRUCK TO AND THE ADDRESS OF THE AD

SERVICE DESIGN VIT LIVERS OF DEVICE STREET CLA VARI-BIT SPORZE DO FRVIL SHEEL VARI BIT EPOSION VARI DEGAZAL CLATA EBOSION. VIT SEXCIPES SHOLID SEXETIBLES OF

CLI VARI-HIT STORES, DO TWILL SHEEL VARD HIT TEOGRON AND LEEGEST, CHETT RESOLUTION THE RESCLIES SHOULT BE ETELL HELT OF COLUMN TO THE COLUMN TH

HOUSIONAL BACKHERY OF SOLL AND OF ROUTE THE TRADES THE PRECEDENT OF SEED.

FACE MAINTENANCE OF SOLL AND OF HUMBER OF RESERVABLE OF STRONG AND OTHER OF SEED OF SEED.

FACE MAINTENANCE OF SOLL AND OTHER SEED OF STRONG AND OTHER OF SEED OF STRONG AND OTHER OF SEED OF SEED

OTHER ORDERTOWNER MATERIALS A MISSIALIAL PIETRI OF STRUCTES PRIOR TO PLACEMENT OF TOPSOIL, TOPSOIL SHOULD BE

VIEW SIGNATION OF CONTRIBUTOR OF STREAM, IN THATH OF STREAM OF THE STREA

LODGL HEWILF SUCHECVITY ROUNDE FOR A CHAVITR AREA OF DISTURBANCE ANY SUCH CREATER AREA OF DISTURBANCE. VIVATATI SI VIETA (ALAKELI ERAVAZE LITE VETA OL EARLEMETETE SOIT RHOETE HOL EXCEPTE 2 VELTZ VE VAL EIVE (MITZS LEVOLICABIT BELL KO TALEK LITAN 2 EVAL KOITOMERO EKAN GEVULIKO' SA MOOR EA CESTURARY ATTACHMENT IN CITIONER LIOR DISTURBED SOIL SHOULD IN TREALAND STREET AS SOON AS

DUAL AUTHORITIES, THE CONSTRUCTION SEQUENCE AFTEOVED AS PART OF THE ISSUED FEMALE, OR AN INDEFENDENT EFFCHCIBIT BELL NO TYLEF LIVY 42 LIVE USOVI LIFE LIVE OF BELLEVEYNCE, ENITES A SHORED AS SOON AS

SPECIFICATIONS

DESCRIPTIONS SHOULD BE DOCTAVERALLED BY REPORT

EXIST IN WHICH # INCH OF RECHILIVENCE OF MORE LYTTS WITHIN V 14 HOLE BERGD

IN VIDITION TO REGILAR ENORION SHOLTH REMAKEDIATER INVESTIGATED AND REPARED AS WITHOUT ANY RECONSTRUCTION ITERATES.

IN ADDITION TO REGILAR RUSHAL THE WAS THE SHOLTH BE LUNGETED ANY REMAKENTS STANDED AND SHOULD BY THE SHOLTH AS WELL BE SHOULD BY THAT CAME TERAINED.

ANY SHOW TO REGILAR RUSHAL THAT WAS THE PROJECT STEE SHOULD AND REPARED AS WITHOUT, ANY SHOW TO REAL AS A HOURS OF ANY RAIN THAT OF ANY SHOULD BY THE WAS THAT THAT THE WAS THAT THE

MAINTENANCE REQUIREMENTS

DISTRICT CHAN STORMWITZ TO UNIVERSITED. VEGITATIO, HAT OF MODIBATE SICITI, SUSTACE WINDLESSEL, RENOTT TALL CONTROL TUNO CONTROL MANAGEMENT.

AND WINTER ELOSION CONTROL MANAGEMENT.

AND WINTER ELOSION CONTROL MANAGEMENT.

AND MANAGEMENT.

AND WINTER TO MANAGEMENT. DATEL CITYA MALER VMAN DOM, DIE DAMEDAVER CONCEDORA VIEW DO REMACE THE DIGITAL OF EXOSION

INVEST CHAIR PARTY WAS READ HER ACTIVITIES TO ABBIEVED OF SOIL ESTOCKED AT THE STREET AND ACTIVITIES AND WELLE STREET, WAS READ WHITE STREET OF UNDERSTONED THE STREET AND ACTIVITIES OF UNDERSTONED THE STREET AND ACTIVITIES AND THE STREET OF UNDERSTONED THE STREET AND ACTIVITIES AND ACTIVITIES AND WELLEVALLY.

THAT HE CHAIR OF THE STREET STREET AND THE ACTIVITIES TO ABBIEVED A STREET AND WELLEVALLY OF SOIL ESTOCKED AS THE STREET AND ACTIVITIES AND ACTIVITIES AND WELLEVALLY OF SOIL ESTOCKED AS THE STREET AND ACTIVITIES AND ACTI

"NOLLY LINE SEMINALVILLOW" CONSIDERATION MISSING OF TWIN CRYDING VEHILLIES WHISE HE CYRELLITA LEVARED VAID CYREED OF LLD RELIENT

CONSIDERATIONS

A.C.1
&.C.
Civil Engler

41 ber Hiller
End Wast

Consulting Consulting

CONSTRUCTION PHASING



Town of Hopkinton

330 Main Street • Hopkinton, New Hampshire 03229 • www.hopkinton-nh.gov *Tel*: 603-746-3170 *Fax*: 603-746-3049

PLANNING BOARD APPLICATION

	☑ Site Plan Review ☐ Architectural	Design Review (Comme	ercial/Industrial - Z0	O Section IV-A)
	☐ Preliminary Review (SD Section II	l) 🗌 Subdivision 🔲	Lot Line Adjustmer	nt/Annexation
	☐ Conditional Use Permit (ZO S	Section III) 🔲 Special L	Jse Permit (ZO Se	ction VIII)
PROJECT	LOCATION: 351 Park Avenue	MAP/LOT:	222 / 70	_/ZONE:_R-1
Address:	141 Red Chimney Rd	City:	State: NH	Zip: 03278
Phone:	603-731-6896	Email: joegrogar	n85@gmail.com	
OWNER(s)			
Name:	351 Park Ave, LLC (Joseph Grog	an)		
Address:	141 Red Chimney Rd	City: warner	State: NH	Zip: 03278
Phone:	603-731-6896	Email: <u>joegroga</u>	n85@gmail.com	
Name:				
Address:_		City:	State:	Zip:
Phone:		Email:		
PROFESS	IONALS (engineer, architect, surveyor, a	ittorney, wetland/soil scie	entist, etc.):	
Name:	NA			1))
Address:_		City:	State:	Zip:
Phone:		Email:		
Name:				
Address:_		City:	State:	Zip:
Phone:		Email:		
™ Reside	ntial Recreational Agricultural	☐ Institutional ☐ Comm	nercial/Industrial (i	Accessory
🕱 Public	Water □ Public Sewer □ Well 25 Se	ptic		· -
	proposed: NA Existing Build		Proposed Buildi	ng Area: 3.600 SF +/-
	pace: 92% (Note: Build			Existing/Proposed
Original ar plan(s) to	on Submission Requirements: and ten (10) copies of the application, along no more than 11" x 17". arrative description of proposal (include e application checklist. anning Board/Zoning Board of Adjustmen operty deed and existing/proposed eases	existing conditions and all nt Minutes of Conceptual ments, covenants, and re	related improvement	ents).
	ax Map of subject parcel and abutting pro	•		
LI VV	aiver(s) request from provisions of the Su	indivision and/or Site Pla	an Regulations	

Test Pit Data, Storm Water Management Plan, Traffic, School, Environmental and Fiscal Impact Analyses, ar	ıd
Phasing Plan (when applicable). Abutters List as defined by RSA 672:3 – Include Tax Map, Lot Number, Name and Mailing Addresses. If abut	
property is under a condominium or other collective form of ownership, the term "abutter" means the officers of the collective or association. If abutting property is under a manufactured housing park form of ownership, the term "abutter" includes the manufactured housing park owner and the tenants who own the manufactured housing.	of B
☐ Mailing labels Include Applicant, Owner, Architect, Soil/Wetland Scientists, Abutters, and holders of	
Conservation/Preservation restrictions or easements.	
☐ Four (4) paper prints of the plan(s) at full scale.	
Appropriate Filing Fee: (Non-refundable) Made payable to Town of Hopkinton Major Subdivision\$500.00 Application Fee, \$100.00 per Lot/Unit	
Minor Subdivision\$250.00 Application Fee, \$100.00 per Lot/Unit	
Lot Line Adjustment/Annexation\$100.00 Application Fee Site Plan Review\$300.00 Application Fee, \$100.00 per Unit (Res./Non-Res.) Site Plan Review Change of Use\$150.00 Application Fee	
Conditional Use Permit\$500.00 Application Fee (Wireless Telecommunications)	
Public Notice Mailing	
☐ Conditional Use Permit (Wireless Telecommunications): If application is for Conditional Use Permit, please a a detailed explanation of compliance with Section 3.10 of the Hopkinton Zoning Ordinance, along with an explanation of compliance with the Site Plan Review Regulations of the Town of Hopkinton.	ttach
Final Submission Requirements (after Planning Board action):	
Four (4) paper prints of the final plan set at full scale.	
Mylar(s) – The Merrimack County Registry of Deeds requires that the UPPER LEFT-HAND CORNER, INSIDE THE BORDER, of the plat to be RESERVED for recording information entered by the Registry - No smaller than 7" long X 1" v	vide.
☐ PDF of the final plan set, including architectural and site photographs - emailed or thumb drive.	
Recording Fees: (Separate Checks) Made payable to Merrimack County Registry of Deeds	
Recording Fee	
I represent to the best of my knowledge and belief that this application is being submitted in accordance with applicab	
regulations and ordinances of the Town of Hopkinton. I also understand that submittal of this application shall be dee as granting permission for the Planning Board members and their designees to enter onto the property for purposes of	ıf
inspections and review. Permission to visit the property extends from the date an application is submitted until approvement or construction is complete and any or all of the financial guarantees, if any, have been returned to the applicant	/ed
until the application is formally denied. Furthermore, I agree that the proposed project will be performed in accordance	e
with this application, the attached plans and specifications, and the regulations and ordinances of the Town of Hopkin	ton.
Applicant's Signature: Date: 9/14/18	
Owner's Signature(s): 5 a w	
Application Filed 9-14-18 Fees 230 CK 1125 Application #: 2018-10	
Notice(s) Posted/Mailed: Complete/Consideration:	
Approved/Denied	
MCRD Document #:	

Narrative Description

The proposal is to operate as a Home Business a residential electrical business. The business space will be in my existing barn, consisting of a small office and storage area.

MERRIMACK COUNTY RECORDS SELL Z. Fray .000, Register

1

Return To:

351 Park Ave, LLC 141 Red Chimney Road Warner, NH 03278

1447 2-25

2025 ON WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, That, Kip R. Garvin, married, with a mailing address of 7 Timberline Dr., Concord, NH 03301, for consideration paid grants to 351 Park Ave, LLC, a New Hampshire Limited Liability Company, with a mailing address of 141 Red Chimney Rd., Warner, NH 03278, with WARRANTY COVENANTS:

A certain tract or parcel of land with all improvements thereon, situate in the Town of Hopkinton, Village of Contoocook, County of Merrimack and State of New Hampshire bounded and described as follows:

Beginning at an iron rod near a stump on the Westerly side of the highway leading from Contoocook to Davisville at corner of land now or formerly of Gertrude W. Hankins; thence

Westerly by said Hankins land 221-1/2 feet, more or less, to a split stone bound with an iron rod beside same at land now or formerly of the Contoocook Valley Fair Association, Inc.; thence

Southerly by said land of the Contoocook Valley Fair Association, Inc. 179 feet, amore or less, to an iron pin at land now or formerly of Ruth Bartlett Grinnell; thence

Easterly by said Grinnell land 250 feet, more or less, to a stone bound on the Westerly line of said highway leading from Contoocook to Davisville; thence

Northerly by said highway 189-1/2 feet, more or less, to the point of beginning.

Warranty Deed Kip R. Garvin to 351 Park Ave, LLC Page 1 of 2 Meaning and intending to describe and convey the same premises as conveyed to Kip R. Garvin by virtue of a deed dated November 3, 2005 and recorded in the Merrimack County Registry of Deeds at Book 2839, Page 78.

This is not the homestead property of the Grantor or his spouse.

Executed this 1st day of August, 2016.

Witness

Kip R. Garvin

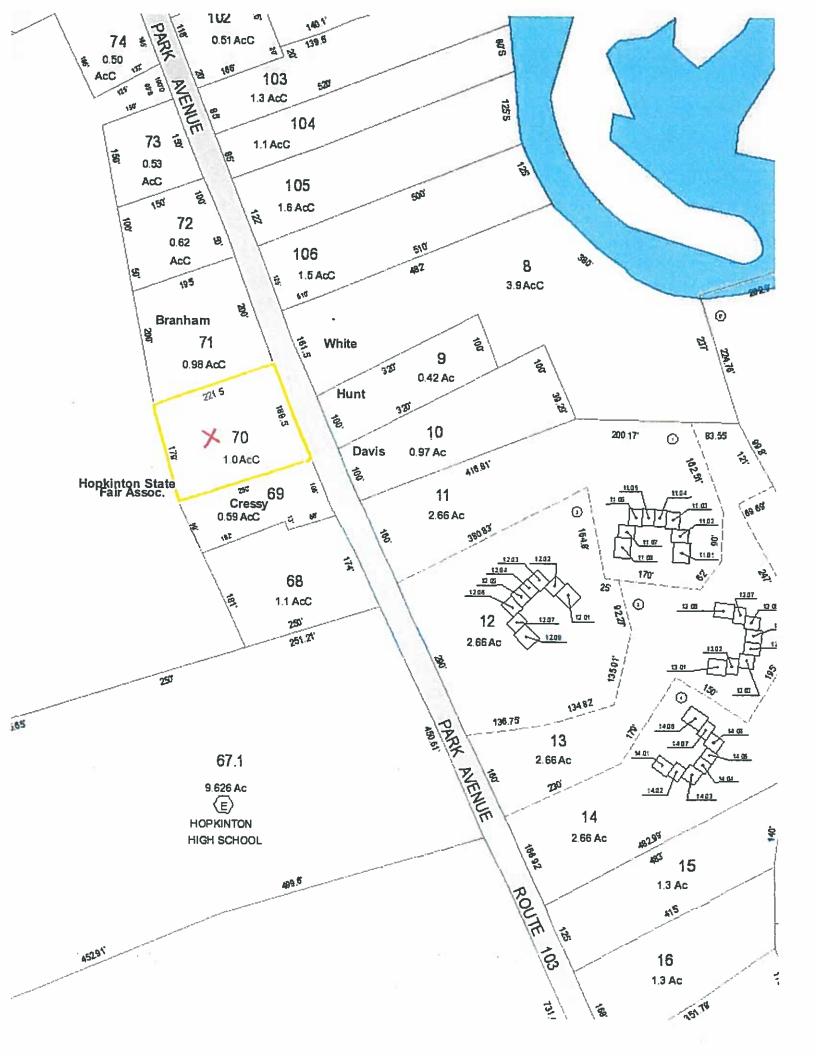
State of New Hampshire County of Merrimack

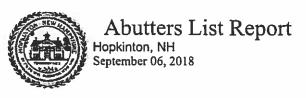
Personally appeared the above named Kip R. Garvin, before me this 1st day of August, 2016 known to be the person whose name is subscribed to the foregoing instrument and acknowledged that he executed the same for the purposes therein contained.

Notary Public/Justice of the Peace

My Commission Expires:

Warranty Deed Kip R. Garvin to 351 Park Ave, LLC Page 2 of 2





Subject Property:

Parcel Number:

222-070-000

CAMA Number: Property Address: 351 PARK AVE

222-070-000

Mailing Address: 351 PARK AVE, LLC

141 RED CHIMNEY RD

WARNER, NH 03278

Abutters:

Parcel Number:

222-061-000

CAMA Number:

222-061-000

Property Address:

392 KEARSARGE AVE

Parcel Number:

222-069-000

CAMA Number:

222-069-000

Property Address: 341 PARK AVE

Parcel Number:

222-071-000

CAMA Number:

222-071-000

Property Address: 375 PARK AVE

Parcel Number: CAMA Number:

225-008-000 225-008-000

Property Address: 364 PARK AVE

225-009-000

Parcel Number: CAMA Number:

225-009-000 Property Address: 350 PARK AVE

Parcel Number: CAMA Number:

225-010-000

Property Address: 342 PARK AVE

225-010-000

Mailing Address: HOPKINTON STATE FAIR ASSOC

PO BOX 700

CONTOOCOOK, NH 03229

Mailing Address:

CRESSY (REV TR) LESTER & BONIT

341 PARK AVE

CONTOOCOOK, NH 03229

Mailing Address:

BRANHAM CHRISTOPHER M & KATE A

375 PARK AVE

CONTOOCOOK, NH 03229

Mailing Address:

WHITE EMILY A 364 PARK AVE

HOPKINTON, NH 03229

Mailing Address:

HUNT JON W & SUSAN

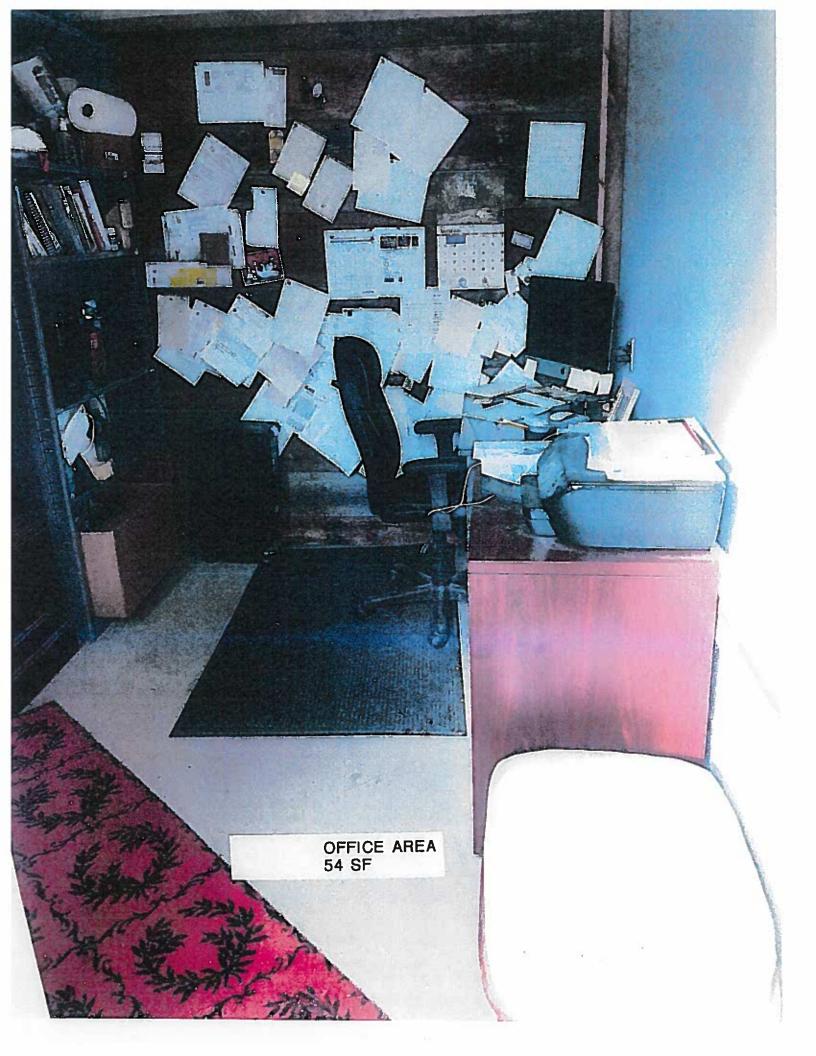
350 PARK AVE

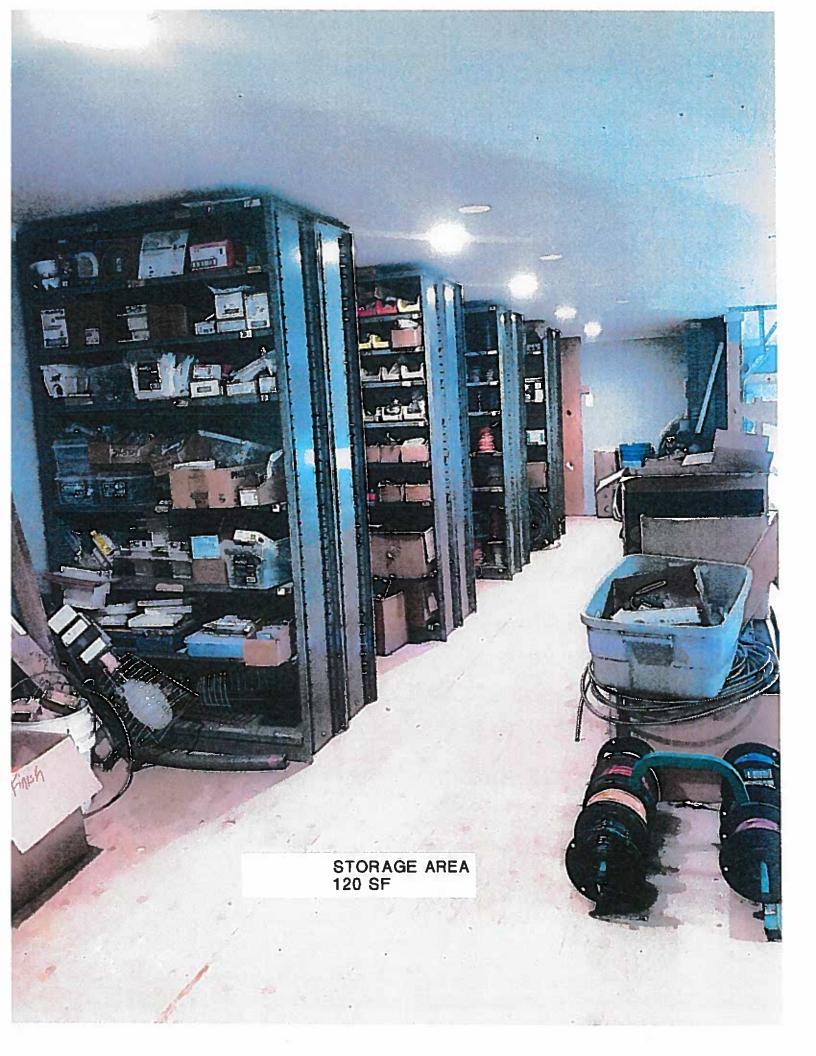
CONTOOCOOK, NH 03229

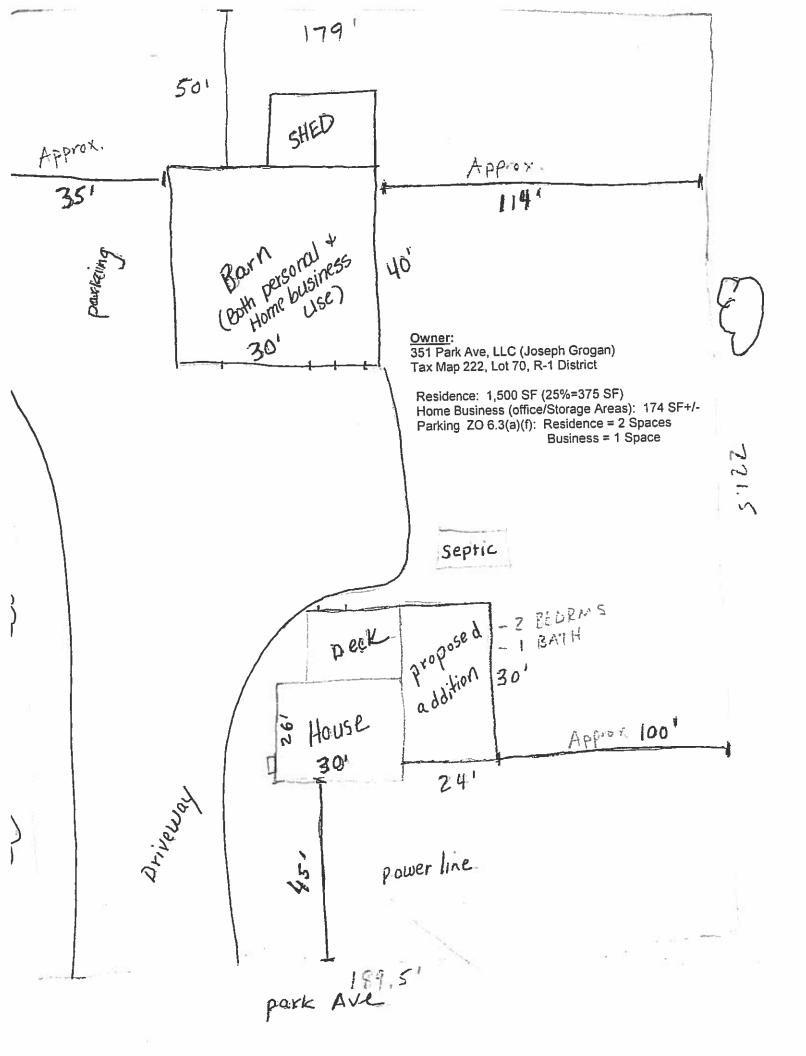
Mailing Address: DAVIS REBECCA E

37 FERRIS ST

SAINT ALBANS, VT 05478









Town of Hopkinton

330 Main Street • Hopkinton, New Hampshire 03229 • www.hopkinton-nh.gov *Tel*: 603-746-3170 *Fax*: 603-746-3049

PLANNING BOARD APPLICATION

	☐ Preliminary Review (SD Section II)	,		,
	☐ Conditional Use Permit (ZO Sec	ction III) Special Us	e Permit (ZO Sec	tion VIII)
PROJECT I	LOCATION: Dustin Road, Hopkinton/M	Vebster MAP/LOT:	/	ZONE: R-4
APPLICAN1	Keith & Tara Rutherford / Peter &	Julie Smith	n: 224/33 Webst	:er: ///-54-3 & /-54-4
Address:	136 W. River Rd	City: Hooksett	State: NH	Zip:_03106
Phone:	603-244-9412	Email: nhmudder@	gmail.com	
OWNER(s)				
Name:	Keith Rutherford & Tara Rutherfor	ď		
Address:	136 W. River Rd	City: Hooksett	State: NH	Zip: 03106
Phone:	603-244-9412	Email: nhmudder(@gmail.com	1 = 622511 = 1
Name:	Peter Smith & Julie Smith			
Address:	600 Deermeadow Road	City: Webster	State: NH	Zip: 03303
Phone:	603-848-6525	Email: indians24p	ojs@yahoo.com	
PROFESSI	ONALS (engineer, architect, surveyor, atto	orney, wetland/soil scient	tist, etc.):	
Name:	James Franklin Land Surveyor	6		
Address:	173 Deerfield Rd	City: Candia	State: NH	Zip: 03304
Phone:	603-483-3096	Email: <u>jefls@com</u>	cast.net	
Name:				(2 III II I
Phone:		Email:		
☐ Resider	ntial Recreational Agricultural	Institutional Comme	ercial/Industrial	Accessory
☐ Public V	Vater 🗆 Public Sewer 🕱 Well 🕱 Septi	c		
Lots/units p	proposed: Lot Line Adj. Existing Building	g Area: NA	_Proposed Buildio	ng Area; *NA
% Open Sp	pace: NA (Note: Building	g Area refers to gross ar	rea) *Propos	ed residence in Webster
Original and plan(s) to n X Na	on Submission Requirements: d ten (10) copies of the application, along value more than 11" x 17". arrative description of proposal (include exist plication checklist.	sting conditions and all r	elated improveme	ents).
	anning Board/Zoning Board of Adjustment l operty deed and existing/proposed easeme			w, or approval.
	x Map of subject parcel and abutting prope		idiotoris.	
	aiver(s) request from provisions of the Sub-		Regulations	

	Test Pit Data, Storm Water Management Plan, Traffic, School, Environmental and Fiscal Impact Analyses, and Phasing Plan (when applicable).		
X	Abutters List as defined by RSA 672:3 – Include Tax Map, Lot Number, Name and Mailing Addresses. If abutting property is under a condominium or other collective form of ownership, the term "abutter" means the officers of the collective or association. If abutting property is under a manufactured housing park form of ownership, the term "abutter" includes the manufactured housing park owner and the tenants who own the manufactured housing.		
Ø	Mailing labels – Include Applicant, Owner, Architect, Soil/Wetland Scientists, Abutters, and holders of Conservation/Preservation restrictions or easements.		
X	Four (4) paper prints of the plan(s) at full scale.		
冥	Appropriate Filing Fee: (Non-refundable) Made payable to Town of Hopkinton Major Subdivision		
	Conditional Use Permit (Wireless Telecommunications): If application is for Conditional Use Permit, please attach a detailed explanation of compliance with Section 3.10 of the Hopkinton Zoning Ordinance, along with an explanation of compliance with the Site Plan Review Regulations of the Town of Hopkinton.		
	ral Submission Requirements (after Planning Board action): Four (4) paper prints of the final plan set at full scale.		
	Mylar(s) – The Merrimack County Registry of Deeds requires that the UPPER LEFT-HAND CORNER, INSIDE THE BORDER, of the plat to be RESERVED for recording information entered by the Registry - No smaller than 7" long X 1" wide.		
	PDF of the final plan set, including architectural and site photographs - emailed or thumb drive.		
	Recording Fees: (Separate Checks) Made payable to Merrimack County Registry of Deeds		
	Recording Fee \$ 26.00 per Page (22" x 34") LCHIP Fee \$ 25.00 per Document		
regulation as gran inspection work or until the	ent to the best of my knowledge and belief that this application is being submitted in accordance with applicable ons and ordinances of the Town of Hopkinton. I also understand that submittal of this application shall be deemed ting permission for the Planning Board members and their designees to enter onto the property for purposes of ons and review. Permission to visit the property extends from the date an application is submitted until approved construction is complete and any or all of the financial guarantees, if any, have been returned to the applicant, or application is formally denied. Furthermore, I agree that the proposed project will be performed in accordance application, the attached plans and specifications, and the regulations and ordinances of the Town of Hopkinton.		
Applica	unt's Signature:		
Owner's Signature(s): Date: 9/14/12			
7	9-14-18		
	Office Use:		
Notice Meetir	ation Filed: 415 Fees: 415 CK 180 Application #: 4018-11		
	ved/Denied: □ Conditions MCRD Filing:		

Narrative Description

The purpose of this plan is to create a lot line within the lot in Hopkinton. The proposed lot line adjustment in Hopkinton is so that both parcels are close to the same size.



Town of Hopkinton

330 Main Street • Hopkinton, New Hampshire 03229 • www.hopkinton-nh.gov
Tel 603-746-3170

Fax: 603-746-3049

HOPKINTON PLANNING BOARD

MINUTES

August 14, 2018

The Hopkinton Planning Board met on Tuesday, August 14, 2018 at 6:30 PM in the Town Hall. Members present: Chairman Bruce Ellsworth, Vice-Chairman Michael Wilkey, Celeste Hemingson, Richard Steele, and James Fredyma. Members absent: Ex-Officio Sabrina Dunlap, Jane Bradstreet, Alternate Timothy Britain, and Alternate Clarke Kidder. Planning Director Karen Robertson was absent.

Chairman Ellsworth declared a quorum present and all members would be voting.

I. Review of the Minutes and Notice of Decision of June 12, 2018, and Minutes of July 10, 2018

Michael Wilkey, seconded by Celeste Hemingson, moved to APPROVE the Minutes of June 12, 2018, as presented. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

James Fredyma, seconded by Richard Steele, moved to APPROVE the Notice of Decision of June 12, 2018 as presented. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

James Fredyma, seconded by Celeste Hemingson, moved to APPROVE the Minutes of July 10, 2018, as presented. Motion carried unanimously in favor (Ellsworth, Wilkey, Hemingson, Steele, and Fredyma).

II. Conceptual Consultations.

Keith Rutherford sought guidance on a lot line adjustment for property that he, his wife, Peter Smith and his wife own jointly in Webster and Hopkinton. They own two adjoining lots with frontage on Dustin Road, Webster and back acreage in Hopkinton. One lot of approximately 5 acres and the second lot of approximately 23 acres will be combined and a new lot line will result in two approximately 14 acre lots. Both existing lots meet Webster's residential house lot size and road frontage requirements. Webster has approved building permits on both existing lots and the Smiths have begun construction. The Rutherfords and Smiths described this plan as they retirement homes. The Rutherfords and Smiths will be requesting approval of the lot line adjustment from the Webster Planning Board on Thursday, August 16, 2018. Chairman Ellsworth recommended they seek similar approval from the Hopkinton Planning Board at its next regular meeting, presuming Webster approves their request.

TOWN OF WEBSTER PLANNING BOARD DRAFT MEETING MINUTES AUGUST 16, 2018

At 6:30 pm Acting Chairperson Lynmarie Lehmann convened the regularly scheduled meeting for the Planning Board and took attendance. Members present were Paul King and Alternate Member Kathy Bacon. Craig Fournier arrived after the meeting was convened. Acting Chairperson Lehmann appointed both of alternates to be acting members due to the Member Lehmann filling in for Chairperson Rauth and the member position vacated by the resignation of Susan Roman.

Members of the public in attendance were Keith and Tara Rutherford, Julie Smith and Jim Franklin and son, surveyors.

Acting Chairperson Lehmann deferred review of the July 19th minutes in order to conduct item number 5 on the agenda, the conceptual consultation for a lot line adjustment regarding lots 7-54-3 and 7-54-4 on Dustin Road (street number assigned to 7-54-4 is 9 Dustin Road) Please note that a conceptual consultation is non-binding.

Mr. Keith Rutherford, one of the four property owners, was invited to make his presentation. At this time, Mr. Rutherford presented plot plans drawn by James Franklin, surveyor, to the Board for their review. The intention for the lot line adjustment is to evenly divide the land between the two lots. Lot 7-54-4 in Webster is part of a 25 acre lot in Hopkinton; it just so happened the town boundary dissects the lot. Mr. Rutherford and his surveyor, Mr. Franklin, made a successful presentation to the Hopkinton Planning Board earlier in the week. Mr. Rutherford will have to make formal applications to both towns for the lot line adjustments. After review of the plot plan and a brief discussion, the Planning Board had no objections. Mr. Rutherford will begin the application process to come before the Planning Board per the town's Subdivision Regulations. Acting Chairperson Lehmann stated when Mr. Rutherford does come before the Board, there won't be a lot of questions, and this looked pretty straight forward. Mr. Rutherford et al thanked the Board for their time.

At this time Acting Chairperson Lehmann informed the Board of a possible Site Plan Review application presentation during the September 20th meeting from Joe DiPrima, owner of the Cozy Pond Camping Resort. Mrs. Larson stated Mr. DiPrima had made application to the ZBA for a Commercial Special Exception to be presented at their public hearing on September 11th. If the ZBA approves the application, Mr. DiPrima will present is Site Plan Review application to the Planning Board on September 20th.

The next two items on the agenda, Scenic Roads and update of the Master Plan, were deferred until the next meeting when Chairperson Rauth will be able to address them.

At this time the Board reviewed the draft minutes from July 19th. Acting Member Fournier made a motion to accept the minutes as written; seconded by Acting Member Bacon and approved unanimously.

At 6:44 pm Member King made a motion to adjourn; seconded by Acting Member Fournier and approved unanimously.

These draft minutes were prepared by Therese E. Larson, Land Use Coordinator.

7:29 pm Site Plan Review Public Hearing was closed. Chairperson Rauth stated it had been nice working with Mr. DiPrima and he reciprocated.

The next item on the agenda was PB Case 18-07 Lot Line Adjustment/Annexation Application from Keith & Tara Rutherford, Peter and Julie Smith owners of lots 7-54-3 and 7-54-4 on Dustin Road.

Chairperson Rauth invited Mr. Rutherford to make his presentation to the Board. There were several copies of his site plan available for the Board members to refer to. Mr. Rutherford explained that two couples, together, own two pieces of property. One of those lots is in Hopkinton and Webster. He stated they are trying to divide the land so each couple has an even share of river front and of property. Mr. Rutherford referred to the site plan to show the current lot line and then the new lot line. A brief discussion followed about logging, soil type and process of building the new homes and their driveways.

There were no abutters present and no comments from the public were made.

Member Lehmann made a motion to approve the Lot Line Adjustment as proposed on the plan; seconded by Member King and approved unanimously. The approval is contingent upon a member or members walking the bounds and submission of Mylars.

Mr. Rutherford thanked the Board for their time.

At this time the Board reviewed the draft minutes from August 16th. Member Lehmann made a motion to accept the Planning Board minutes from August 16, 2018 as written; seconded by Member King and approved unanimously.

The next item on the agenda was to discuss the Planning Board Scenic Roads Subcommittee. Chairperson Rauth stated the committee had had a couple of meetings. She stated they contacted NHMA with some questions which clarified some things for her with regards to the final draft. She stated the main thing was that if a tree or a stone wall was to be removed by the town or a utility it requires a public hearing. She stated the committee was considering whether they would want to expand that - the administrative process as well as the criteria. A result of this process was that there needs to be more understanding and communication about scenic road maintenance. Chairperson Rauth stated that the subcommittee did sit down with the Road Agent twice and they learned why certain things were done in certain ways and what the issues were. She stated she thought it would be helpful for the residents and abutters as to when the maintenance was going to occur especially if there is going to be significant work done for preventative maintenance and ditching. Chairperson Rauth stated the committee thought that at regularly scheduled Select Board meetings that the Road Agent could present a plan for the maintenance and a schedule; trying to hold a public hearing prior to that type of work might be arduous. She stated having it on the Select Board meeting agenda would give it a chance to be presented twice a month. After a brief discussion, Select Board Member Schadler stated that the first Select Board meeting of the month there is a Department Head meeting with the Select Board that the Road Agent is required to be at so that he can tell the Board what he has planned for the next month and to report what has been done. Chairperson Rauth stated that the committee felt that by making a specific recommendation about scenic road maintenance to the Select Board it would be covered more carefully in meetings that citizens can come to. A lengthy and in depth discussion ensued covering topics of ditching, widening of the scenic roads, storm water runoff and the issues of boundaries and the town's right of way.

Chairperson Rauth stated to the Board members that she appreciated all their feedback and the subcommittee will do the best they can to put it all together and get it to the Select Board.

The next item on the agenda was an update of the Master Plan. Chairperson Rauth stated there will be a Master Plan meeting Tuesday, September 25th at 6:30 pm in the Select Board's conference room. She stated it was going really well. This month she stated they were going to talk about the chapters on Historic and Cultural, Resources, Housing and

MERRIMACK COUNTY RECORDS HOLL & Shay COO, Register

Return to:
634 Cross Country Rd.
Pembroke, NH 03275
\$975

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS, that we, LUCILLE LADD and VERA B. BUCK, AS TRUSTEES OF THE LUCILLE LADD 2004 REVOCABLE TRUST, under declaration of trust dated December 17, 2004 as may be amended, having an address of 4 Loudon Ridge Road, Loudon, Merrimack County, New Hampshire, SALLY L. COLE and ROBERT A. COLE, AS TRUSTEES OF THE SALLY L. COLE REVOCABLE TRUST, under declaration of trust dated November 23, 2009, as may be amended, having an address of 14 Presby Lane, Loudon, Merrimack County, New Hampshire, DANIEL T. LADD and KAREN H. LADD, AS TRUSTEES OF THE KAREN H. LADD REVOCABLE TRUST 2006 REVOCABLE TRUST, of 592 Loudon Ridge Road, Loudon, Merrimack County, New Hampshire, and BETTY GAIL LADD FIFIELD, married, of 207 Shaker Road, Canterbury, Merrimack County, New Hampshire, for consideration paid, grant to KEITH M. RUTHERFORD and TARA L. RUTHERFORD, husband and wife, of 634 Cross Country Road, Pembroke, Merrimack County, New Hampshire and to PETER J. SMITH and JULIE L. SMITH, husband and wife, of 977 Laconia Road, Belmont, Belknap County, New Hampshire, as tenants in common, with QUITCLAIM COVENANTS the following described land and buildings:

Certain tracts or parcels of land on Dustin Road, situated partly in the Town of Hopkinton, and partly in the Town of Webster, County of Merrimack, and State of New Hampshire, more particularly described as follows:

Being shown as Lots #3 and #4 on a plan of land entitled "Subdivision Land of Lucille A. Ladd, Betty Gail Fifield, Sally Ladd Cole & Karen H. Ladd in Webster & Hopkinton, N.H. November 1, 1988 Scale 1"=100'", prepared by Cornerstone Surveyors Inc. and recorded in the Merrimack Registry of Deeds on April 26, 1989 as Plan #11004. Reference is hereby made to said plan for a more particular description.

Containing approximately 31.6 acres, more or less.

Being a portion of the same premises conveyed to Lucille A. Ladd, Betty Gail Ladd Fifield, Sally Ladd Cole and Karen H. Ladd by deed of E. Stuart Rumery, as Executor under the Will of Dorothy M. Terry, said deed being dated November 2, 1987 and recorded in the Merrimack County Registry of Deeds in Book 1694, Page 0166.

Being further described in the Warranty Deed conveying an undivided one-quarter (1/4) interest in the property from Sally L. Cole (aka Sally Ladd Cole) to Sally L. Cole and Robert A. Cole, as Trustees of the Sally L. Cole Revocable Trust, said deed being dated July 23, 2010 and recorded in the Merrimack County Registry of Deeds in Book 3205, Page 1616.

Being further described in the Warranty Deed conveying an undivided one-quarter (1/4) interest in the property from Lucille Ladd (a/ka/ Lucille A. Ladd) to Lucille Ladd and Vera B. Buck, as Trustees of the Lucille Ladd 2004 Revocable Trust, said deed being dated July 16, 2010 and recorded in the Merrimack County Registry of Deeds in Book 3205, Page 1619.

Being further described in the Quitclaim Deed conveying an undivided one-quarter (¼) interest in the property from Karen H. Ladd to Daniel T. Ladd and Karen H Ladd, as Trustees of the Karen H. Ladd 2006 Revocable Trust, said deed being dated July 25, 2006 and recorded in the Merrimack County Registry of Deeds in Book 2913, Page 1900.

Excepting and reserving that portion of land conveyed to James Cirillo by deed of Lucille A. Ladd, Betty Gail Ladd Fifield, Sally Ladd Cole and Karen H. Ladd by deed dated May 28, 2002 and recorded in the Merrimack County Registry of Deeds in Book 2369, Page 1535.

Excepting and reserving that portion of land conveyed to Bruce E. Benoit and Tammy E. Benoit by deed of Lucille A. Ladd, Sally Ladd Cole, Betty Gail Fifield and Karen H. Ladd, by deed dated June 13, 2002 and recorded in the Merrimack County Registry of Deeds in Book 2375, Page 676.

Subject to Current Use Taxation.

This is not homestead property of the Grantors or their spouses.

Knot IPS

Witness our hands and seals this 26th day of Apri	il, 2017.
Witness S. William Dahar II	Lucilla Ladd Trustee Lucille Ladd, as Trustee of the Lucille Ladd 2004 Revocable Trust
Witness S. William Dahar II	Vera B. Buck, as Trustee of the Lucille Ladd 2004 Revocable Trust
Witness S. William Dahar II	Sally L. Cole/as Trustee of the Sally L. Cole
Witness S. William Dahar II	Revocable Trust Robert A. Cole, as Trustee of the Sally L.
IM fr	Cole Revocable Trust Haren H. Ladd trustes
Witness S. William Dahar II	Karen H. Ladd, as Trustee of the Karen H. Ladd 2006 Revocable Trust
Wijness A. William Dahar II	Daniel T. Ladd, as Trustee of the Karen H. Ladd 2006 Revocable Trust
Withess S. William Dahar II	Betty Gail Ladd Fifield

STATE OF NEW HAMPSHIRE	
COUNTY OF MERRIMACK	

Dated: April 26, 2017

The foregoing instrument was acknowledged before me this 26th day of April, 2017, by Lucille Ladd, as Trustee of the Lucille Ladd 2004 Revocable Trust.

Beføre me,

Motary Public S. William Dahar II My Commission Expires: 02/01/2022

STATE OF NEW HAMPSHIRE COUNTY OF HILLSBOROUGH

Dated: April 26, 2017

The foregoing instrument was acknowledged before me this 26th day of April, 2017, by Vera B. Buck, as Trustee of the Lucille Ladd 2004 Revocable Trust.

Before me

Notary Public

S. William Dakar II

My Commission Expires: 02/01/2022

STATE OF NEW HAMPSHIRE COUNTY OF ___MERRIMACK

Dated: April 26, 2017

The foregoing instrument was acknowledged before me this <u>26th</u> day of April, 2017, by Sally L. Cole, as Trustee of the Sally L. Cole Revocable Trust.

Before me,

otary Public

S. William Dahar II

Commission Expires: 02/01/2022

CMK IS

STATE OF NEW HAMPSHIRE COUNTY OF _ MERRIMACK

Dated: April 26, 2017

The foregoing instrument was acknowledged before me this 26th day of April, 2017, by Robert A. Cole, as Trustee of the Sally L. Cole Revocable Trust.

S. William Daha

My Commission Expires: 02/01

STATE OF NEW HAMPSHIRE COUNTY OF MERRIMACK

Dated: April 26, 2017

The foregoing instrument was acknowledged before me this 26th day of April, 2017, by Karen H. Ladd, as Trustee of the Karen H. Ladd 2006 Revocable Trust.

S. William Dahat

My Commission Expires:

STATE OF NEW HAMPSHIRE COUNTY OF MERRIMACK

Dated: April 26 . 2017

The foregoing instrument was acknowledged before me this 26th day of April, 2017, by Daniel T. Ladd, as Trustee of the Karen H. Ladd 2006 Revoçable Trust.

Before

S. William Dahar

Commission Expires:

STATE OF NEW HAMPSHIRE COUNTY OF MERRIMACK

Dated: April 26, 2017

The foregoing instrument was acknowledged before me this 26th day of April, 2017, by

Betty Gail Ladd Fifield.

logary Public S. William Daha

My Commission Expires: 02/03

I OF (HOPKINTON ABUTTERS:) CEL 222-097 MEADOWS OF HOPKINTON, INC., 136 FLINTROCK RD., CONTOOCOOK, NH 03229 RCEL 223-049 MARTHA LAFLAME, 64 EVERGREEN LN., CONTOOCOOK, NH 03229 RCEL 223-050 WINIFRED LANGTRY, 50 EVERGREEN LN., CONTOOCOOK, NH 03229 RCEL 223-051 TRACEY LAWLER, 40 EVERGREEN LN., CONTOOCOOK, NH 03229 RCEL 223-052 WILLIAM & SHIRLEY DONOGHUE, 30 EVERGREEN LN., CONTOOCOOK, NH 03229 RCEL 223-053 CATHERINE HADLEY, 20 EVERGREEN LN., CONTOOCOOK, NH 03229 RCEL 223-054 ESTER BOSTIC, 8 EVERGREEN LN., CONTOOCOOK, NH 03229 RCEL 224-002 JOHN TEAHAN, 161 DEER PATH, CONTOOCOOK, NH 03229 RCEL 224-003 ESME CAHILL IRREV. TRUST, 183 DEER PATH, CONTOOCOOK, NH 03229 RCEL 224-004 GEOFFREY & JOAN MIRANTZ, 189 DEER PATH, CONTOOCOOK, NH 03229 RCEL 224-005 CHARLES & ELIZABETH O'NEILL, 199 DEER PATH, CONTOOCOOK, NH 03229 RCEL 224-006 RICHARD & BONNIE PRATT, 213 DEER PATH, CONTOOCOOK, NH 03229 RCEL 224-007 GERTRUDE PAGE & JOSEPH PROVENCHER, 233 DEER PATH, CONTOOCOOK, NH 032 RCEL 224-029-2 KENDALL TEMPER, 512 DUSTIN RD., CONTOOCOOK, NH 03229 RCEL 224-030 DANIEL OBER, 543 DUSTIN RD., CONTOOCOOK, NH 03229 RCEL 224-031 JANE & MICHAEL DOHERTY, 573 DUSTIN RD., HOPKINTON, NH 03229 RCEL 224-032 GLEN & KAREN GLANVILLE, 595 DUSTIN RD., CONTOOCOOK, NH 03229 T OF (WEBSTER ABUTTERS:) RCEL 7-49 STATE OF NEW HAMPSHIRE 40 NH OFFICE of Strategic Initiatives, 101 Pleasant ST RCEL 7-53 TOWN OF WEBSTER, 945 BATTLE ST., WEBSTER, NH 03303 CONCOTOLIVIA RCEL 7-54-2 MARK & ROSE STEVENS, 2 BLACKBERRY WAY, UNIT 104, MANCHESTER, NH 03102 RCEL 7-55 THERRESA FINNEMORE, 22 DUSTIN RD., WEBSTER, NH 03303

NERS OF BOTH PARCELS:

TH & TARA RUTHERFORD, AND PETER & JULIE SMITH 3 W. RIVER ROAD, HOOKSETT, NH 03106

RCEL 7-56 RICHARD DUFORD, 52 DUSTIN RD., WEBSTER, NH 03303

