

Street Address:	Map/Lot:	Zoning District:
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Include Setbacks on Sketch	Distance to Structure (feet):	When Applicable, Proposed Number of:	Square Feet & Dimensions (exterior only):
Front Setback (Front property line. Not edge of pavement)		Stories	Lot Area (Acres)
Rear Setback		Bedrooms	Basement (Full, Partial)
Side Setback (left)		Full Baths	Structure (exterior)
Side Setback (right)		Partial Baths	Garage
Shoreland Setback		Fireplace	Deck/Pool/Etc.
Wetland Setback		Units	Sign(s)
Building Height			Other
Distance from closest structure on your property			
Water Supply: <input type="checkbox"/> Municipal <input type="checkbox"/> Well Heating Fuel: <input type="checkbox"/> Electric <input type="checkbox"/> L.P. Gas <input type="checkbox"/> Oil <input type="checkbox"/> Wood <input type="checkbox"/> Other Sewer: <input type="checkbox"/> Municipal <input type="checkbox"/> Individual Fuel Storage: <input type="checkbox"/> Inside <input type="checkbox"/> Outside (above/under-ground)			

DRIVEWAY PERMIT: Hopkinton Public Works (603-746-5118) approval for driveway connection to a Town street. Connections to State roads require the State of N.H. Department of Public Works and Highways (666-3336) approval. **Approval Number:** _____ **Date:** _____

SEPTIC SYSTEMS: N.H. Department of Environmental Services (603-271-3501) approval. If additional bedrooms are being created and the building is on a private septic system, provide a copy of the septic system approval to show the system is capable of handling the additional load.
Approval Number: _____ **Date:** _____

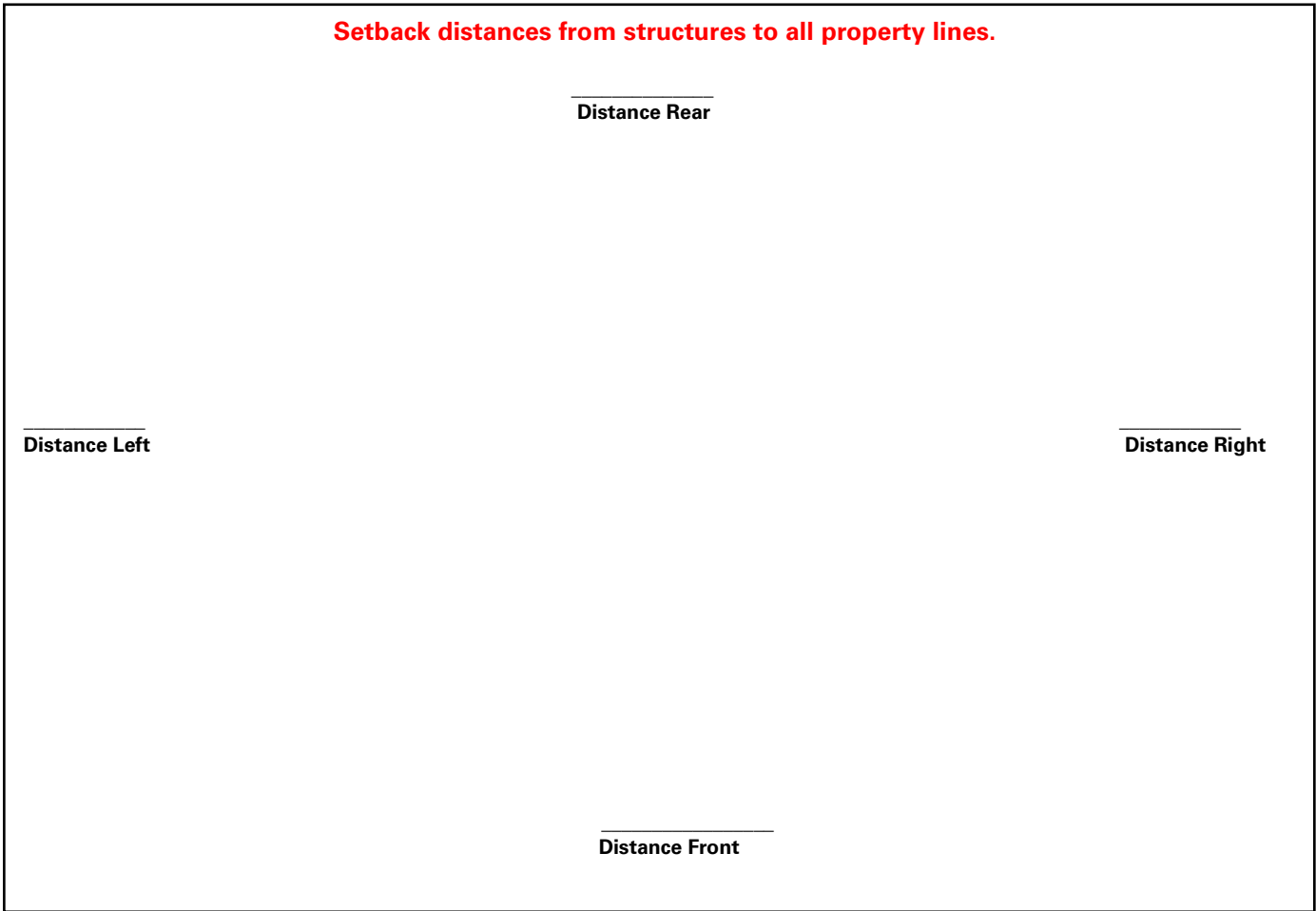
NH ENERGY CODES: We continue to require the **New Hampshire Residential Energy Code Application (EC-1 Form pages 1 & 2)** to be submitted as part of your building permit application. Please note that the EC-1 form should no longer be sent to the State PUC. Inspection of all insulated materials including slab, basement, crawl spaces, floors, walls, and ceilings are required. **Required Testing:** Successful blower door and duct leakage test results are required before issuance of a Certificate of Occupancy.

NH COMPREHENSIVE SHORELAND PROTECTION ACT (CSPA) RSA 483-B: Effective July 1, 2008, a SHORELAND PERMIT is required for many construction, excavation, or filling activities within the Protected Shoreland. A complete list of activities that do not require a shoreland permit can be found in the Shoreland Administrative Rules, Env-Wq 1406. Please visit the N.H. Department of Environmental Services Shoreland Website at www.des.nh.gov/cspa or call 271-2147. Office location: 29 Hazen Drive, Concord, NH 03302-0095.
Approval Number: _____ **Date:** _____

This is to certify that the information included with this application will be followed during construction, and any changes shall be only after notifying the Planning Office. That any permit issued based on inaccurate information is subject to immediate withdrawal. That the owner of record authorizes the proposed work and that I have been authorized to make this application as his/her authorized agent, and I agree to conform to all applicable laws of this jurisdiction. I further certify that I am aware of and will comply with any deed restrictions or covenants and any regulations or conditions imposed by the Select Board, Zoning Board of Adjustment, and or Planning Board as it relates to this property and the proposed structure/use. Also, I am aware that applying for a permit with respect to an activity in or on the building or property shall be deemed consent for Town officials and employees to enter the building or property to perform inspections, measurements, sampling, or any other action deemed necessary.

Signature of Applicant	Print Name of Applicant	Date
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Street Name: _____

PLAN SUBMITTAL REQUIREMENTS (See sample cross-section):

- **Site plan** or sketch showing location and dimensions of the property, existing and proposed structures, setbacks, driveways, well, septic, wetlands, signage, or other special features.
- **Construction plans:** (1) Full size set scale ¼" = 1' and (1) 11" x 17" set. Plans must include **draftsperson/designer name, contact information, project title, and compliance with 2018 IRC or IBC Code, whichever is applicable.**

Foundation

- Footing widths, heights, depth below finished grade, and grades.
- Wall thickness.
- Rebar sizes and locations.
- Footing drains, including type of pipe, crushed stone, filter fabric, direction of flow, and where the drains will terminate.
- Damp-proofing methods.
- Pier sizes and heights, or pre-cast piers.

PLAN SUBMITTAL REQUIREMENTS (See sample cross-section):

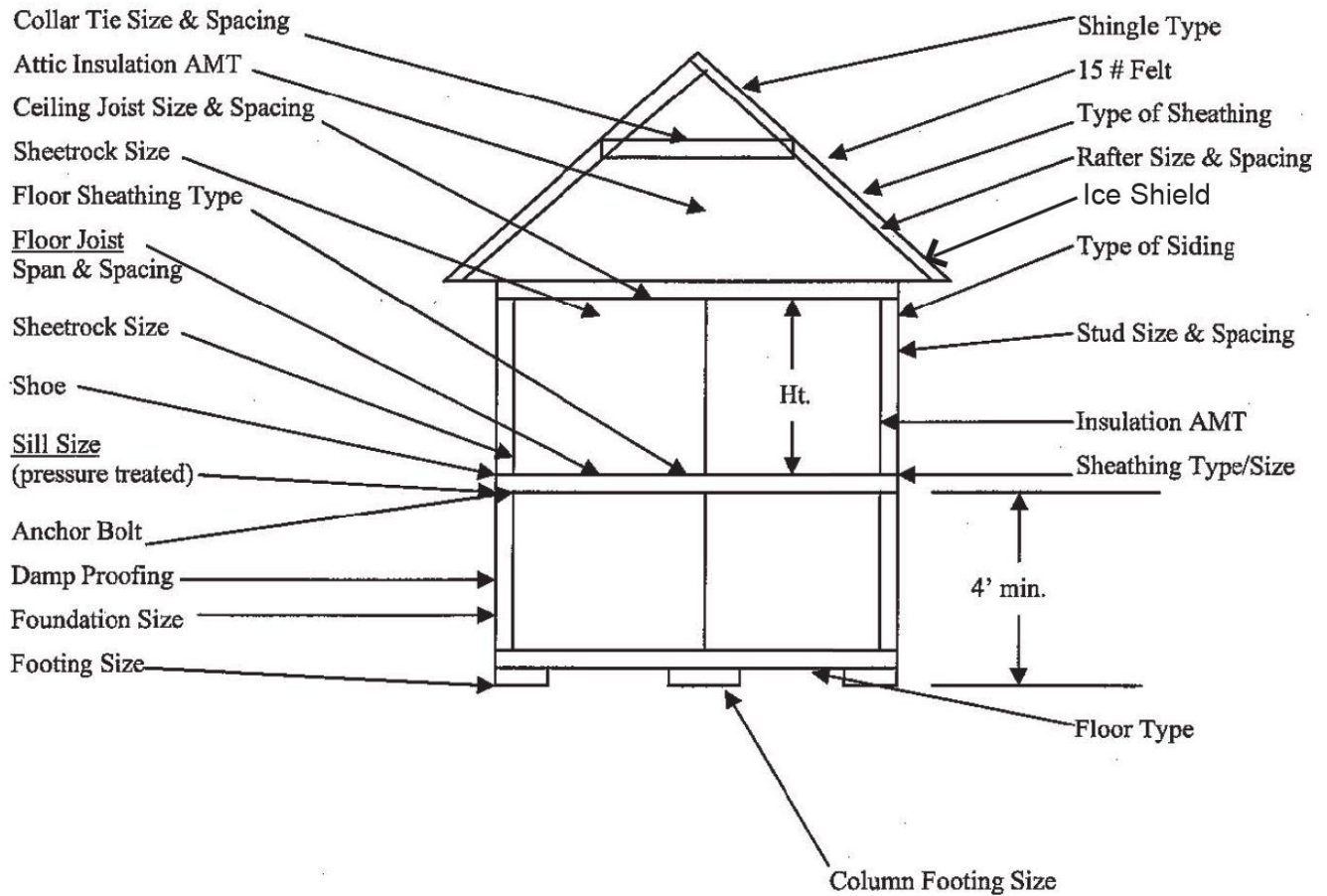
- Anchor bolt locations (spacing) on the top of all slabs, walls and piers.
- Location of basement bulkheads, door openings, and window openings.

Framing

- Types and sizes of supporting columns.
- Girder and beam sizes, materials, and spacing between supports.
- Floor joist sizes, spacing on center, span distances, and materials. If engineered floor trusses or I-joists are to be used, a **Data Sheet** from the truss manufacturer or lumber yard must be submitted for each type of product.
- Sub-flooring material types and thicknesses.
- Exterior wall heights, stud sizes, stud spacing on center, sheathing materials.
- Interior structural wall stud sizes and spacing on center.
- Window and door locations and size with header size details. Distances from finished floors to bottom of window openings. **Reminder:** Bedroom windows must meet egress window code requirements. Bathroom windows must have tempered glass.
- Wall bracing methods for wind bracing.
- Stairway width, headroom, railing, riser height, and tread depth.
- Ceiling joist sizes, spacing on center, span distances, and materials.
- Rafter sizes, spacing on center, spans, roof pitches, and materials. Ridge board sizes and materials. Cathedral ceiling ridge beam sizes, spans, and materials. If engineered roof trusses are to be used, **Data Sheets** from the truss manufacturer must be submitted for each type of truss.
- Roof sheathing material types and thicknesses. Snow load rating.
- Garage and living space fire separation details.
- Dwelling unit separation details, if more than one dwelling or apartment.
- Garage portal frame details.**

CROSS SECTION SAMPLE

(Show Method of Venting)



This is not intended to cover all circumstances.

TOWN OF HOPKINTON BUILDING INSPECTIONS

Schedule inspection (603) 746-8243 • Building Inspector (603) 783-1509

- Address or Lot number** posted.
- Portable toilet** on-site before construction.
- Footings** after forms and rebar set, prior to placement of concrete.
- Foundation** prior to backfill.
- Certified Plot Plan** no later than foundation inspection certifying compliance with setbacks.
- Framing, electrical, plumbing, mechanical** before insulation/fire stopping.
- Insulation** including sound as well as thermal insulation, fire stopping, draft stopping, prior to wall finish, i.e., drywall, paneling, etc.
- Chimneys/Fireplaces/Woodstoves**
- Make-up air system** for exhaust fan 400+ CFM or basement renovations.
- Electrical Panel labeled, including Energy Compliance Sticker.**
- Water Test**
- Blower Door Test**
- Duct Leak Test**
- Life Safety (Codes)**
- Driveway (paved apron)**
- Street Address** posted. If the residence to be constructed can be clearly seen from the roadway the house number shall be affixed to the front of the home with 2-1/2 inch numbers of contrasting color to the building. If the residence cannot be seen from the roadway the numbers shall be affixed to the mailbox, on both sides, and of contrasting color, or if no mailbox is available, the numbers shall be affixed to a post located at the end of the driveway with 2-1/2 inch numbers affixed on both sides.

TOWN OF HOPKINTON, NH

SCHEDULE OF FEES

**Surcharge for permit issued after work has begun and for each day no permit application is submitted:
2 x permit fee + \$50 each day**

RESIDENTIAL:

Basement	SF x	.24	= \$	
1st Floor	SF x	.24	= \$	
2nd Floor	SF x	.24	= \$	
3rd Floor	SF x	.24	= \$	
Renovations/Alterations	SF x	.12	= \$	
Accessory Structures/Uses (New, Addition, Alteration)	SF x	.12	= \$	

COMMERCIAL/INDUSTRIAL:

Basement	SF x	.24	= \$	
1st Floor	SF x	.24	= \$	
2nd Floor	SF x	.24	= \$	
3rd Floor	SF x	.24	= \$	
Renovations	SF x	.12	= \$	
Accessory Structures/Uses (New, Addition, Alteration)	SF x	.12	= \$	

APPLICATION FEES:

Residential (New, Additions)	100.00	= \$		
Residential (Renovations, Alterations)	50.00	= \$		
Residential Accessory—New, Addition, Renovation, Alteration	35.00	= \$		
Commercial/Industrial—New, Addition, Renovation, Alteration	50.00	= \$		
Commercial/Industrial—Accessory—New, Addition, Renovation, Alteration	50.00	= \$		

OTHER FEES:

Sign (New/Change)	30.00	= \$		
Demolition	75.00	= \$		
Driveway Permit	50.00	= \$		
Change of Use/Occupancy/Tenant	35.00	= \$		
Telecommunications (New/Co-Location)	Value of Const./1,000 x	5.00	= \$	
Wind/Solar/Retaining Wall, etc. (Z.O. Section III, "Structure")	50.00	= \$		
Permit Extension (1-YR. Maximum Allowed)	50% of Initial Fee	= \$		
Permit Refund—New Construction Only (If construction has not begun within 60 days)	50% of initial S.F. Permit Fee	= \$		

PLAN REVIEW FEES:

Residential per unit	150.00	= \$		
Residential Additions, Renovations, Alterations	50.00	= \$		
Residential Accessory—New, Addition, Renovation, Alteration	25.00	= \$		
Commercial/Industrial—New, Addition, Renovation, Alteration	150.00	= \$		
Commercial/Industrial—Accessory—New, Addition, Renovation, Alteration	50.00	= \$		

SURCHARGES:

• Permit issued <u>after work</u> has begun	2 x Permit Fee	= \$		
• <u>Each day</u> no permit application submitted	50.00	= \$		
• Re-inspection—Payable Prior to Re-inspection (Failure to pass inspection, not ready for inspection, or premises not accessible)	45.00	= \$		

TOTAL= \$ _____